

# College of San Mateo

## 1700 West Hillside Boulevard

### San Mateo, CA 94402



# College of San Mateo Colonnades & District Office

## Deck Waterproofing Project

ABBREVIATIONS FOR REFERENCE - USE AS NECESSARY		GENERAL NOTES		SCOPE OF WORK		DRAWING INDEX	
<p><b>L</b> ANGLE <b>CL</b> CENTERLINE <b>#</b> DIAMETER ROUND <b>⊥</b> PERPENDICULAR <b>#</b> FOUND. NUMBER</p> <p><b>AB</b> ANCHOR BOLT <b>ABB</b> ALLANA BUICK AND BERS <b>AC</b> ASPHALTIC CONCRETE <b>A/C</b> AIR CONDITIONING <b>ACOUS.</b> ACoustical <b>ADJ.</b> ADJUSTABLE, ADJACENT <b>AFI.</b> ABOVE FINISH FLOOR <b>ALUM.</b> ALUMINUM <b>ALT.</b> ALTERNATE <b>APP.</b> ACCESS PANEL <b>APPROX.</b> APPROXIMATE <b>ARCH.</b> ARCHITECT</p> <p><b>BD.</b> BOARD <b>BITUM.</b> BITUMINOUS <b>BLDG.</b> BUILDING <b>BLK.</b> BLOCK <b>BLKG.</b> BLOCKING <b>BM.</b> BEAM <b>BTM.</b> BOTTOM <b>B.S.</b> BOTTOM OF BILL <b>BTN.</b> BETWEEN <b>BU.</b> BUILT-UP ROOFING</p> <p><b>CAB.</b> CABINET <b>CEM.</b> CEMENT <b>CER.</b> CERAMIC <b>CJ.</b> CONTROL JOINT <b>CL.</b> CLOSET <b>CLG.</b> CEILING <b>CLG.</b> CALKING <b>CO.</b> CLEAN-OUT <b>CLR.</b> CLEAR <b>COL.</b> COLUMN <b>COMP.</b> COMPOSITION <b>CONC.</b> CONCRETE <b>CONN.</b> CONNECTION <b>CONSTR.</b> CONSTRUCTION <b>CONT.</b> CONTINUOUS <b>CORR.</b> CORROSION <b>CTSK.</b> COUNTERSINK <b>CONTR.</b> CENTER <b>CHFBT.</b> CHAMFET <b>CTR.</b> CENTER</p> <p><b>D.</b> DEEP <b>DBL.</b> DOUBLE <b>DEPO.</b> DEPOLISH <b>DET.</b> DETAIL <b>DF.</b> DOUGLAS FIR <b>DF.</b> DRINKING FOUNTAIN <b>DIA.</b> DIAMETER <b>DIAG.</b> DIAGONAL <b>DIM.</b> DIMENSION <b>DISP.</b> DISPENSER <b>DN.</b> DOWN <b>DR.</b> DOOR <b>D.S.</b> DOWN SPOUT <b>DWG.</b> DRAWING <b>DWR.</b> DRAWER</p> <p><b>E</b> EAST <b>EX.</b> EXISTING <b>EA.</b> EACH <b>EB.</b> EXPANSION BOLT <b>EF.</b> EXHAUST FAN <b>EJ.</b> EXPANSION JOINT <b>ELEC.</b> ELECTRICAL <b>ELEV.</b> ELEVATION <b>EMER.</b> EMERGENCY <b>ENCL.</b> ENCLOSURE <b>EP.</b> ELECTRICAL PANEL <b>EQ.</b> EQUAL <b>EQUIP.</b> EQUIPMENT <b>EW.</b> EACH WAY <b>EXP.</b> EXPANSION <b>EXT.</b> EXTERIOR</p> <p><b>FD.</b> FLOOR DRAIN <b>FDN.</b> FOUNDATION <b>FE.</b> FIRE EXTINGUISHER <b>FEC.</b> FIRE EXTINGUISHER CABINET</p> <p><b>FF.</b> FINISH FLOOR <b>FIN.</b> FINISH <b>FKT.</b> FIXTURE <b>FL.</b> FLOOR <b>FLASH.</b> FLASHING <b>FLUOR.</b> FLUORESCENT <b>FO.</b> FACE OF <b>F.O.C.</b> FACE OF CONCRETE <b>F.O.F.</b> FACE OF FINISH <b>F.O.S.</b> FACE OF STUDS <b>FRFR.</b> FIREPROOF <b>FRNG.</b> FRAMING <b>FT.</b> FOOT FEET <b>FTG.</b> FOOTING <b>FOUN.</b> FOUNDATION <b>FURR.</b> FURRING</p> <p><b>GA.</b> GAUGE <b>GALV.</b> GALVANIZED <b>GB.</b> GRAB BAR <b>GBL.</b> GYPSUM BOARD <b>GL.</b> GALVANIZED IRON <b>GFL.</b> GROUND FAULT INTERRUPT <b>GLASS.</b> GLASS <b>GLB.</b> GLUE-LAMINATED BEAM <b>GR.</b> GROUND <b>GR.</b> GRADE <b>GYP.</b> GYPSUM</p> <p><b>HR.</b> HAND RAIL <b>HB.</b> HOSE BIBB <b>H.C.</b> HOLLOW CORE <b>HDR.</b> HEADER <b>HOU.</b> HOLE <b>HM.</b> HOLLOW METAL <b>HR.</b> HOUR <b>HT.</b> HEIGHT</p> <p><b>ID.</b> INSIDE DIAMETER <b>INSUL.</b> INSULATION <b>INT.</b> INTERIOR</p> <p><b>JST.</b> JOIST <b>JT.</b> JOINT</p> <p><b>LAM.</b> LAMINATE <b>LAV.</b> LAVATORY <b>LOC.</b> LOCATION <b>L.</b> LIGHT</p> <p><b>MAX.</b> MAXIMUM <b>MB.</b> MACHINE BOLT <b>MECH.</b> MECHANICAL <b>MEH.</b> MECHANICAL <b>MEM.</b> MEMBRANE <b>MFR.</b> MANUFACTURER <b>MIN.</b> MINIMUM <b>MIR.</b> MIRROR <b>MISC.</b> MISCELLANEOUS <b>MTD.</b> MOUNTED <b>MTL.</b> METAL <b>MULL.</b> MULLION</p> <p><b>N.</b> NORTH <b>NOT IN CONTR.</b> NOT IN CONTRACT <b>NO.</b> NUMBER <b>NOM.</b> NOMINAL <b>NTS.</b> NOT TO SCALE</p> <p><b>OA.</b> OVERALL <b>OBSC.</b> OBSCURE <b>OA.</b> ON CENTER <b>OB.</b> OUTSIDE DIAMETER <b>O.F.C.I.</b> OWNER FURNISHED AND CONTRACTOR INSTALLED <b>OFF.</b> OFFICE <b>OH.</b> OVERHEAD <b>OPENG.</b> OPENING <b>OPP.</b> OPPOSITE</p> <p><b>PART.</b> PARTITION <b>PB.</b> PARTICLE BOARD <b>P.D.</b> PLANTER DRAIN <b>PLBG.</b> PLUMBING <b>PLNT.</b> PLANT <b>PRE-FAB.</b> PRE-FABRICATED <b>PT.</b> PRESSURE TREATED <b>PLATE.</b> PLATE <b>P.LAM.</b> PLASTIC LAMINATE <b>PLAS.</b> PLASTER <b>PLY.</b> PLYWOOD <b>F.O.C.</b> POINT OF CONNECTION <b>FR.</b> PAIR</p> <p><b>R</b> RADIUS <b>(R)</b> REMOVE <b>RES.</b> RESIDENT BASE <b>RD.</b> ROOF DRAIN <b>RD.M.</b> REMOVE DAMAGED MATERIAL <b>REDOOD.</b> REDOODOOD <b>REF.</b> REFERENCE <b>REFRIG.</b> REFRIGERATOR <b>REG.</b> REGISTER <b>REIN.</b> REINFORCED <b>RESIL.</b> RESILIENT <b>RET.</b> RETAINING <b>REV.</b> REVISION, REVISED <b>RY.</b> ROOM</p> <p><b>R.O.</b> ROUGH OPENING <b>RSR.</b> RISER <b>RUL.</b> RAIN WATER LEADER</p> <p><b>SAC.</b> SUSPENDED ACOUSTICAL CEILING <b>SAP.</b> SELF-ADHERED FLASHING <b>S.C.</b> SOLID CORE <b>SCHED.</b> SCHEDULE <b>S.E.A.</b> SEALED <b>SECT.</b> SECTION <b>SEA.</b> SEE ELECTRICAL DWGS. <b>SH.</b> SHELF <b>SHT.</b> SHEET <b>SIM.</b> SIMILAR <b>SM.</b> SHEET METAL <b>SMD.</b> SEE MECH DRAWINGS <b>SPEC.</b> SPECIFICATION <b>SQ.</b> SQUARE <b>S.S.</b> STAINLESS STEEL <b>S&amp;S.</b> SEE STRUCTURAL DWGS. <b>STD.</b> STANDARD <b>STL.</b> STEEL <b>STOR.</b> STORAGE <b>STRUCT.</b> STRUCTURAL <b>SUSP.</b> SUSPENDED <b>SV.</b> SHEET VINYL <b>SYM.</b> SYMMETRICAL</p> <p><b>TB.</b> TUBEL BAR <b>T.C.</b> TOP OF CURB <b>T.O.C.</b> TOP OF CONCRETE <b>TD.</b> TIE DOWN <b>TEL.</b> TELEPHONE <b>TEMP.</b> TEMPERED <b>THK.</b> THICK <b>THR.</b> THRESHOLD <b>T.O.</b> TOP OF <b>T.O.C.</b> TOP OF CONCRETE <b>T.O.S.</b> TOP OF SLAB <b>TYP.</b> TYPICAL</p> <p><b>UNF.</b> UNFINISHED <b>UN.</b> UNLESS OTHERWISE NOTED <b>UNRNL.</b> UNRATED</p> <p><b>VCT.</b> VINYL COMPOSITION TILE <b>VERT.</b> VERTICAL <b>VEST.</b> VESTIBLE <b>VF.</b> VERIFY IN FIELD <b>VTR.</b> VENT THROUGH ROOF</p> <p><b>W</b> WIDE / WIDTH <b>W/</b> WITH <b>WC.</b> WATER CLOSET <b>WI.</b> WROUGHT IRON <b>WD.</b> WOOD <b>WO.</b> WHERE OCCURS <b>WO.</b> WITHOUT <b>WR.</b> WATERPROOFING <b>WR.</b> WATER RESISTANT <b>WRB.</b> WEATHER RESISTIVE BARRIER <b>WS.</b> WOOD SCREW <b>USCT.</b> UNSCOT <b>WT.</b> WEIGHT <b>WUF.</b> WELEDED WIRE FABRIC</p>	<p><b>A.</b> THESE DRAWINGS HAVE BEEN MADE FROM BUILDING RECORD DRAWINGS. BIDDER SHALL VISIT THE SITE AND PROJECT TO FIELD VERIFY EXISTING CONDITIONS AFFECTING THIS WORK (AND FIELD MEASUREMENTS) PRIOR TO BIDDING. ANY EXISTING CONDITION FOUND NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE IMMEDIATELY, PRIOR TO BIDDING OR START OF ANY WORK.</p> <p><b>B.</b> NOTES, SECTIONS, AND DETAILS DESCRIBING THE TYPE OF COMPONENT OR NECESSARY WORK TO THAT COMPONENT ARE TYPICAL FOR ALL SIMILAR ITEMS, AND THE NOTE SECTION OR DETAIL SHALL APPLY AS IF CALLED OUT SEPARATELY AT EACH LOCATION. THE DETAILS REFLECT A DESIGN OF THE SPECIFIC CONDITION(S) DETAILED. IF, DURING THE PROGRESS OF THE WORK, EXISTING CONDITIONS DIFFER FROM THOSE INDICATED ON THE DRAWINGS TO THE EXTENT THAT THE CONTRACTOR MUST MAKE MODIFICATIONS TO THE GIVEN DETAILS TO MAKE THE DETAIL COMPATIBLE WITH THE EXISTING CONDITIONS, THE CONTRACTOR SHALL OBTAIN A REVISED DETAIL FROM THE OWNERS REPRESENTATIVE PRIOR TO THAT DETAIL BEING CONSTRUCTED.</p> <p><b>C.</b> CONFLICTS AND/OR PROBLEMS SHALL BE REPORTED PRIOR TO BIDDING FOR RESOLUTION. FAILURE TO REPORT THESE CONFLICTS PLACES THE RESPONSIBILITY ON THE CONTRACTOR TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AT THE OWNERS REPRESENTATIVE DIRECTION, AT NO ADDITIONAL COST TO THE OWNER.</p> <p><b>D.</b> ALL NOTES DESCRIBING COMPONENTS, SYSTEMS, OR CONSTRUCTION NOT NOTED AS "E" OR "EXISTING" ARE NEW, AND ARE REQUIRED TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p><b>E.</b> CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL FOR ALL SPECIALTY CONNECTIONS, TRANSITIONS, AND TERMINATIONS OF ALL ITEMS OF THE WORK, INCLUDING SADDLES, FLASHINGS, AND OTHER INDUSTRY RECOGNIZED ITEMS THAT MAKE THE WORK COMPLETE.</p> <p><b>F.</b> ALL ROOFING WORK SHALL BE IN ACCORDANCE WITH NRCA 582AC24 AND THE ROOFING MATERIAL MANUFACTURER REQUIREMENTS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE ABOVE AND BEYOND THAT REQUIRED BY THE REFERENCED STANDARDS. SHOULD CONFLICTS OCCUR BETWEEN THE REFERENCED STANDARDS AND/OR THE CONSTRUCTION DOCUMENTS, UTILIZE THE HIGHEST QUALITY OR MORE STRINGENT REQUIREMENT.</p> <p><b>G.</b> ALL SEALANT WORK SHALL BE IN ACCORDANCE WITH THE SURI AND THE SEALANT MATERIAL MANUFACTURER REQUIREMENTS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE ABOVE AND BEYOND THAT REQUIRED BY THE REFERENCED STANDARDS. IF CONFLICTS SHOULD OCCUR BETWEEN STANDARDS AND/OR THE CONSTRUCTION DOCUMENTS, UTILIZE THE HIGHEST QUALITY OR MORE STRINGENT REQUIREMENT.</p> <p><b>H.</b> THERE ARE SPECIFICATIONS BOUND SEPARATELY FROM THE CONSTRUCTION DRAWINGS THAT ARE A PART OF THE CONTRACT, THE SPECIFICATIONS AND DRAWINGS ARE COMPLEMENTARY TO ONE ANOTHER AND ARE BOTH REQUIRED TO FULLY DESCRIBE THE CONTRACTOR'S RESPONSIBILITIES UNDER THE CONTRACT. THE DRAWINGS TYPICALLY INDICATE SIZE, FORM, QUANTITY, RELATIONSHIP AND GENERIC TYPE. THE SPECIFICATIONS TYPICALLY DEFINE THE QUALITATIVE REQUIREMENTS FOR PRODUCTS, MATERIALS, AND WORKMANSHIP. WHAT IS CALLED FOR BY EITHER ONE SHALL BE AS BINDING AS IF CALLED FOR BY ALL.</p> <p><b>J.</b> THE DETAILS SHOWN ARE DRAWN TO SCALE. HOWEVER, THE NEED TO SHOW SPACE BETWEEN THE WATERPROOFING COMPONENTS EXPANDS THE DETAIL, THEREBY ALTERING THE DETAIL TO NO SCALE. DO NOT SCALE THE DRAWINGS. FOLLOW WRITTEN DIMENSIONS TO SCALED MEASUREMENTS; DETAILS TO GENERAL DRAWINGS.</p>	<ol style="list-style-type: none"> <li>PROTECTION: INSTALL ALL PROTECTION NECESSARY TO PREVENT DAMAGE TO BUILDING COMPONENTS AND GROUNDS AND SEGREGATE THE WORKSITE FROM THE GENERAL CAMPUS. INCLUDE REQUIRED FOR ASBESTOS ABATEMENT. REFER TO ABATEMENT PROTOCOL.</li> <li>DEMOLISH (E) ROOFING AND/OR COATING DOWN TO (E) CONCRETE SUBSTRATE DEMOLISH (E) FLASHING AND ACCESSORIES.</li> <li>DEMOLITION: REFER TO SELECTIVE DEMOLITION SCHEDULE IN SECTION 02422 "SELECTIVE DEMOLITION" AND THE CONTRACT DOCUMENTS. SELECTIVE ABATEMENT OF ASBESTOS CONTAINING MATERIALS (ACM) INCLUDE IN PROJECT. ACM IN (E) CALKING AT METAL ROOF EDGE AND ALL LAYERS OF ROOFING MATERIAL IS TO BE REMOVED. REFER TO ABATEMENT PROTOCOL. COLONNADE 14-16 DOES NOT CONTAIN ASBESTOS.</li> <li>PROVIDE CAST IRON STRAINER, CLAMPING RING, AND HARDWARE. CLEAN EXISTING DRAIN BOWLS. AFTER DRAIN AND ROOFING IS COMPLETE, CLEAN ALL DRAINS AND OVERFLOW PIPING DEBRIS AND CLOGS SUCH THAT THE SYSTEM IS FREE FLOWING. UTILIZE "ROTO-ROOTERS" TYPE EQUIPMENT DOWN FROM THE ROOF TO THE STORM SEWER CONNECTIONS FOR EACH DRAIN. OWNER'S REPRESENTATIVE MUST BE PRESENT DURING CLEANING.</li> <li>PROVIDE UNIT PRICE TO DEMOLISH AND PROVIDE SINGLE DRAIN IN CONCRETE DECK. DEMOLITION AND PROVISION OF STRAINER, CLAMPING RING, AND ASSOCIATED COMPONENTS ARE IN BASE BID.</li> <li>PROVIDE FLUID APPLIED ROOFING INDICATED IN CONTRACT DOCUMENTS. PROVIDE WOOD NAILERS, METAL FLASHINGS, ETC.</li> <li>PROVIDE PAINT AT CONCRETE UNDER EDGE METAL, EXPOSED METAL IN PROJECT, AND WHERE INDICATED.</li> <li>PROVIDE SHEET METAL FLASHING AND TRIM, JOINT SEALANTS, ROUGH CARPENTRY AS INDICATED AND AS REQUIRED TO COMPLETE THE WORK.</li> <li>PROVIDE OTHER WORK SHOWN OR NOTED IN THE CONTRACT DOCUMENTS.</li> <li>REMOVE ALL CONSTRUCTION DEBRIS, TOOLS, EQUIPMENT AND CONSTRUCTION FENCING FROM SITE AND RESTORE LANDSCAPING TO PRE-CONSTRUCTION CONDITION.</li> <li>CONCRETE REINFORCEMENT IS NOT SHOWN IN DETAILS FOR CLARITY. IF REINFORCING IS ENCOUNTERED DURING INSTALLATION OF FASTENERS, RELOCATE FASTENERS TO ADJACENT UNOBSTRUCTED PERCHES.</li> <li>PROVIDE SCHEDULE OF SEQUENCE FOR COLONNADES AND DISTRICT OFFICE DECKS FOR APPROVAL PRIOR TO START OF WORK.</li> <li>CORE DRILL EXISTING CONCRETE AND PROVIDE OVERFLOW DRAINS, OVERFLOW PIPING (COPPER), AND HARDWARE TO SECURE PIPE TO SUBSTRATE. SCAN EXISTING CONCRETE TO LOCATE EXISTING STEEL REINFORCING PRIOR TO DRILLING THROUGH CONCRETE. DRILLING THROUGH EXISTING REINFORCING IS NOT PERMITTED. CORES TAKEN THROUGH CONCRETE THAT EXPOSE EXISTING REINFORCING SHALL BE PATCHED AT NO COST TO THE OWNER.</li> <li>RE-ROUTE/LIFT (E) ELECTRICAL CONDUITS AND JUNCTION BOXES TO PROVIDE MINIMUM 8" FLASHING HEIGHT.</li> <li>PROVIDE PEDESTRIAN CONTROLS AND FENCING TO LIMIT ACCESS TO WORK AREAS. REFER TO SITE LOGISTICS PLAN FOR ADDITIONAL INFORMATION.</li> <li>PROVIDE COMPLETE SET OF AS-BUILT RECORD DRAWINGS AT PROJECT CLOSE OUT.</li> </ol>	<p>A101 COVER SHEET, GENERAL NOTES AND INDEX A102 CAMPUS SITE MAP A103 SITE LOGISTICS PLAN</p> <p>A201 ROOF PLAN - COLONNADE 14-16 4 COLONNADE 16-18 A202 ROOF PLAN - FOUNTAIN COLONNADE SOUTH AND NORTH</p> <p>A301 COLONNADE DETAILS A302 DISTRICT OFFICE BALCONY DECK DETAILS</p> <p>A401 COLONNADE PHOTOS A402 DISTRICT OFFICE BALCONY DECK PHOTOS</p>				
						<h3>APPLICATION CODES</h3> <p>2013 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE (CAC)</p> <p>2013 CALIFORNIA BUILDING CODE (CBC) VOLUME 1 AND 2</p> <p>2013 CALIFORNIA ELECTRICAL CODE (CEC)</p> <p>2013 CALIFORNIA MECHANICAL CODE (CMC)</p> <p>2013 CALIFORNIA ENERGY CODE</p> <p>2013 CALIFORNIA FIRE CODE (CFC)</p> <p>2013 CALIFORNIA GREEN CODE</p> <p>2013 CALIFORNIA REFERENCED STANDARDS CODE</p> <p>TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.</p>	

College of San Mateo  
1700 West Hillside Boulevard  
San Mateo, CA 94402

**College of San Mateo Colonnades & District Office Deck Waterproofing Project**

FOR:  
San Mateo County Community College District  
3401 CSM Drive  
San Mateo, CA 94402

VICINITY MAP	LOCATION MAP	AERIAL MAP

ISSUE	
Mark	Description
▲	Addendum #1
▲	Bid Set
▲	Description

DATE	DESCRIPTION
03/13/2015	PROJECT NO. 15-3794
04/16/15	CAD DWG FILE 3794_A101.dwg
04/02/2015	DRAWN BY AC
	CHECKED BY RW/IAI
	SHEET TITLE
	COVER SHEET, GENERAL NOTES AND INDEX
	SCALE: NOTED ON DRAWINGS

ADDENDUM #1, 04/16/2015

**A101**

SHEET





**ALLANA  
BUICK & BERS**  
Making Buildings Perform Better  
990 Commercial Street, Palo Alto, CA, 94303  
p 650.543.5600 - f 650.543.5625 - abbac.com

COLONNADE 16-18

**GENERAL SHEET NOTES**

- A. NO MATERIAL SHALL BE STOCK PILED ON ROOF SURFACE, BEYOND THAT REQUIRED FOR IMMEDIATE USE.
- B. REFER TO SITE LOGISTICS PLAN FOR ALL STAGING, STORAGE, PARKING, ACCESS, FENCING, SIGNAGE, ETC DIRECTION.
- C. CAMPUS SITE AND BUILDING TO REMAIN IN-USE. DO NOT BLOCK ACCESS TO SITE OR BUILDING AT ANY TIME.
- D. CONTRACTOR TO ABIDE BY SITE PROTECTION AND SITE CLEANING REQUIREMENTS OUTLINED IN DIVISION I OF THE SPECIFICATIONS. CONSTRUCTION AND DEMOLITION DEBRIS TO BE CONFINED WITHIN BARRIER FENCING, EXCEPT AT DESIGNATED DISPOSAL AREAS.
- E. LANDSCAPING AND / OR SITE WORK DAMAGED BY DEMOLITION / CONSTRUCTION OPERATIONS, CONTRACTOR EMPLOYEES, SUB-CONSULTANTS OR CONTRACTOR'S SUPPLIERS SHALL BE REPLACED BY CONTRACTOR AT NO COST TO OWNER OR OWNER'S REPRESENTATIVES.
- F. ANY DAMAGE (TIRE MARKS, MARRING, DISCOLORATIONS) TO THE BUILDING EXTERIOR FINISHES, WINDOWS, DOORS, SIGNS OR APPLIANCES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- G. ANY DAMAGE TO (E) PAVED ROADS, WALKWAYS, OR SIDEWALKS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- H. COORDINATE WORK SCHEDULE WITH FACILITIES.
- J. DOOR ENTRANCE CANOPIES SHALL BE FULL WIDTH OF OPENING, FULLY PROTECT ENTRANCE AND EXIT PATH FOR OCCUPANTS.
- K. CONTRACTOR SETUP AND STORAGE AREA, WALKWAYS ADJACENT TO SETUP AND STORAGE AREAS TO BE MAINTAINED AT WIDTHS IN COMPLIANCE WITH ADA REQUIREMENTS.

**Campus Map**

**One-day Permits**  
\$2 per day. Valid only during class hours from 7:00 am to 10:00 pm  
Permit machines indicated by **D** on the map: Hillsdale (Lot 1), Beethoven (Lot 2), Galileo (Lot 6), and Stadium (Lot 11)

**Visitor Parking**  
Visitors to campus may park in PayBySpace visitor parking in Beethoven Lot 2A and 2D between 7:00 am and 5:00 pm. Visitors must purchase a visitor permit (\$1 per hour) at the PayBySpace permit machines located in both lots (indicated by **V** on the map).

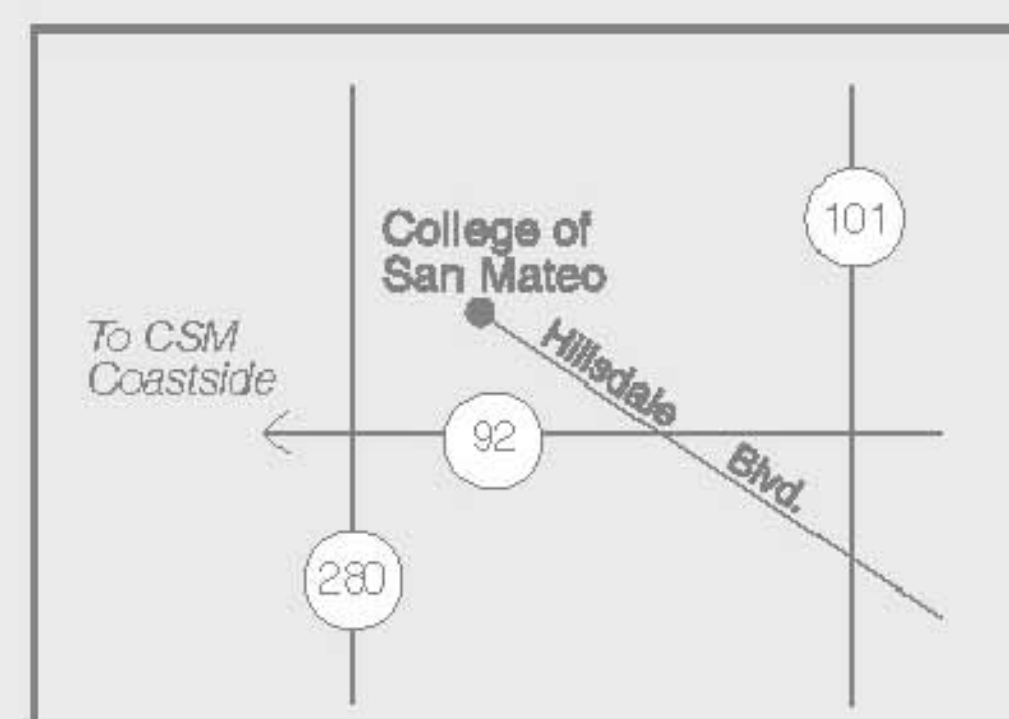
**Student Parking**  
Hillsdale (Lot 1), Beethoven (Lot 2), Galileo (Lot 6), Bulldog (Lot 9) or Stadium (Lot 11)

**Staff Parking**  
Beethoven (Lot 2B), DaVinci (Lot 3), Socrates (Lot 4), Marie Curie (Lot 5), Galileo (Lot 6 Staff), Edison (Lot 7\*), Sandbox (Lot 10)  
(\* indicates lot available for student parking after 5 pm only, permit required)

**Restricted Parking**  
Olympian (Lot 12) staff and members of San Mateo Athletic Club, and patrons and clients of Cosmetology and Dental programs.

**Disabled Parking**  
By special permit only (contact Disability Resource Center, Building 16, Room 150, 574-6438)

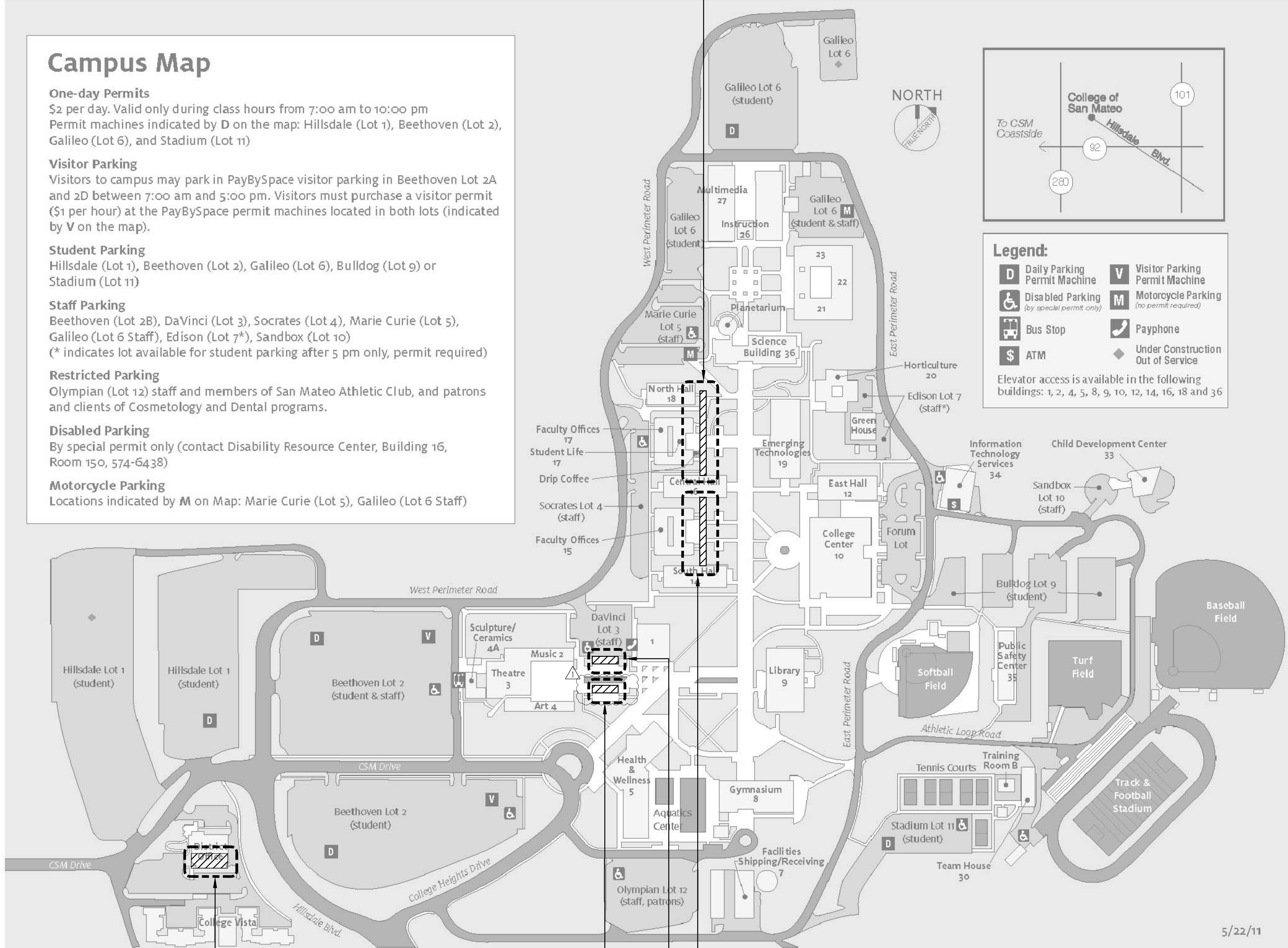
**Motorcycle Parking**  
Locations indicated by **M** on Map: Marie Curie (Lot 5), Galileo (Lot 6 Staff)



**Legend:**

**D** Daily Parking Permit Machine  
**V** Visitor Parking Permit Machine  
**♿** Disabled Parking (by special permit only)  
**M** Motorcycle Parking (no permit required)  
**🚌** Bus Stop  
**☎** Payphone  
**🏪** ATM  
**⬮** Under Construction Out of Service

Elevator access is available in the following buildings: 1, 2, 4, 5, 8, 9, 10, 12, 14, 16, 18 and 36



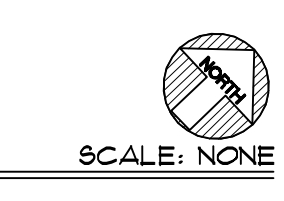
DISTRICT OFFICE  
BALCONY DECK

FOUNTAIN COLONNADE SOUTH

COLONNADE 14-16

FOUNTAIN COLONNADE NORTH

① CAMPUS SITE MAP



**LEGEND**



College of San Mateo  
1700 West Hillsdale Boulevard  
San Mateo, CA 94402

**College of San Mateo Colonnades & District Office Deck Waterproofing Project**

FOR:  
San Mateo County Community College District  
3401 CSM Drive  
San Mateo, CA 94402

ISSUE		

Addendum #1	04/16/15

**CAMPUS SITE MAP**

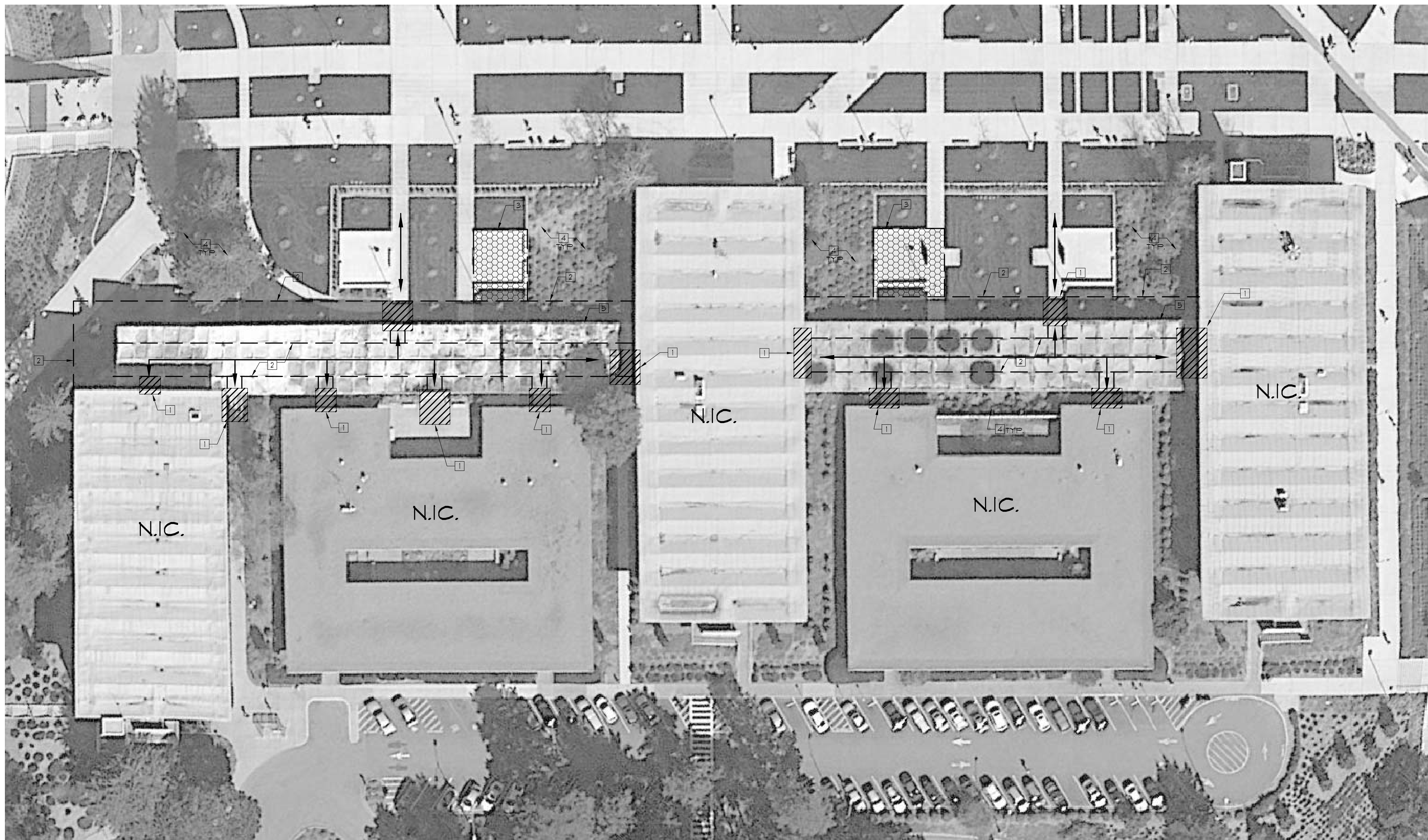
SCALE: NOTED ON DRAWINGS

**A102**

SHEET

ADDENDUM #1, 04/16/2015





**GENERAL SHEET NOTES**

- A. THE TEMPORARY MEASURES AND REQUIREMENTS INDICATED ON THIS SITE LOGISTICS PLAN ILLUSTRATE ONLY A PORTION OF THE CONTRACTOR'S RESPONSIBILITY FOR STORAGE, SAFETY, AND PROTECTION UNDER THE CONTRACT. REFER TO DIVISION 04.1.
- B. BUILDING MATERIALS TO BE STORED IN INDICATED AREAS ONLY. VEHICLES WILL BE ALLOWED IN DESIGNATED LOCATIONS ONLY.
- C. CONTRACTORS SETUP AND STORAGE AREAS SHALL BE WHERE INDICATED ONLY.
- D. ROOF ACCESS SHALL BE FROM EXTERIOR ONLY. SUBMIT PLAN FOR APPROVAL BY OWNER.
- E. BUILDING AND SITE TO REMAIN IN-USE. DO NOT BLOCK ACCESS TO SITE OR BUILDING AT ANY TIME.
- F. CONTRACTOR TO ABIDE BY SITE PROTECTION AND SITE CLEANING REQUIREMENTS OUTLINED IN DIVISION 1 OF THE SPECIFICATIONS. CONSTRUCTION AND DEMOLITION DEBRIS TO BE CONFINED WITHIN BARRIER FENCING, EXCEPT AT DESIGNATED DISPOSAL AREAS.
- G. LANDSCAPING AND / OR SITE WORK DAMAGED BY DEMO / CONSTRUCTION OPERATIONS, CONTRACTOR EMPLOYEES, SUB-CONSULTANTS OR CONTRACTORS SUPPLIERS SHALL BE REPLACED BY CONTRACTOR AT NO COST TO OWNER OR OWNER'S REPRESENTATIVES.
- H. ANY DAMAGE TO THE BUILDING EXTERIOR FINISHES, WINDOWS, DOORS, SIGNS OR APPLIANCES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- I. ANY DAMAGE TO (E) PAVED ROADS, WALKWAYS, OR SIDEWALKS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- K. CONTRACTOR SHALL PROVIDE BARRIER FENCING CONTINUOUS AROUND THE AREA OF CONSTRUCTION AS INDICATED, INCLUDING GATES AND LOCKS.
- L. DOOR ENTRANCE CANOPIES SHOWN ARE THE MIN. REQUIRED BY CONTRACT. CONTRACTOR AT HIS OPTION MAY USE ADDITIONAL CANOPIES AS REQUIRED TO COMPLETE THE WORK.
- M. DOOR ENTRANCE CANOPIES SHALL BE FULL WIDTH OF OPENING, FULLY PROTECTED ENTRANCE AND EXIT PATH FOR OCCUPANTS.
- N. CONTRACTOR SETUP AND STORAGE AREA, WALKWAYS ADJACENT TO SETUP AND STORAGE AREAS TO BE MAINTAINED AT WIDTHS IN COMPLIANCE WITH ADA REQUIREMENTS.
- P. PROVIDE DETOUR SIGNAGE WHERE DIRECTED BY THE OWNER, INCLUDING FENCE-MOUNTED SIGNAGE NECESSARY TO RE-DIRECT TO AVAILABLE ENTRANCES.
- Q. NO MATERIAL SHALL BE STOCK PILED ON ROOF SURFACE BEYOND THAT REQUIRED FOR IMMEDIATE USE.
- R. REMOVAL OF DEBRIS FROM ROOF TO GROUND LEVEL SHALL BE BY ENCLOSED CHUTE OR DEBRIS BOX AND CRANE PICKS. CONTRACTOR TO CONSOLIDATE MATERIALS TO MINIMIZE PICKS.
- S. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

**KEY NOTES**

- 1 PROVIDE PROTECTIVE CANOPIES OVER BUILDING ENTRANCES, WHERE SHOWN ON SITE LOGISTICS PLAN. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF EACH CANOPY FOR APPROVAL PRIOR TO ERECTION.
- 2 BARRIER FENCING WITH MESH FABRIC AND LOCKS, WHERE POSSIBLE WHILE MAINTAINING ADA ACCESS.
- 3 AREA FOR CONTRACTOR SETUP AND STORAGE. PROVIDE FENCING AND GATES AS REQ'D. 4' MIN. FROM EDGE OF BUILDING WHERE POSSIBLE WHILE MAINTAINING ADA ACCESS. CONTRACTOR RESPONSIBLE FOR PROTECTION OF (E) LANDSCAPING OR (E) HARDSCAPING, INCLUDING GRASS TURF. ANY DAMAGE TO (E) LANDSCAPING OR (E) HARDSCAPING SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- 4 TYPICAL ALL LANDSCAPING AREAS TO BE PROTECTED FROM FALLING DEBRIS/SCRAP.
- 5 LOCATION FOR EXTENSION LADDER. ANCHOR PER OSHA REQUIREMENTS.

**LEGEND**

- BARRIER FENCING WITH MESH FABRIC
- [Hexagonal Pattern] AUTHORIZED CONTRACTOR SETUP AND STORAGE AREA IF FIELD CONDITIONS ALLOW
- [Diagonal Hatching] PROTECTIVE CANOPIES OVER BUILDING ENTRANCES AND WALKWAYS 8 FEET MIN. TWICE THAT OF SCAFFOLDING
- PATH OF TRAVEL
- SHEET KEYED NOTE



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**College of San  
Mateo Colonnades  
& District Office  
Deck  
Waterproofing  
Project**

FOR:  
San Mateo County  
Community College  
District  
3401 CSM Drive  
San Mateo, CA 94402

ISSUE		

	Addendum #1	04/16/15
	Bid Set	04/02/2015

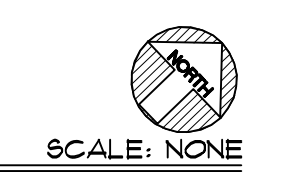
DATE	DESCRIPTION	DATE
03/13/2015		
15-3794		
3794_A103.dwg		
AC		
RW/AI		

SHEET TITLE  
**SITE LOGISTICS PLAN**

SCALE: NOTED ON DRAWINGS

**A103**  
SHEET

1 SITE LOGISTICS PLAN



ADDENDUM #1, 04/16/2015

P:\2015 Projects\15-3794-01 SKCCD - College of San Mateo Colonnades\05-CD\Drawings\Drawgs\_04\2015-04-15\_Addendum 1\3794\_A103.dwg, 4/16/2015 6:02:11 PM



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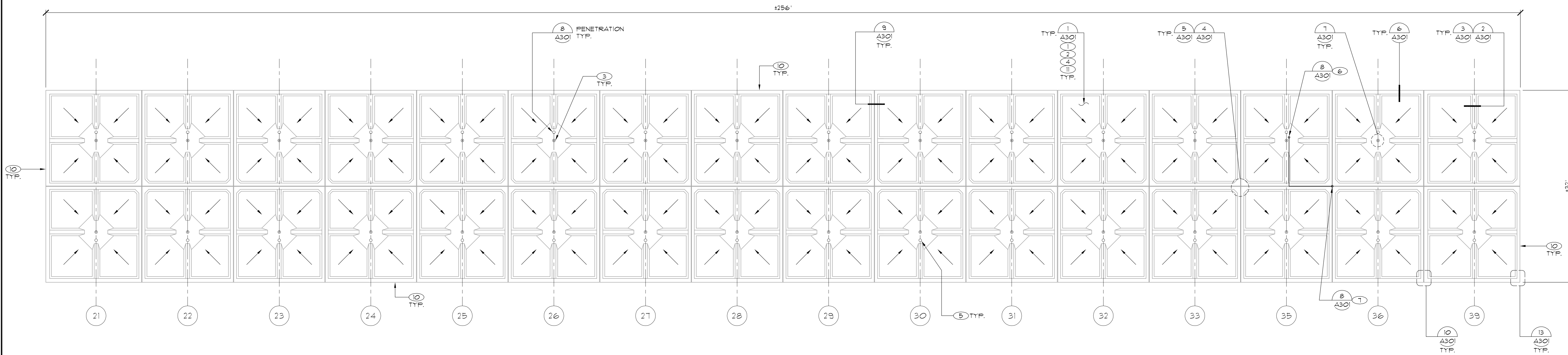
**LEGEND**

- (E) SLOPE DIRECTION
- (E) ROOF DRAIN
- (E) COPPER OVERFLOW PIPE
- ⊗ OVERFLOW CORE AND COPPER PIPE
- ( ) DETAIL CALLOUTS
- KEY NOTES

**KEY NOTES**

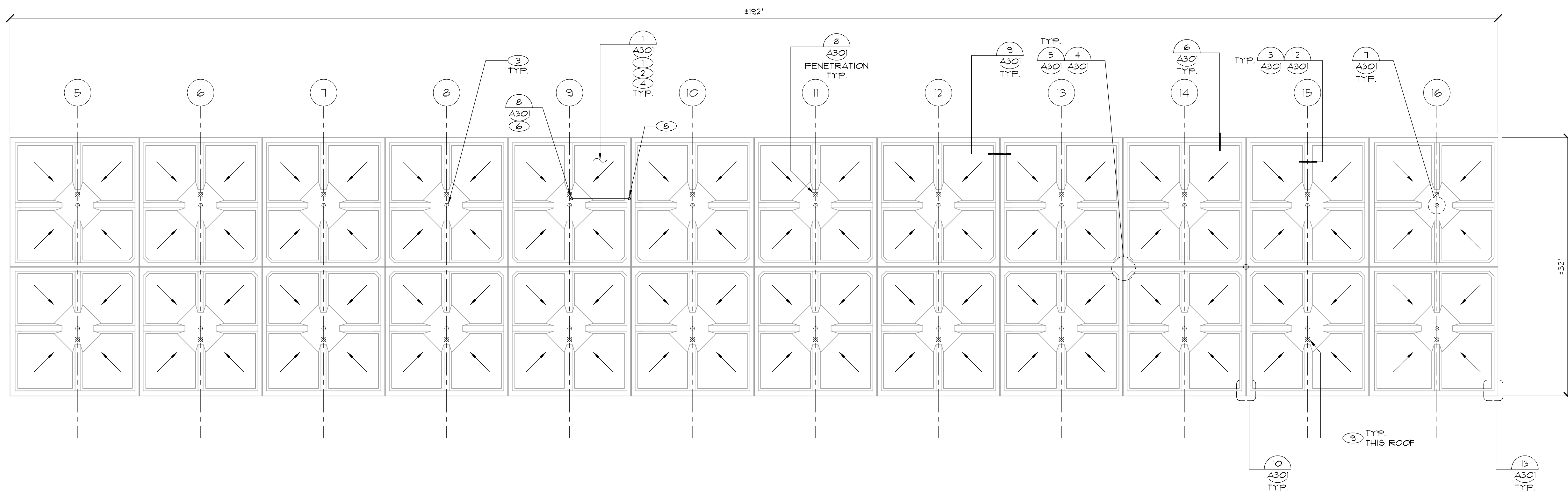
1. DEMOLISH EXISTING ROOF SYSTEMS TO BASE CONCRETE.
2. DEMOLISH (E) LEAD FLASHING BUT DO NOT DAMAGING EXISTING PENETRATIONS, TYPICAL.
3. DEMOLISH (E) STRAINER DOME, CLAMPING RING AND BOLTS. SALVAGE COMPLETE ASSEMBLIES AND DELIVER TO OWNER.
4. PROVIDE FLUID-APPLIED ROOFING SYSTEM.
5. ADJUST HEIGHT OF (E) COPPER PENETRATION ADJACENT TO DRAIN. PROVIDE INTAKE LEVEL AT 2" ABOVE ROOF DRAIN.
6. ELECTRICAL CONDUIT PENETRATION. RAISE TO 8" MINIMUM HEIGHT.
7. ELECTRICAL JUNCTION BOX. RAISE CONDUIT STUB TO 8" MINIMUM HEIGHT.
8. RE-ROUTE CONDUIT TO PROPER 8" HEIGHT.
9. PROVIDE OVERFLOW CORE IN CONCRETE DECK AND COPPER DRAIN LINE.
10. (E) SEALANT AT OUTSIDE EDGE OF METAL FLASHING CONTAINS ASBESTOS. ABATEMENT REQUIRED. FOLLOW ABATEMENT PROTOCOL.
11. ALL LAYERS OF ROOFING MATERIAL CONTAIN ASBESTOS. ABATEMENT REQUIRED. FOLLOW ABATEMENT PROTOCOL.

AS NOTED WITH: ○



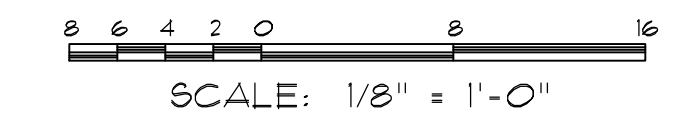
2 ROOF PLAN - COLONNADE 16-18 (NORTH COLONNADE)

SCALE: 1/8" = 1'-0"



1 ROOF PLAN - COLONNADE 14-16 (SOUTH COLONNADE)

SCALE: 1/8" = 1'-0"



1" HIGH AT FULL SCALE  
IF NOT 1" HIGH THE DRAWING  
HAS BEEN REPRODUCED  
(NOT TO SCALE SHOWN)

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& District Office  
Deck  
Waterproofing  
Project**

FOR:  
San Mateo County  
Community College  
District  
3401 CSM Drive  
San Mateo, CA 94402

Mark	Description	Date
	DATE	03/13/2015
	PROJECT NO.	15-3794
	CAD DWG FILE	3794_A201.dwg
	DRAWN BY	AC
	CHECKED BY	FRW/AL
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**ROOF PLAN -  
COLONNADE 14-16 &  
COLONNADE 16-18**

SCALE: NOTED ON DRAWINGS

**A201**  
SHEET

APPENDUM #1, 04/16/2015





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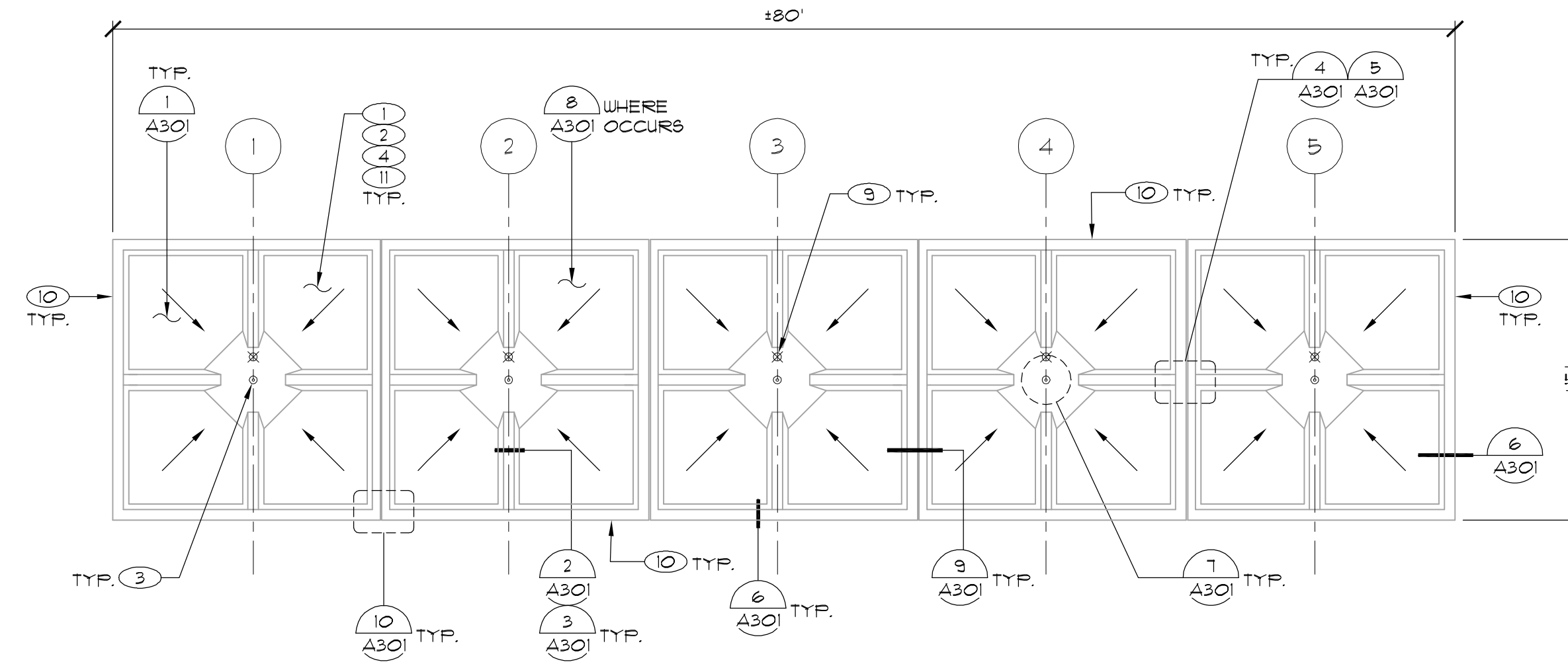
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**LEGEND**

- (E) SLOPE DIRECTION
- (E) ROOF DRAIN
- (E) COPPER OVERFLOW PIPE
- ⊗ OVERFLOW CORE AND COPPER PIPE
- ⊙ DETAIL CALLOUTS
- ⊙ KEY NOTES

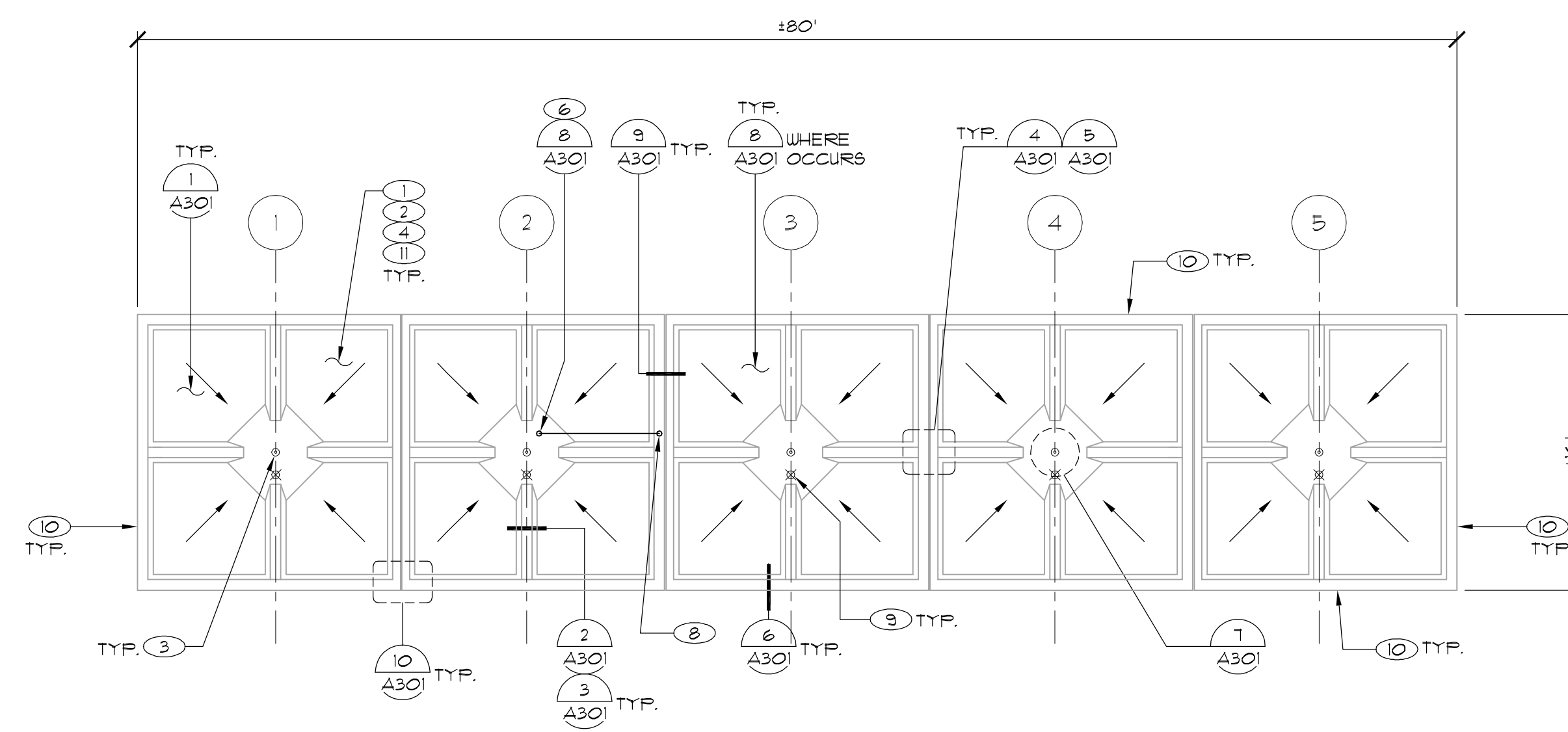
**KEY NOTES**

1. DEMOLISH EXISTING ROOF SYSTEMS TO BASE CONCRETE.
2. DEMOLISH (E) LEAD FLASHING BUT DO NOT DAMAGING EXISTING PENETRATIONS, TYPICAL.
3. DEMOLISH (E) STRAINER DOME, CLAMPING RING AND BOLTS. SALVAGE COMPLETE ASSEMBLIES AND DELIVER TO OWNER.
4. PROVIDE FLUID-APPLIED ROOFING SYSTEM.
5. ADJUST HEIGHT OF (E) COPPER PENETRATION ADJACENT TO DRAIN. PROVIDE INTAKE LEVEL AT 2" ABOVE ROOF DRAIN.
6. ELECTRICAL CONDUIT PENETRATION. RAISE TO 8" MINIMUM HEIGHT.
7. ELECTRICAL JUNCTION BOX. RAISE CONDUIT STUB TO 8" MINIMUM HEIGHT.
8. RE-ROUTE CONDUIT TO PROPER 8" HEIGHT.
9. PROVIDE OVERFLOW CORE IN CONCRETE DECK AND COPPER DRAIN LINE.
10. (E) SEALANT AT OUTSIDE EDGE OF METAL FLASHING CONTAINS ASBESTOS. ABATEMENT REQUIRED. FOLLOW ABATEMENT PROTOCOL.
11. ALL LAYERS OF ROOFING MATERIAL CONTAIN ASBESTOS. ABATEMENT REQUIRED. FOLLOW ABATEMENT PROTOCOL.



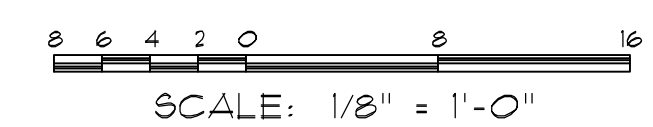
2 ROOF PLAN - FOUNTAIN COLONNADE NORTH

SCALE: 1/8" = 1'-0"



1 ROOF PLAN - FOUNTAIN COLONNADE SOUTH

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

1 INCH AT FULL SCALE  
IF NOT 1 INCH THE DRAWING  
HAS BEEN REPRODUCED  
(NOT TO SCALE ANYMORE)

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Mark	Description	Date
	Bid Set	04/02/2015
DATE	03/13/2015	
PROJECT NO.	15-3794	
CAD DWG FILE	3794_A202.dwg	
DRAWN BY	AC	
CHECKED BY	RW/IAI	
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ROOF PLAN - FOUNTAIN  
COLONNADE SOUTH  
AND NORTH & BLDG 1  
AND 4 COLONNADE

SCALE: NOTED ON DRAWINGS

**A202**

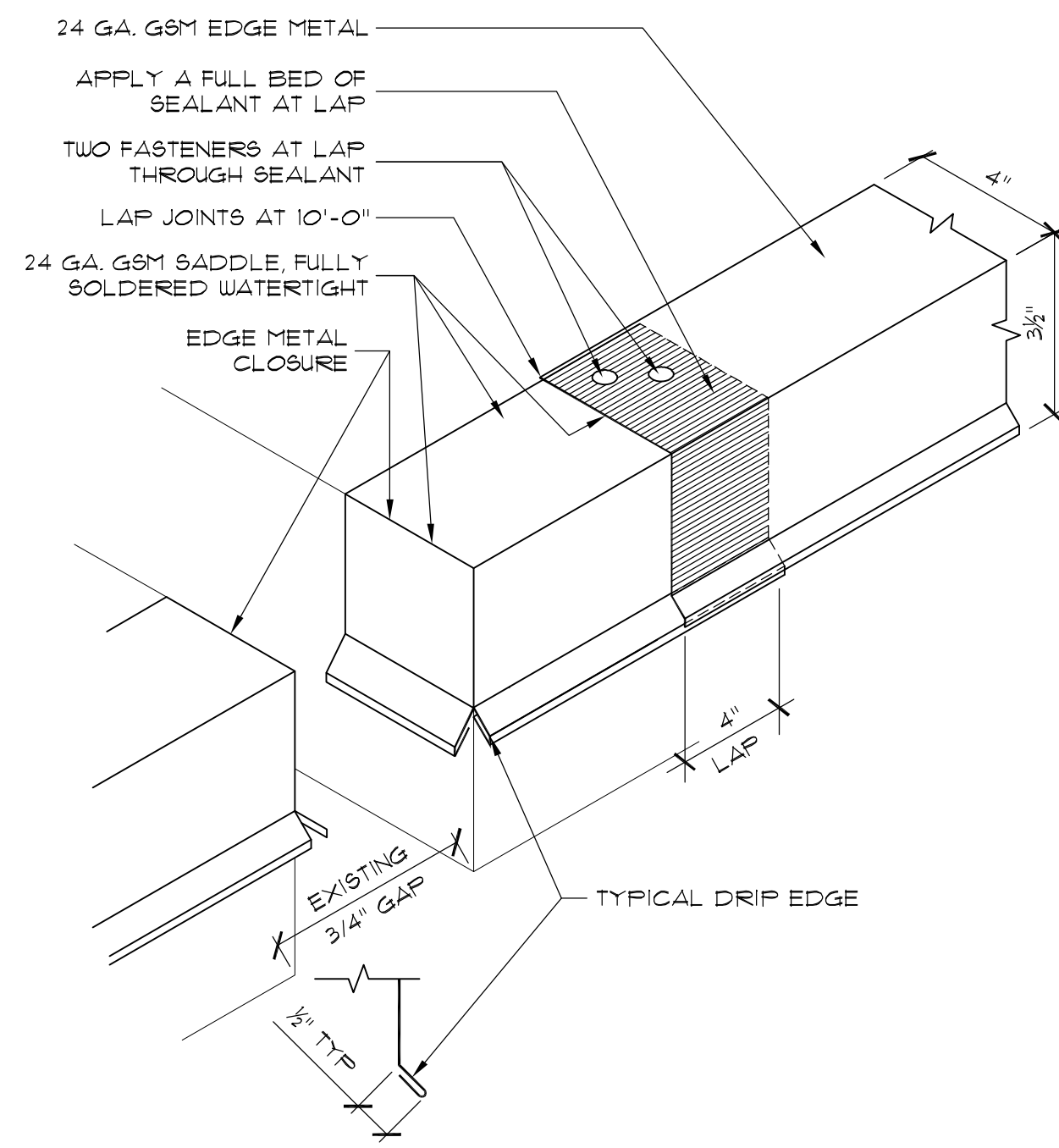
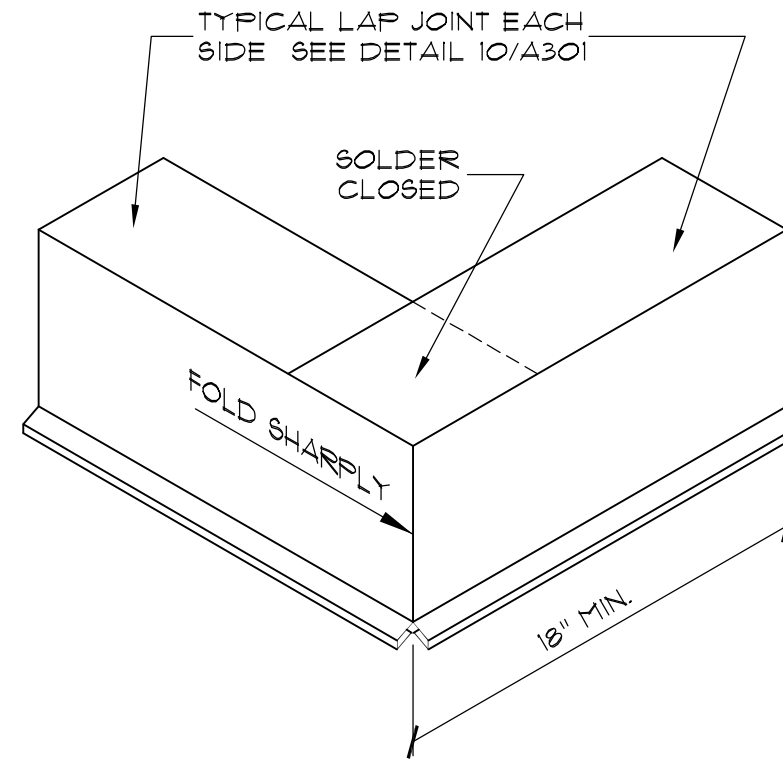
SHEET

ADDENDUM #1, 04/16/2015



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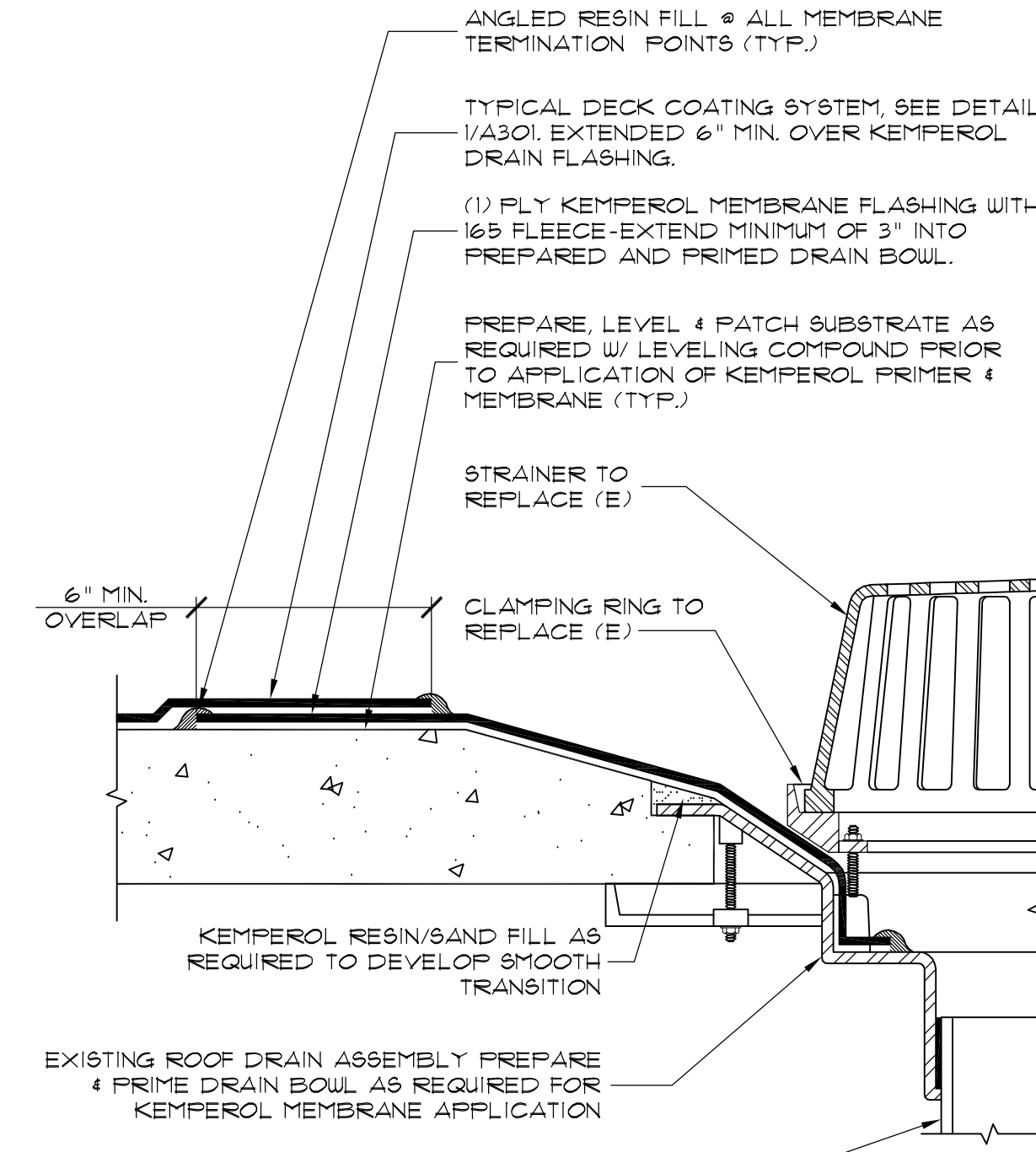
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NOTES:  
1. SOLDER ALL LAPS TO FORM ONE CONTINUOUS WATERTIGHT PIECE.  
2. ALL DIMENSIONS TO BE FIELD VERIFIED.

**EDGE METAL OUTSIDE CORNER**

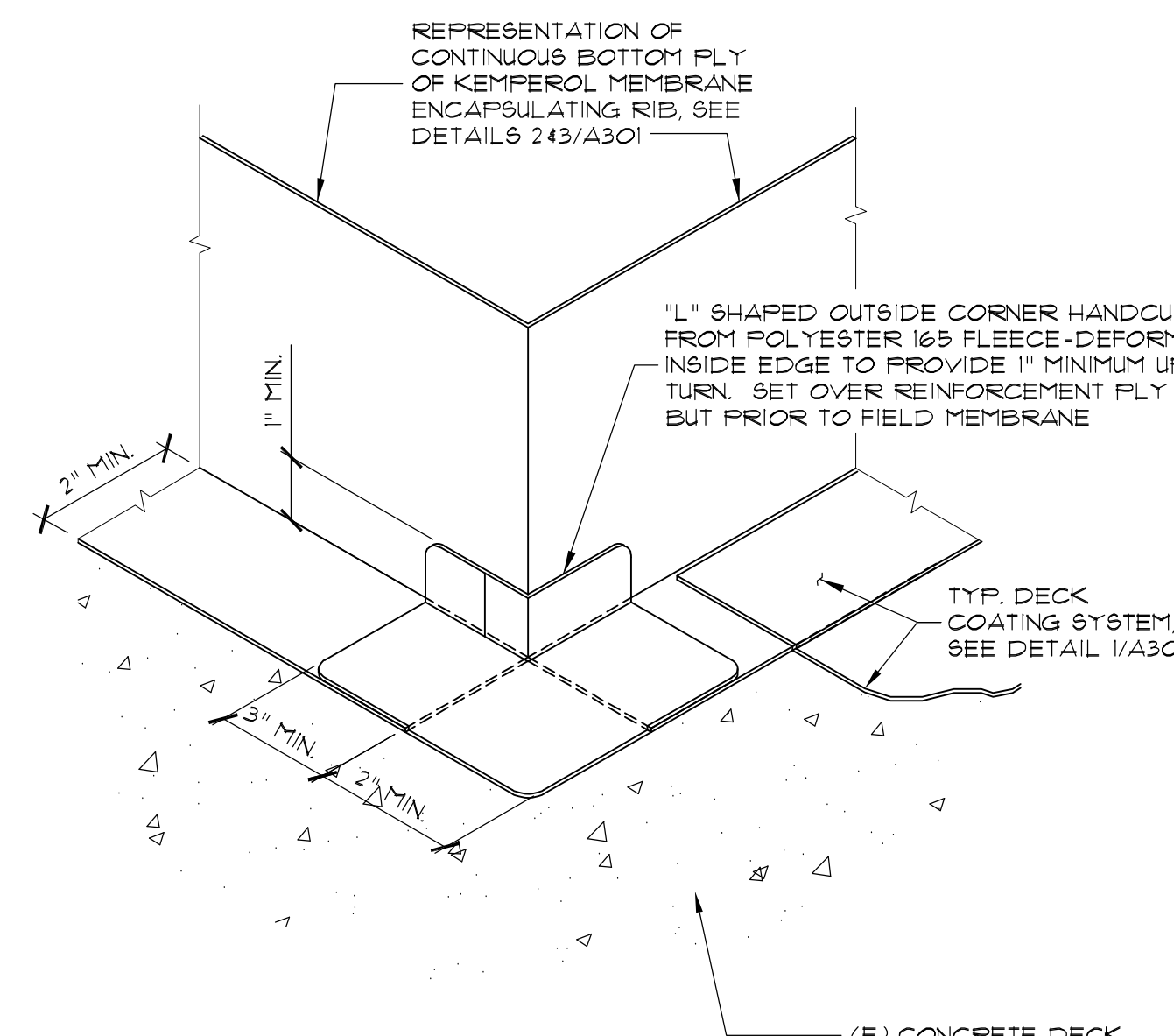
SCALE: N.T.S. FILE: **13**  
**A301**



NOTES:  
1. DRAIN BOWL MUST BE FREE FROM ALL RUST AND OTHER CONTAMINATES.  
2. PROVIDE 3/8" FASTENERS, WASHERS, NUTS AND OTHER HARDWARE NECESSARY FOR COMPLETE DRAIN ASSEMBLY.

**TYPICAL DRAIN DETAIL**

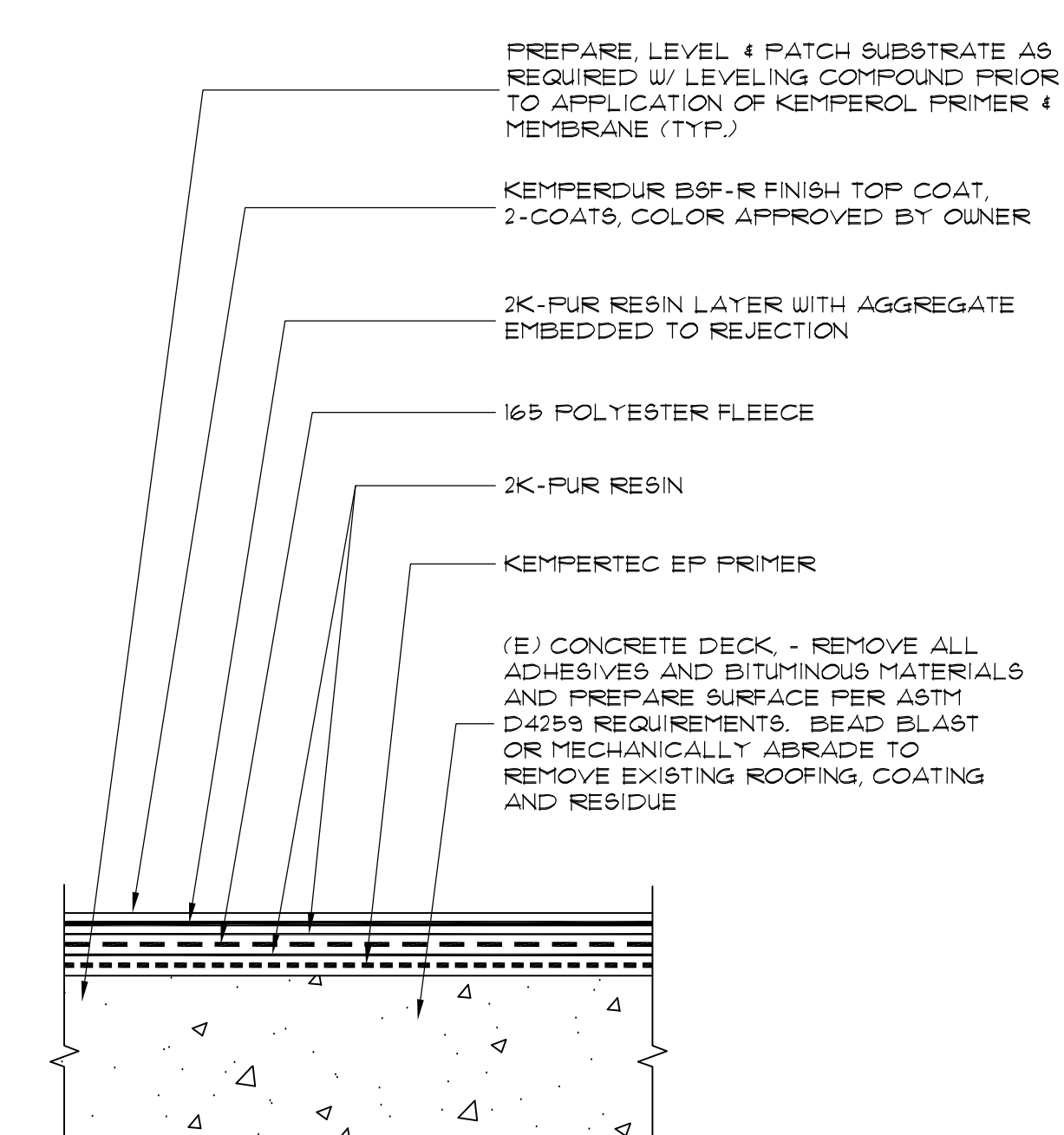
SCALE: N.T.S. FILE: **10**  
**A301**



NOTES:  
1. PRIME CONCRETE SUBSTRATE WITH KEMPERTEC EP PRIMER.

**FIELD FABRICATED OUTSIDE CORNER FLASHING**

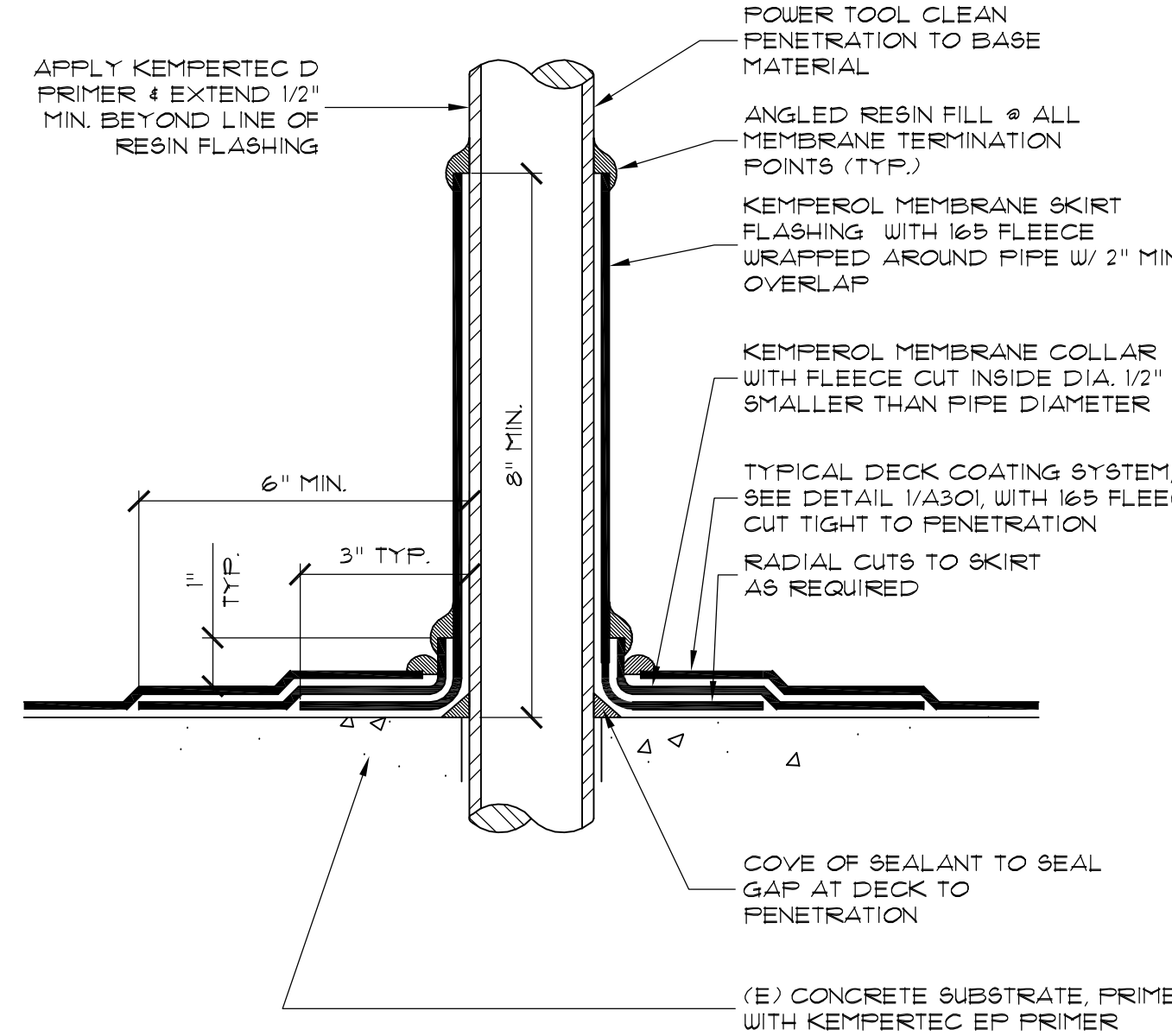
SCALE: N.T.S. FILE: **4**  
**A301**



NOTES:  
1. PROPRIETARY PRODUCTS INDICATED IN DETAILS ARE THOSE OF THE BASIS-OF-DESIGN MANUFACTURER OF FLUID-APPLIED ROOFING.

**TYPICAL COLONNADE ROOF COATING SYSTEM DETAIL**

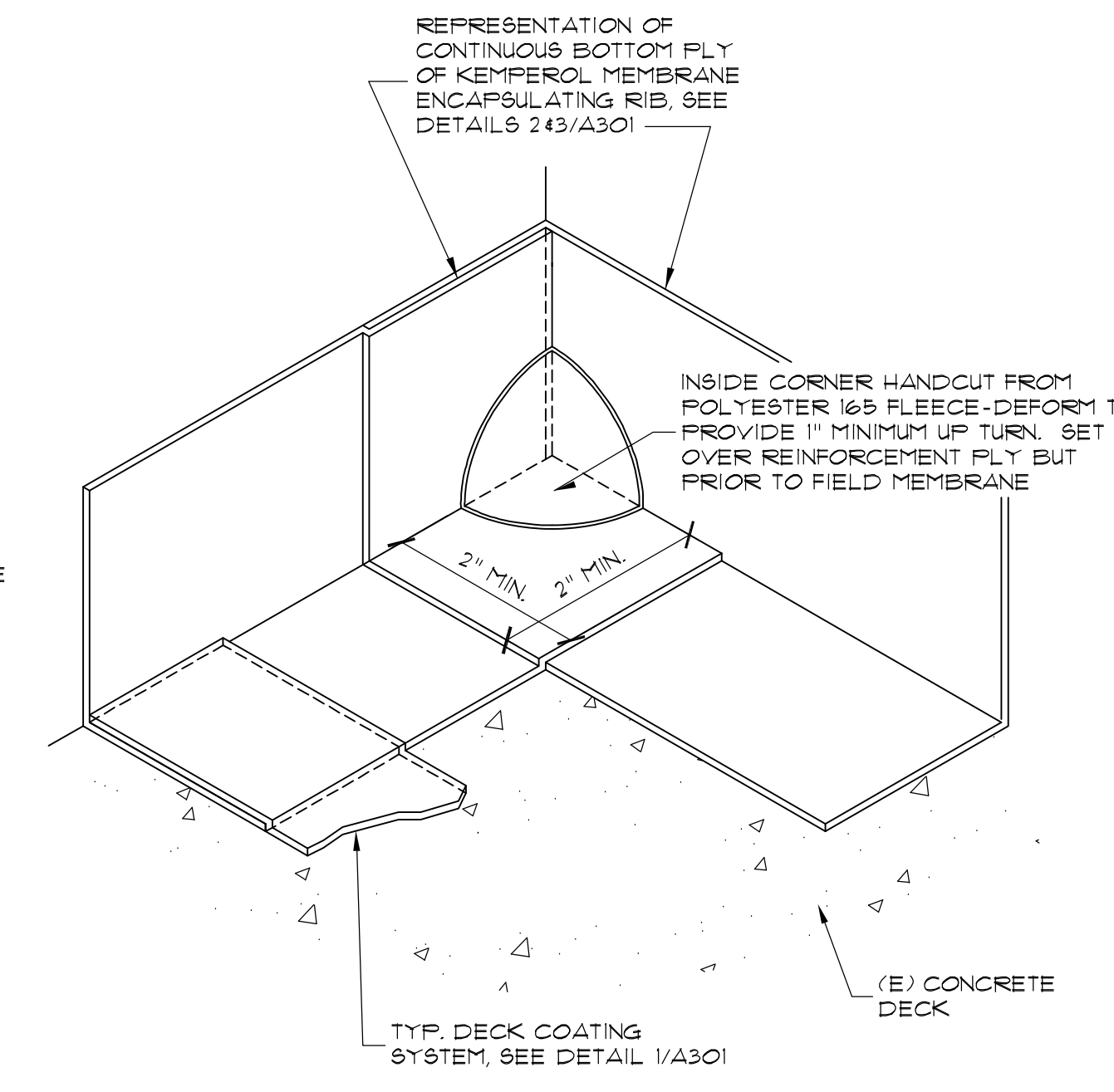
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**A301**



NOTES:  
1. RAISE/EXTEND ELECTRICAL CONDUIT TO PROVIDE 8" MIN. FLASHING HEIGHT, TYPICAL.

**TYPICAL PENETRATION DETAIL**

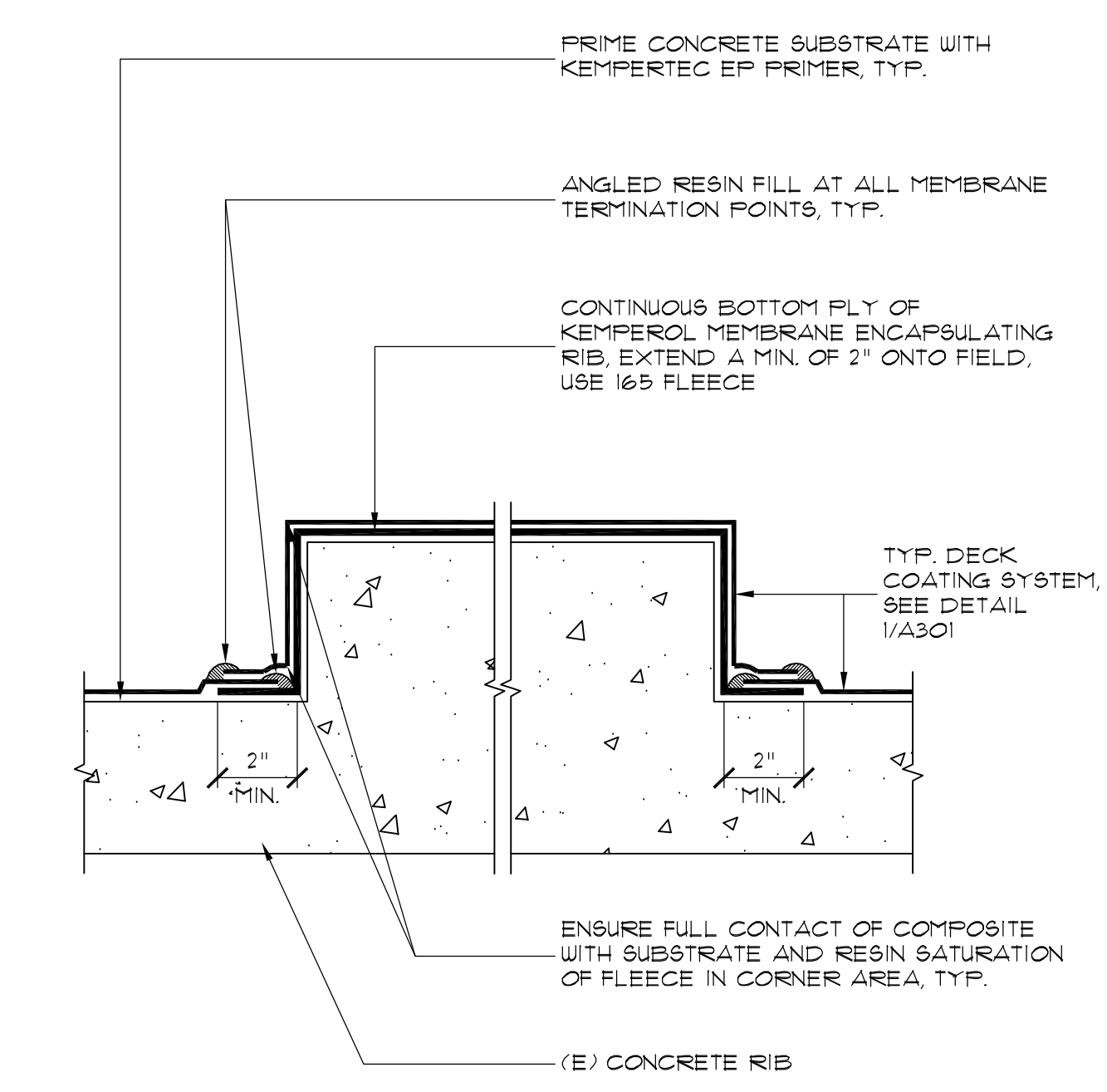
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**A301**



NOTES:  
1. PRIME CONCRETE SUBSTRATE WITH KEMPERTEC EP PRIMER.

**FIELD FABRICATED INSIDE CORNER FLASHING**

SCALE: N.T.S. FILE: **5**  
**A301**



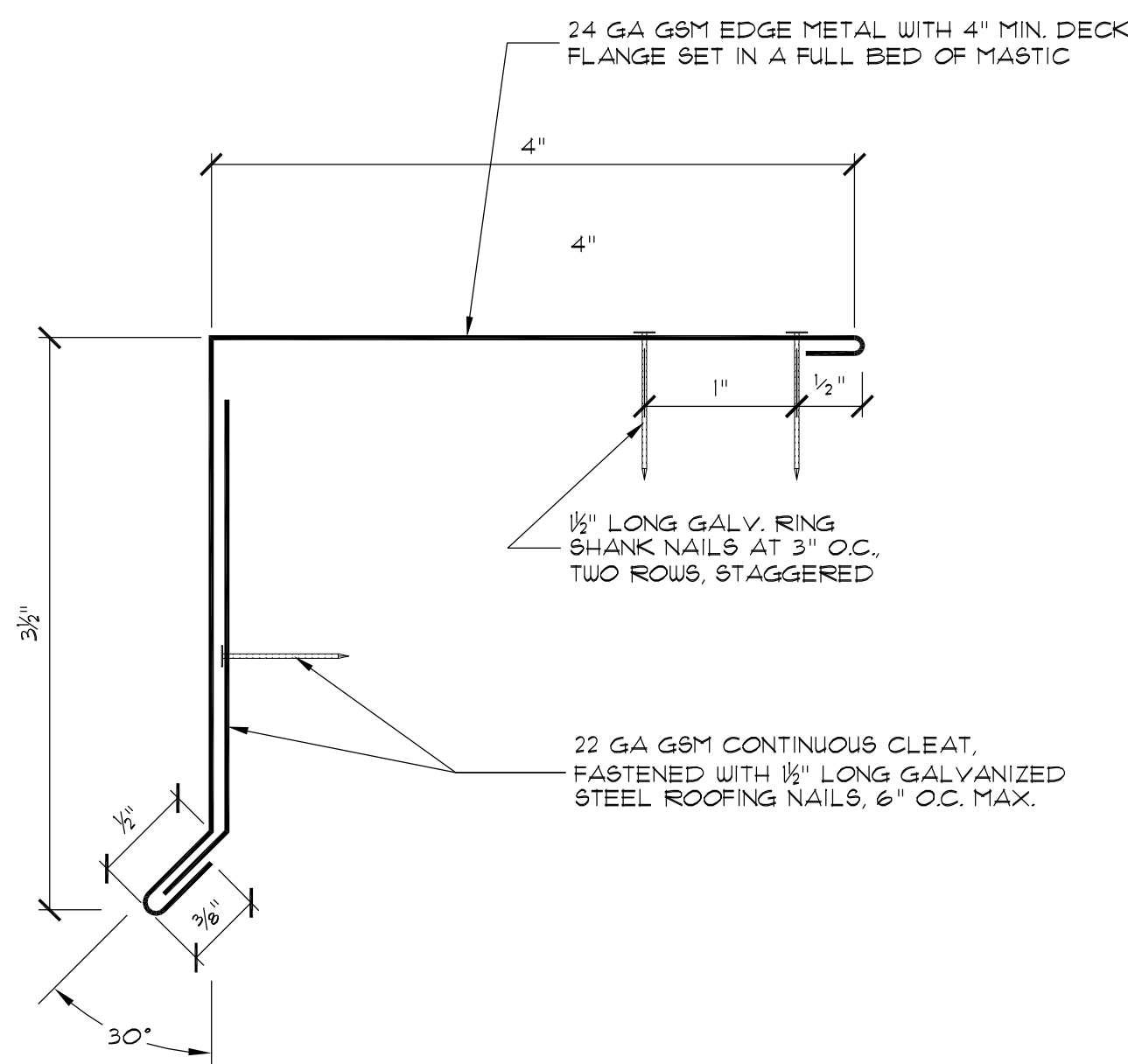
NOTES:  
1. CONTINUE BOTTOM FLY OF KEMPEROL MEMBRANE AND FLEECE 2" PAST BOTTOM END OF 90 DEGREE CONCRETE RIB.

**90 DEGREE CONCRETE RIB REINFORCEMENT**

SCALE: N.T.S. FILE: **2**  
**A301**

NOT USED

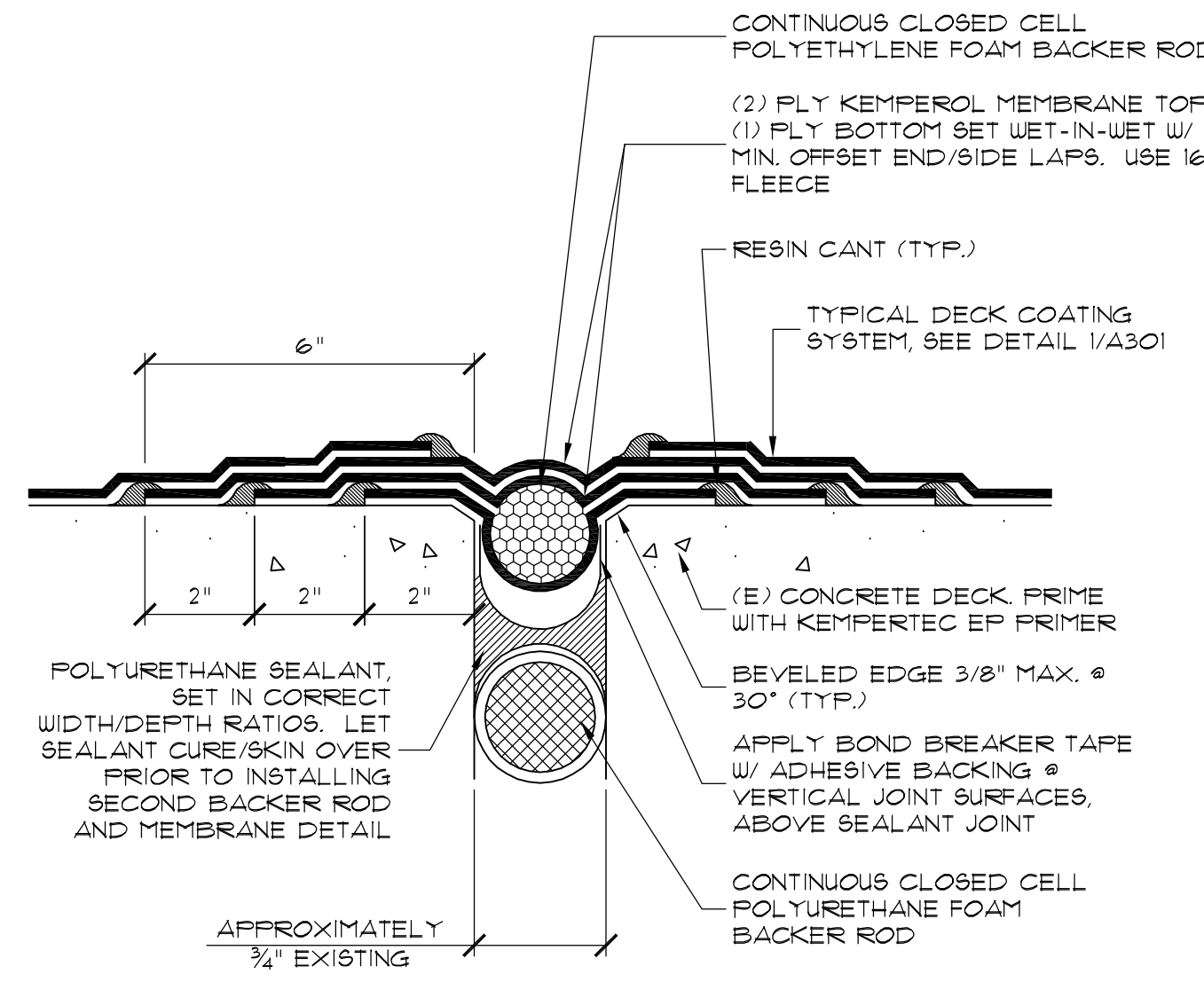
SCALE: N.T.S. FILE: **15**  
**A301**



NOTES:  
1. SEE DETAIL 10/A301 FOR LAPS AND 13/A301 FOR CORNERS.

**EDGE FABRICATION**

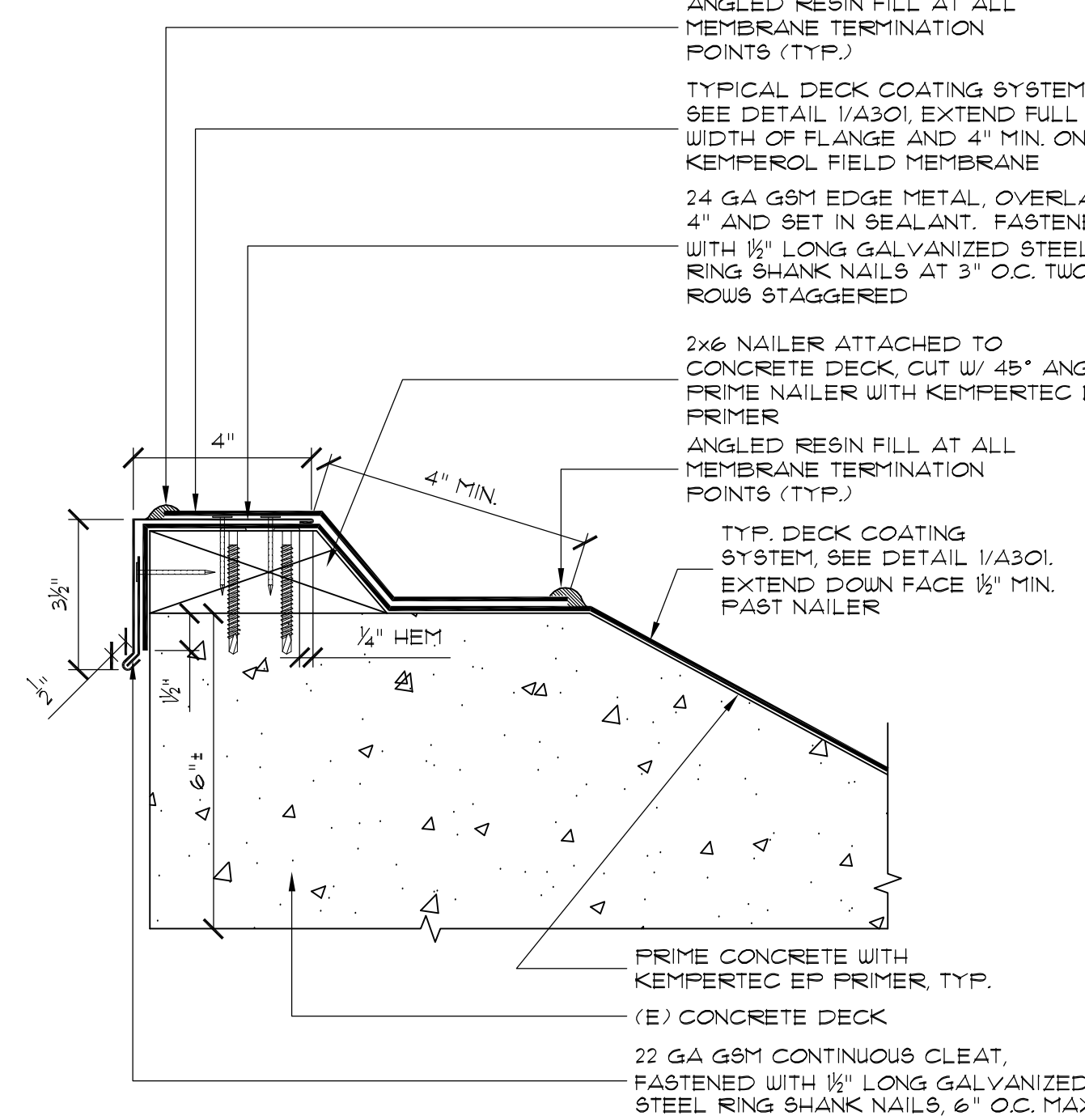
SCALE: N.T.S. FILE: **15**  
**A301**



NOTES:  
1. EXTEND PRIMARY BACKER ROD AND SEALANT APPLICATION DOWN OUTSIDE FACE OF COLONNADE.

**TYPICAL EXPANSION JOINT BETWEEN SECTIONS**

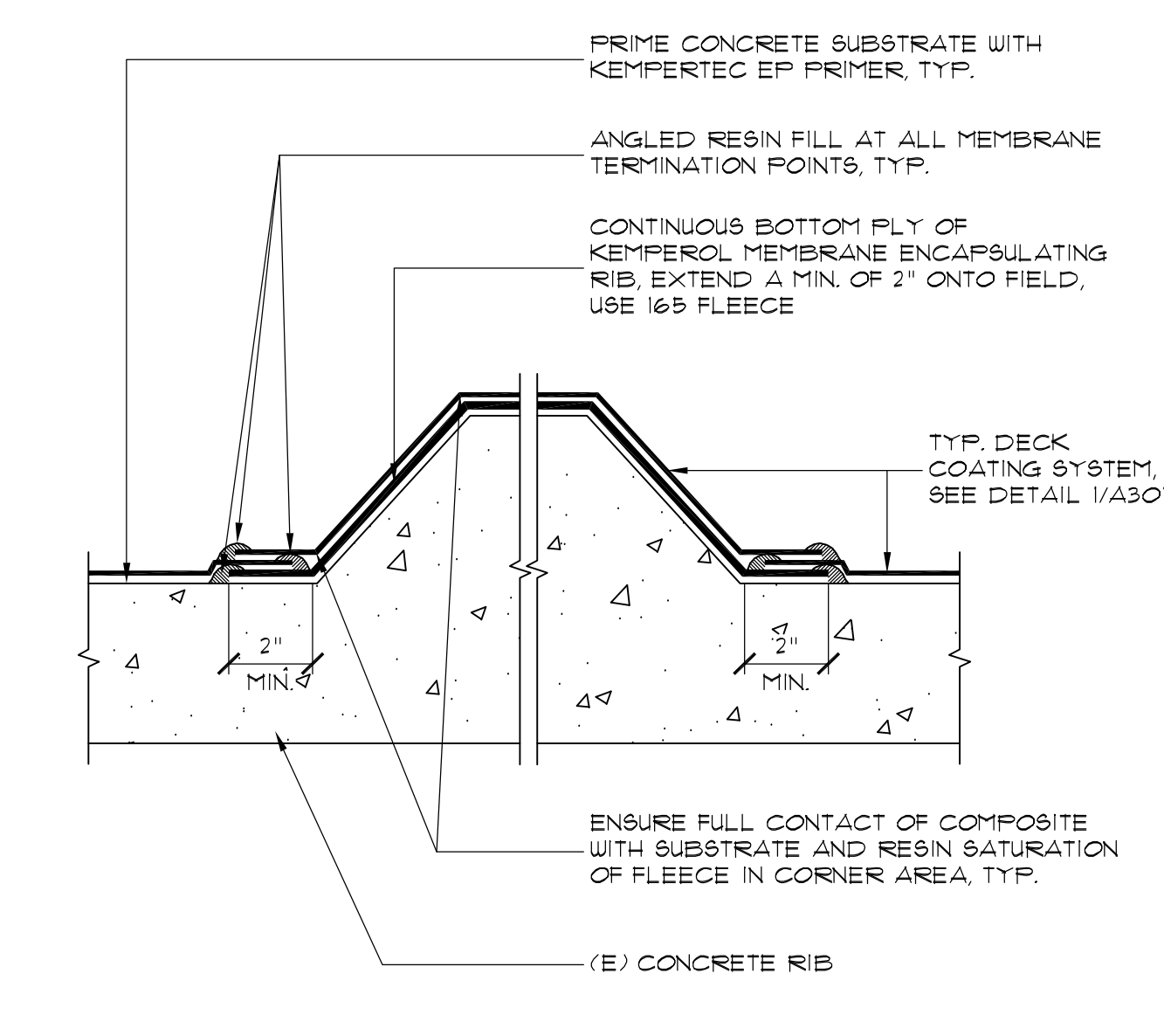
SCALE: N.T.S. FILE: **9**  
**A301**



NOTES:  
1. 2x6 NAILER FASTENED WITH CONCRETE ANCHORS AT 24" O.C. TWO ROWS STAGGERED BY 18".  
2. CONTRACTOR TO PAINT FACE OF EDGE METAL AND EXPOSED FACE OF COLONNADE WITH PAINT APPROVED BY OWNER.  
3. SEE DETAILS 10/A301, 12/A301 AND 13/A301 FOR ADDITIONAL EDGE METAL INFORMATION.

**TYPICAL EDGE DETAIL**

SCALE: N.T.S. FILE: **6**  
**A301**



NOTES:  
1. CONTINUE BOTTOM FLY OF KEMPEROL MEMBRANE AND FLEECE 2" PAST BOTTOM END OF SLOPED CONCRETE RIB.

**SLOPED CONCRETE RIB REINFORCEMENT**

SCALE: N.T.S. FILE: **3**  
**A301**

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1700 West Hillsdale Boulevard  
San Mateo, CA 94402

**College of San Mateo Colonnades & District Office Deck Waterproofing Project**

FOR:  
San Mateo County Community College District  
3401 CSM Drive  
San Mateo, CA 94402

Mark	Description	Date
	Bid Set	04/02/2015
DATE		03/13/2015
PROJECT NO.		15-3794
CAD DWG FILE		3794_A301.dwg
DRAWN BY		AC
CHECKED BY		RWAI
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SHEET TITLE		
<b>COLONNADE DETAILS</b>		

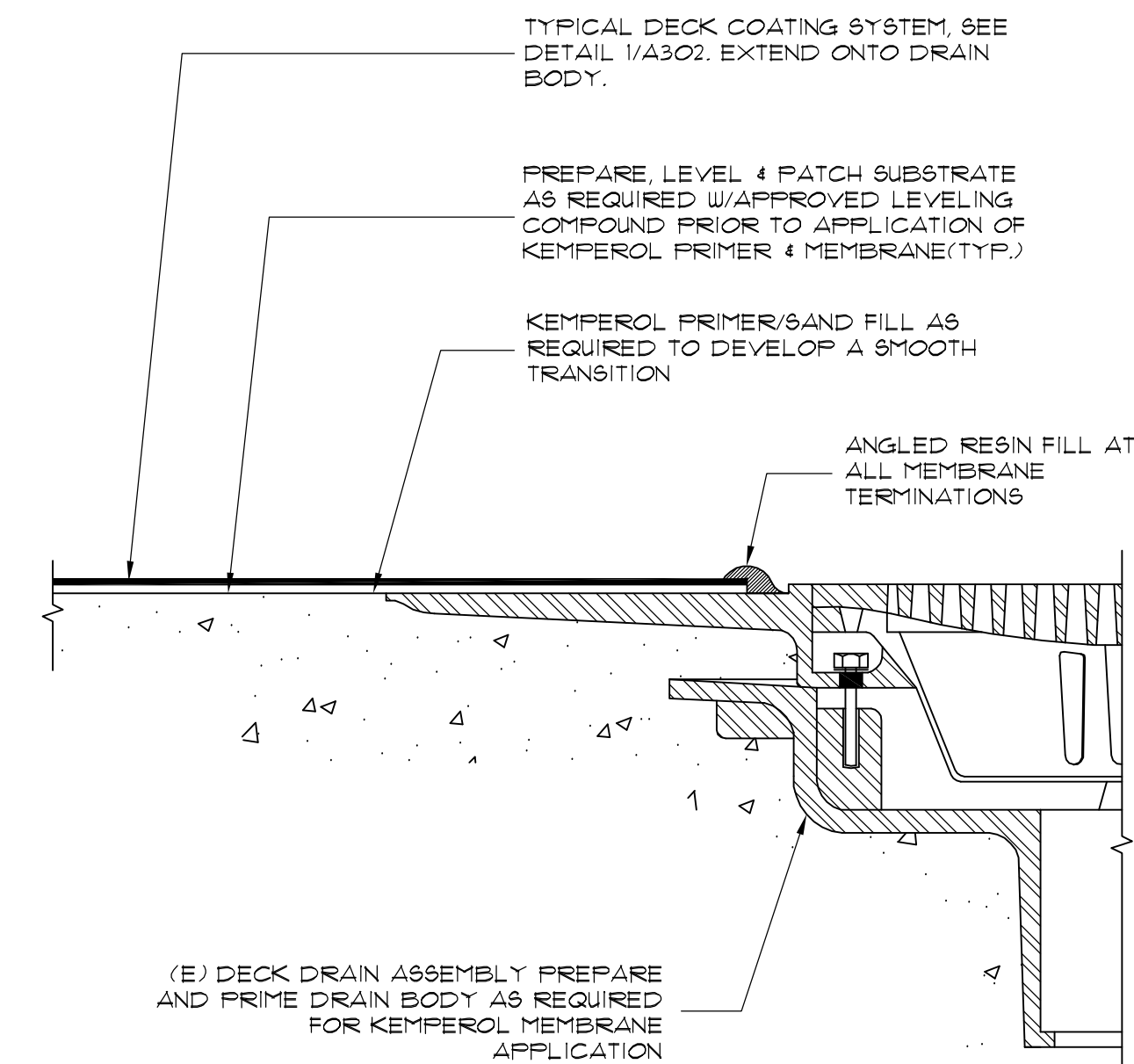
SCALE: NOTED ON DRAWINGS

APPENDUM #1, 04/16/2015  
**A301**  
SHEET



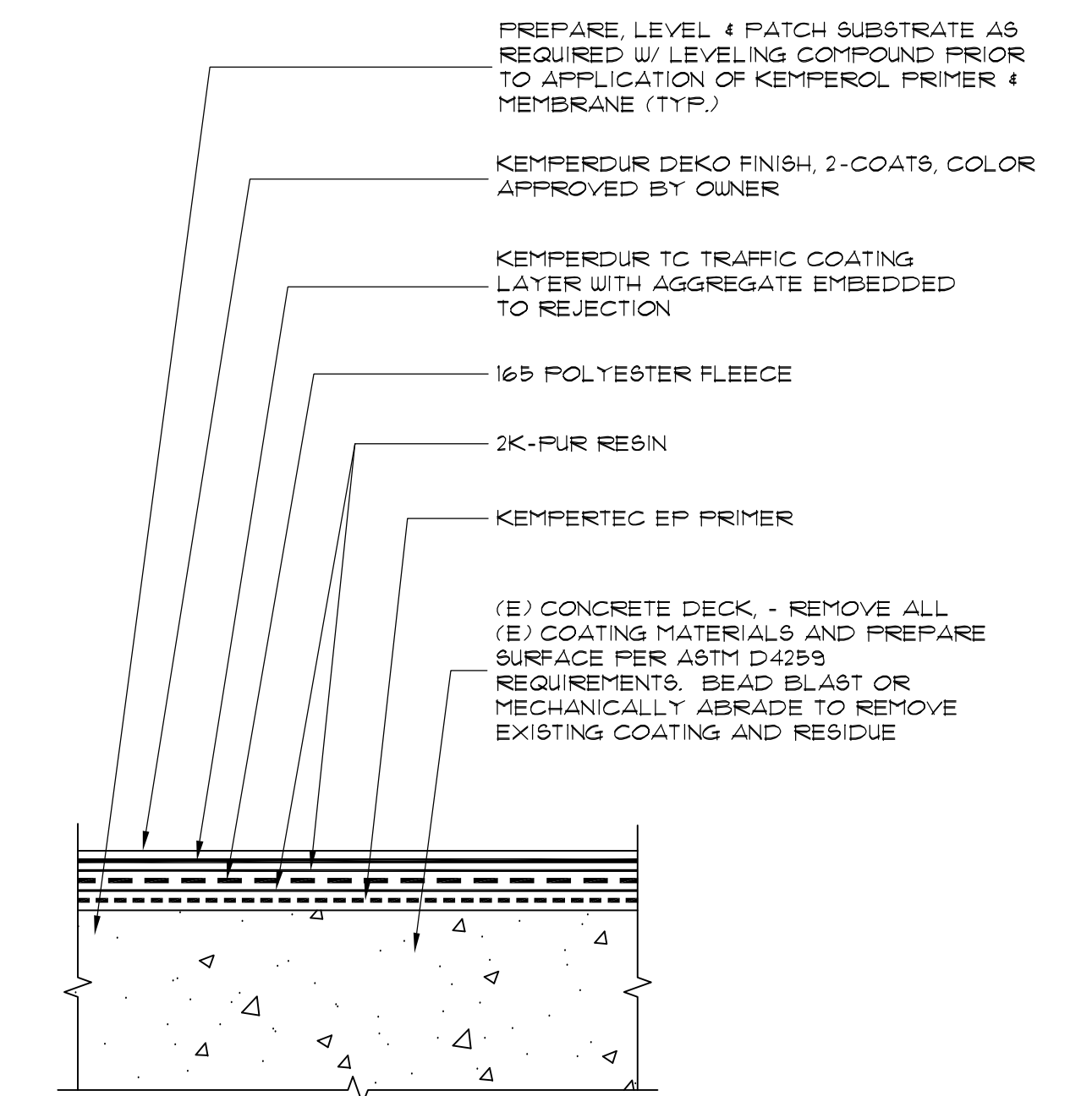
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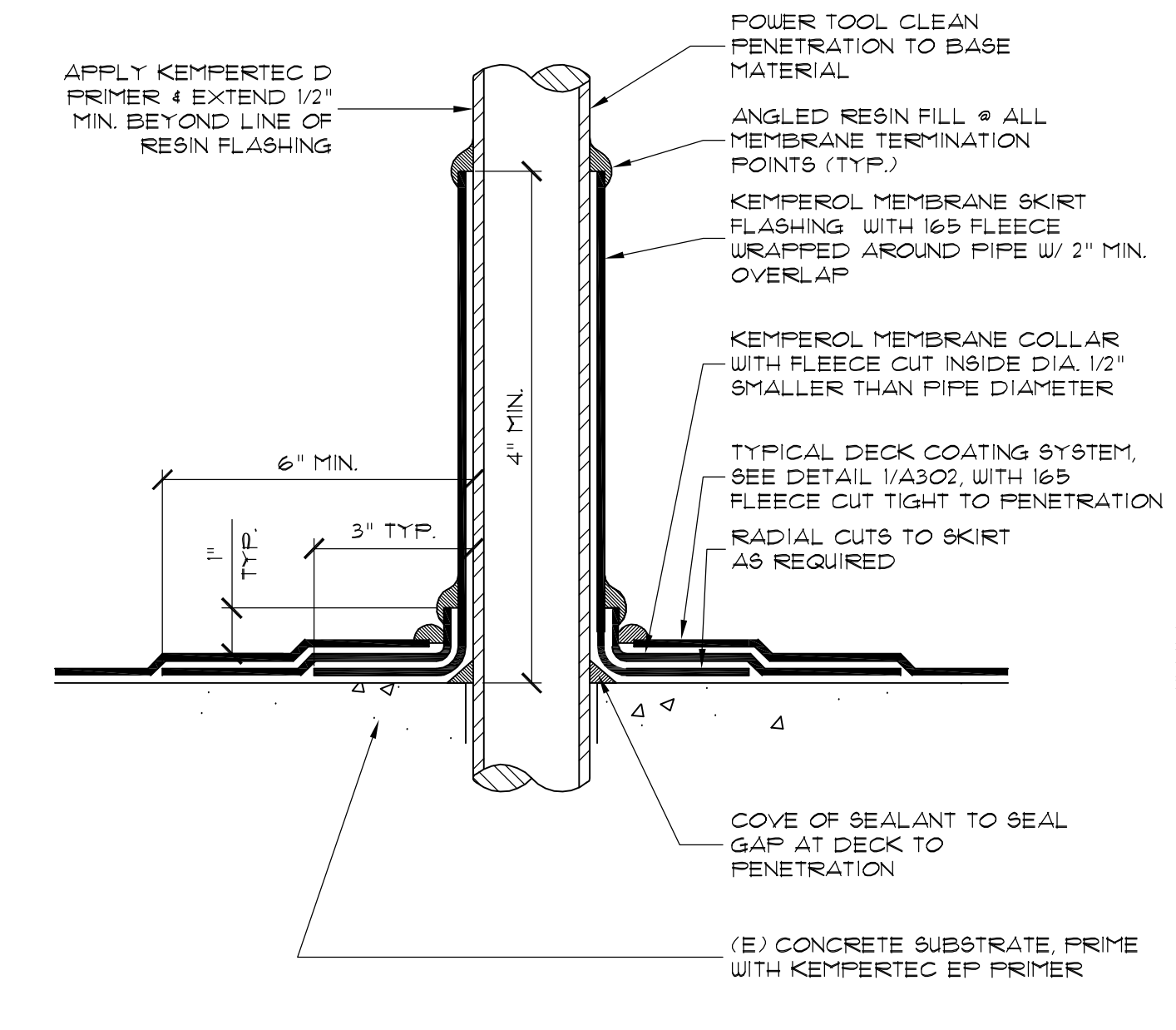
NOTES:  
1. DRAIN BOUL MUST BE FREE FROM ALL RUST AND OTHER CONTAMINANTS.  
2. PROVIDE S.S. FASTENERS, WASHERS, NUTS AND OTHER HARDWARE NECESSARY FOR COMPLETE DRAIN ASSEMBLY.

**FLAT GRATE DRAIN FLASHING** 4  
SCALE: N.T.S. FILE: A302

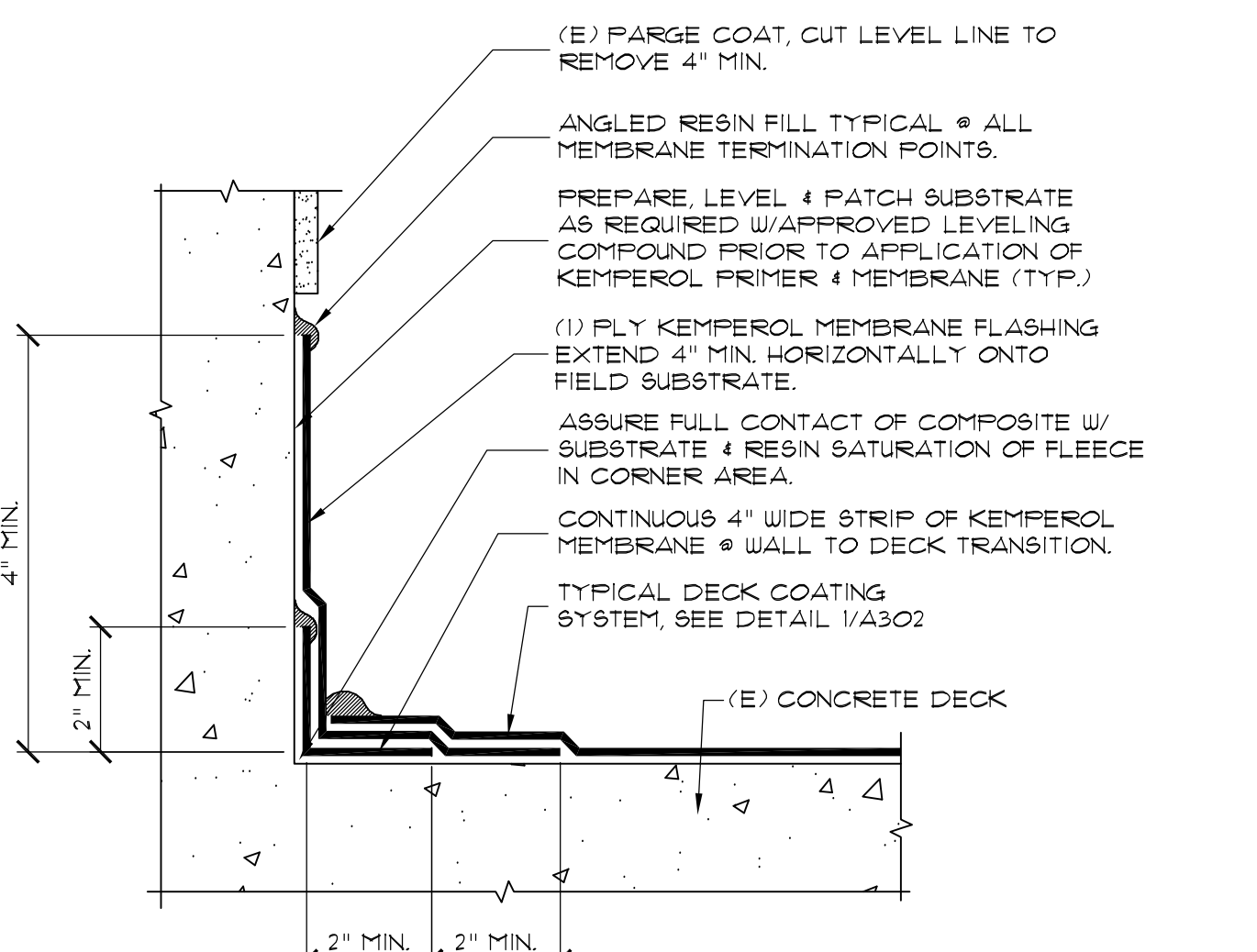


NOTES:  
1. PROPRIETARY PRODUCTS INDICATED IN DETAILS ARE THOSE OF THE BASIS-OF-DESIGN MANUFACTURER OF FLUID-APPLIED ROOFING.

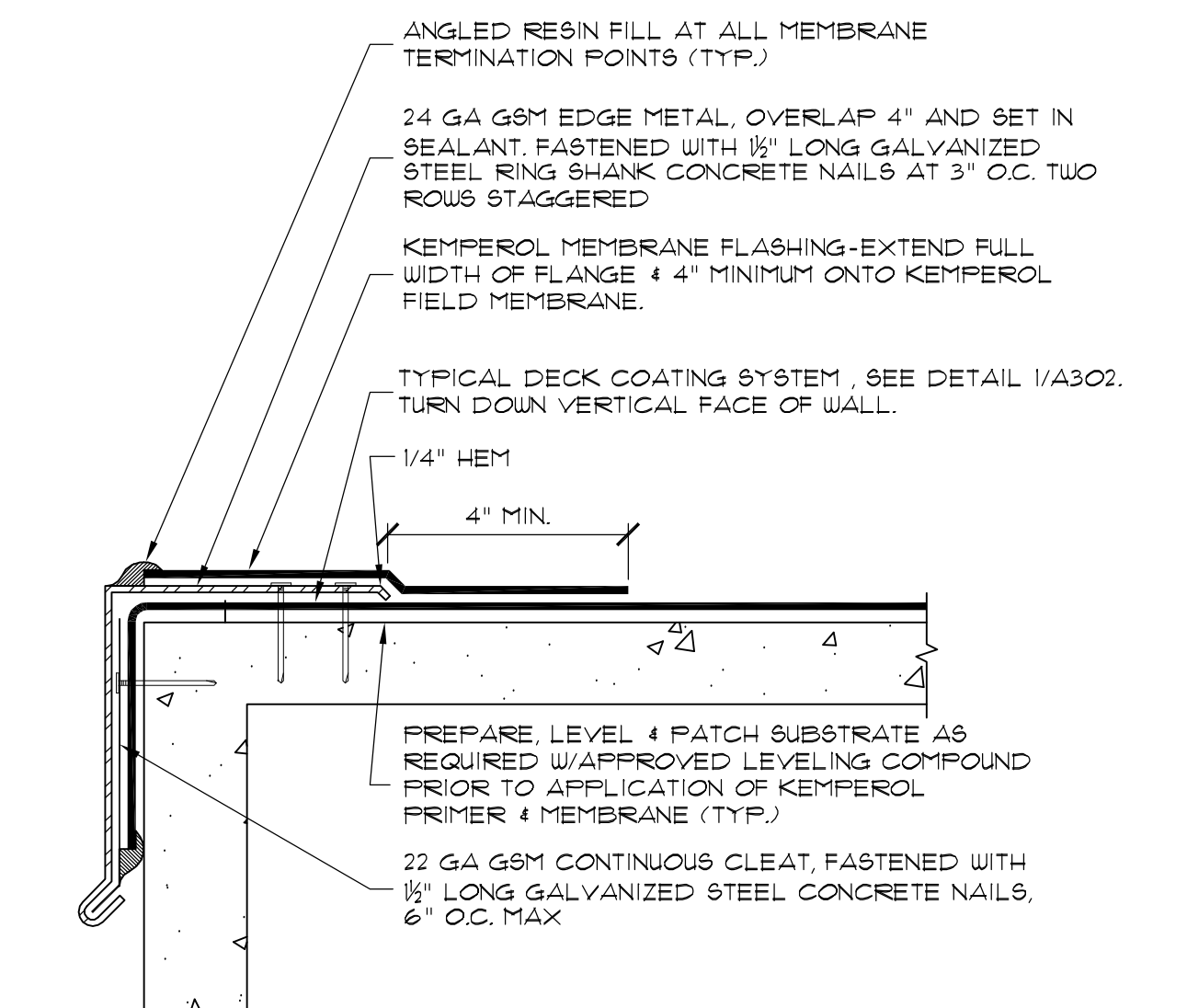
**TYPICAL BALCONY ROOF COATING SYSTEM DETAIL** 1  
SCALE: N.T.S. FILE: A302



**TYPICAL PENETRATION DETAIL** 5  
SCALE: N.T.S. FILE: A302



**ONE PLY BASE FLASHING** 2  
SCALE: N.T.S. FILE: A302



NOTES:  
1. CONTRACTOR TO PAINT FACE OF EDGE METAL AND EXPOSED FACE OF COLONNADE WITH PAINT APPROVED BY OWNER  
2. SEE DETAILS 12/A301, 13/A301 AND 13/A301 FOR ADDITIONAL EDGE METAL INFORMATION.

**DRIP EDGE FLASHING** 3  
SCALE: N.T.S. FILE: A302

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**College of San Mateo Colonnades & District Office Deck Waterproofing Project**

FOR:  
San Mateo County Community College District  
3401 CSM Drive  
San Mateo, CA 94402

Mark	Description	Date
	Bid Set	04/02/2015
	DATE	03/13/2015
	PROJECT NO.	15-3794
	CAD DWG FILE	3794_A301.dwg
	DRAWN BY	AC
	CHECKED BY	RW/AL
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	SHEET TITLE	
	<b>DISTRICT OFFICE BALCONY DECK DETAILS</b>	
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**A302**

SHEET





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AROUND COLONNADE PROVIDE BARRIER FENCING WITH MESH FABRIC AND LOCKS, WHERE POSSIBLE WHILE MAINTAINING ADA ACCESS, TYP.



PROVIDE PROTECTIVE CANOPIES OVER BUILDING ENTRANCES, WHERE SHOWN ON SITE LOGISTICS PLAN. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF EACH CANOPY FOR APPROVAL PRIOR TO ERECTION

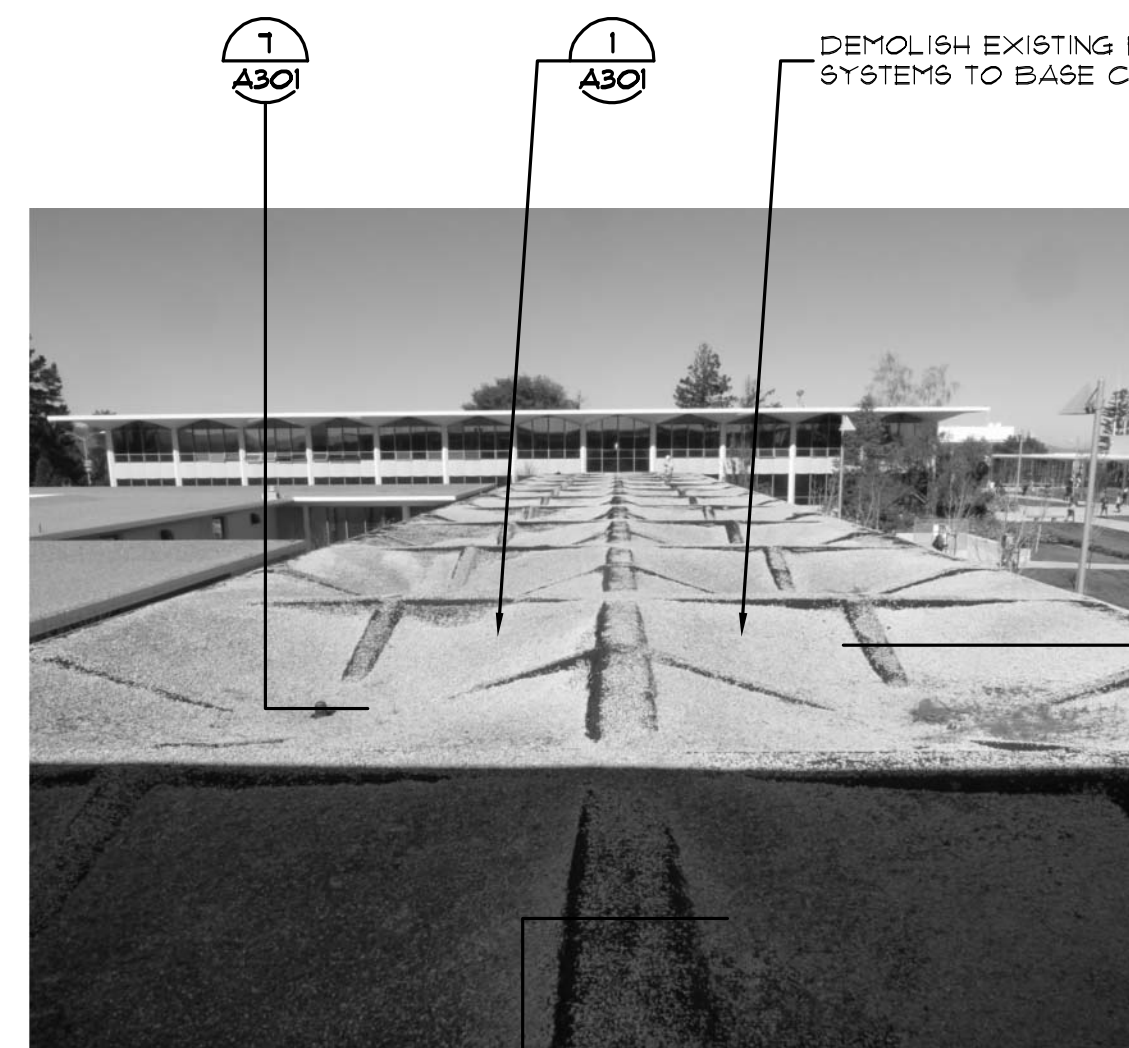


BARRIER FENCING WITH MESH FABRIC AND LOCKS, WHERE POSSIBLE WHILE MAINTAINING ADA ACCESS



ELECTRICAL CONDUIT PENETRATION, RAISE TO 8" MINIMUM HEIGHT

DEMOLISH (E) STRAINER DOME, CLAMPING RING AND BOLTS. SALVAGE COMPLETE ASSEMBLIES AND DELIVER TO OWNER



1 A301

1 A301

DEMOLISH EXISTING ROOF SYSTEMS TO BASE CONCRETE

2 A301

3 A301

PHOTO

SCALE: N.T.S.

13

A401

PHOTO

SCALE: N.T.S.

10

A401

PHOTO

SCALE: N.T.S.

7

A401

PHOTO

SCALE: N.T.S.

4

A401

PHOTO

SCALE: N.T.S.

1

A401



AROUND COLONNADE PROVIDE BARRIER FENCING WITH MESH FABRIC AND LOCKS, WHERE POSSIBLE WHILE MAINTAINING ADA ACCESS, TYP.



PROVIDE PROTECTIVE CANOPIES OVER BUILDING ENTRANCES, WHERE SHOWN ON SITE LOGISTICS PLAN. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF EACH CANOPY FOR APPROVAL PRIOR TO ERECTION



PROVIDE PROTECTIVE CANOPIES OVER BUILDING ENTRANCES, WHERE SHOWN ON SITE LOGISTICS PLAN. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF EACH CANOPY FOR APPROVAL PRIOR TO ERECTION



6 A301

(E) SEALANT AT OUTSIDE EDGE OF METAL FLASHING CONTAINS ASBESTOS. ABATEMENT REQUIRED, FOLLOW ABATEMENT PROTOCOL



SNAKE ROUTE/CLEAR ALL DRAIN LINES TO FREE FLOWING CONDITION, TYP.

PHOTO

SCALE: N.T.S.

14

A401

PHOTO

SCALE: N.T.S.

11

A401

PHOTO

SCALE: N.T.S.

8

A401

PHOTO

SCALE: N.T.S.

5

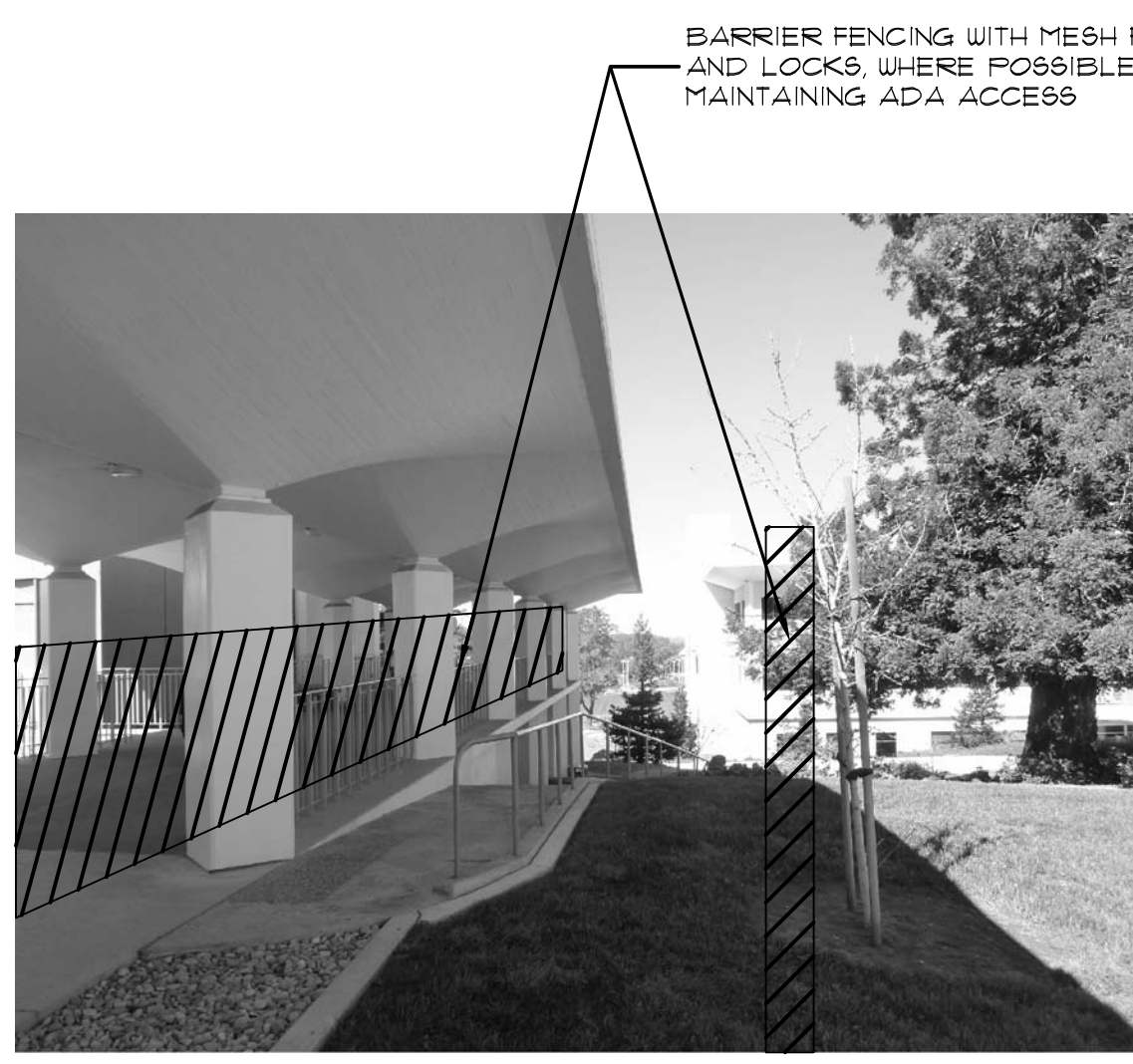
A401

PHOTO

SCALE: N.T.S.

2

A401



BARRIER FENCING WITH MESH FABRIC AND LOCKS, WHERE POSSIBLE WHILE MAINTAINING ADA ACCESS

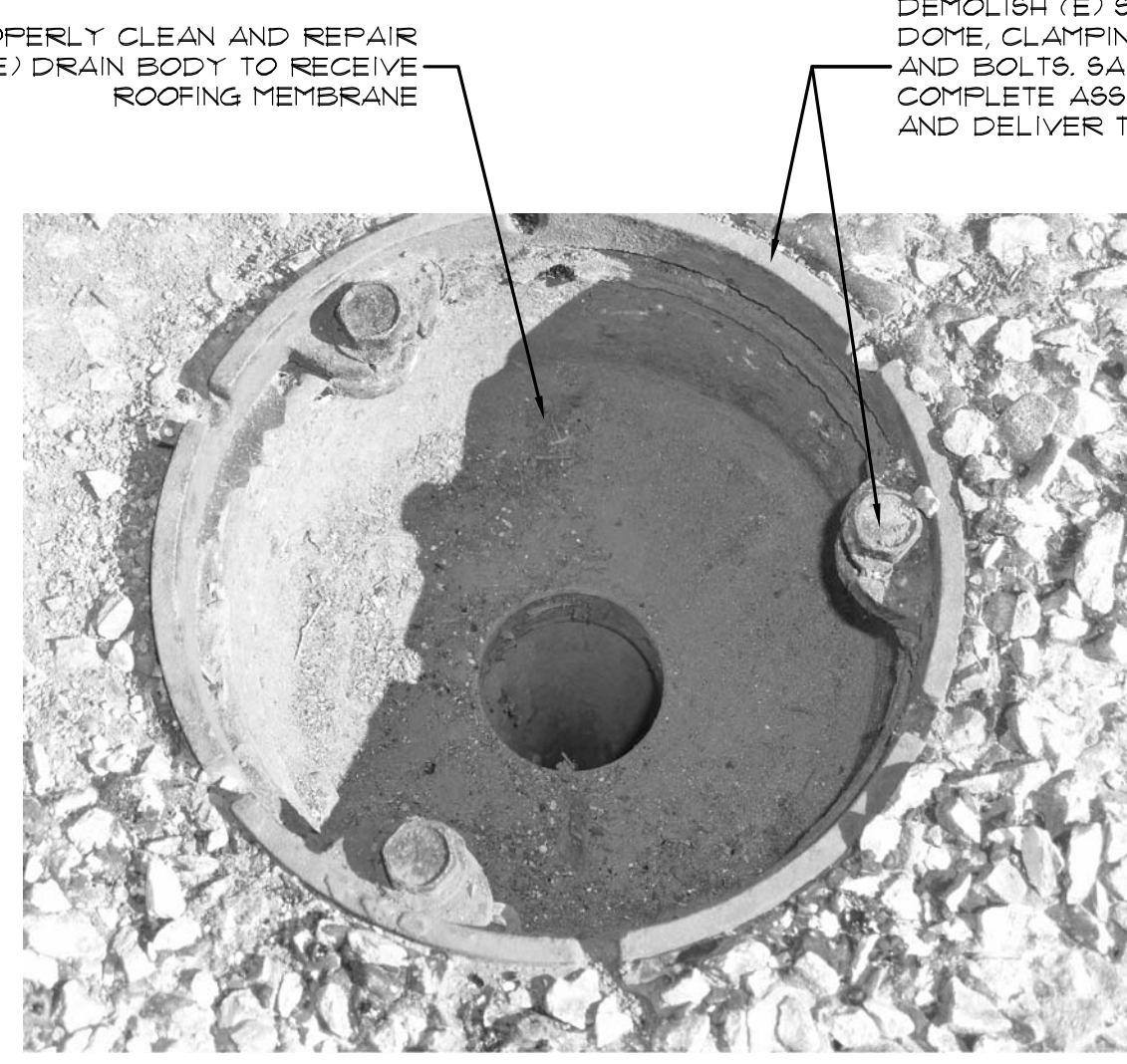


PROVIDE PROTECTIVE CANOPIES OVER BUILDING ENTRANCES, WHERE SHOWN ON SITE LOGISTICS PLAN. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF EACH CANOPY FOR APPROVAL PRIOR TO ERECTION



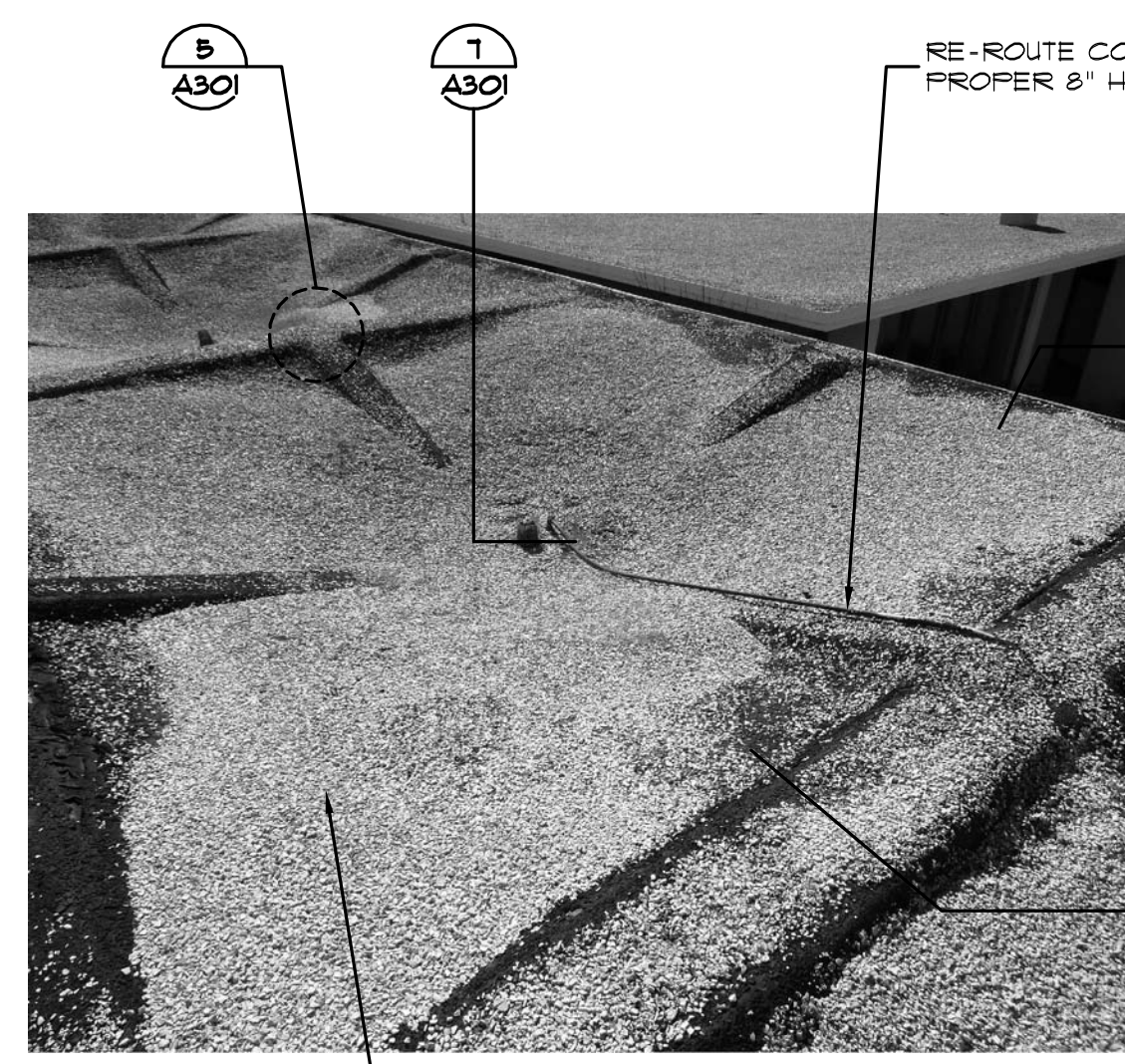
AREA FOR CONTRACTOR SETUP AND STORAGE. PROVIDE FENCING AND GATES AS REQ'D, 4' MIN. FROM EDGE OF BUILDING, WHERE POSSIBLE WHILE MAINTAINING ADA ACCESS. CONTRACTOR RESPONSIBLE FOR PROTECTION OF (E) LANDSCAPING OR (E) HARDSCAPING, INCLUDING GRASS TURF. ANY DAMAGE TO (E) LANDSCAPING OR (E) HARDSCAPING SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES

BARRIER FENCING WITH MESH FABRIC AND LOCKS, WHERE POSSIBLE WHILE MAINTAINING ADA ACCESS



PROPERLY CLEAN AND REPAIR (E) DRAIN BODY TO RECEIVE ROOFING MEMBRANE

DEMOLISH (E) STRAINER DOME, CLAMPING RING AND BOLTS. SALVAGE COMPLETE ASSEMBLIES AND DELIVER TO OWNER



5 A301

7 A301

RE-ROUTE CONDUIT TO PROPER 8" HEIGHT

6 A301

9 A301

ALL LAYERS OF ROOFING MATERIAL CONTAIN ASBESTOS. ABATEMENT REQUIRED, FOLLOW ABATEMENT PROTOCOL

PHOTO

SCALE: N.T.S.

15

A401

PHOTO

SCALE: N.T.S.

12

A401

PHOTO

SCALE: N.T.S.

9

A401

PHOTO

SCALE: N.T.S.

6

A401

PHOTO

SCALE: N.T.S.

3

A401

College of San Mateo  
1700 West Hillsdale Boulevard  
San Mateo, CA 94402

**College of San Mateo Colonnades & District Office Deck Waterproofing Project**

FOR:  
San Mateo County Community College District  
3401 CSM Drive  
San Mateo, CA 94402

Mark	Description	Date
	Bid Set	04/02/2015
	DATE	03/13/2015
	PROJECT NO.	15-3794
	CAD DWG FILE	3794_A401.dwg
	DRAWN BY	AC
	CHECKED BY	RW/AL
	© COPYRIGHT ALLANA BUICK & BERS, INC. 2015	

**COLONNADES  
PHOTOS**

SCALE: NOTED ON DRAWINGS

APPENDUM #1, 04/16/2015  
SHEET

**A401**





**ALLANA  
BUICK & BERS**  
Making Buildings Perform Better  
990 Commercial Street, Palo Alto, CA, 94303  
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College of San Mateo  
1700 West Hillsdale Boulevard  
San Mateo, CA 94402

**College of San Mateo Colonnades & District Office Deck Waterproofing Project**

FOR:  
San Mateo County Community College District  
3401 CSM Drive  
San Mateo, CA 94402

ISSUE	
Mark	Description

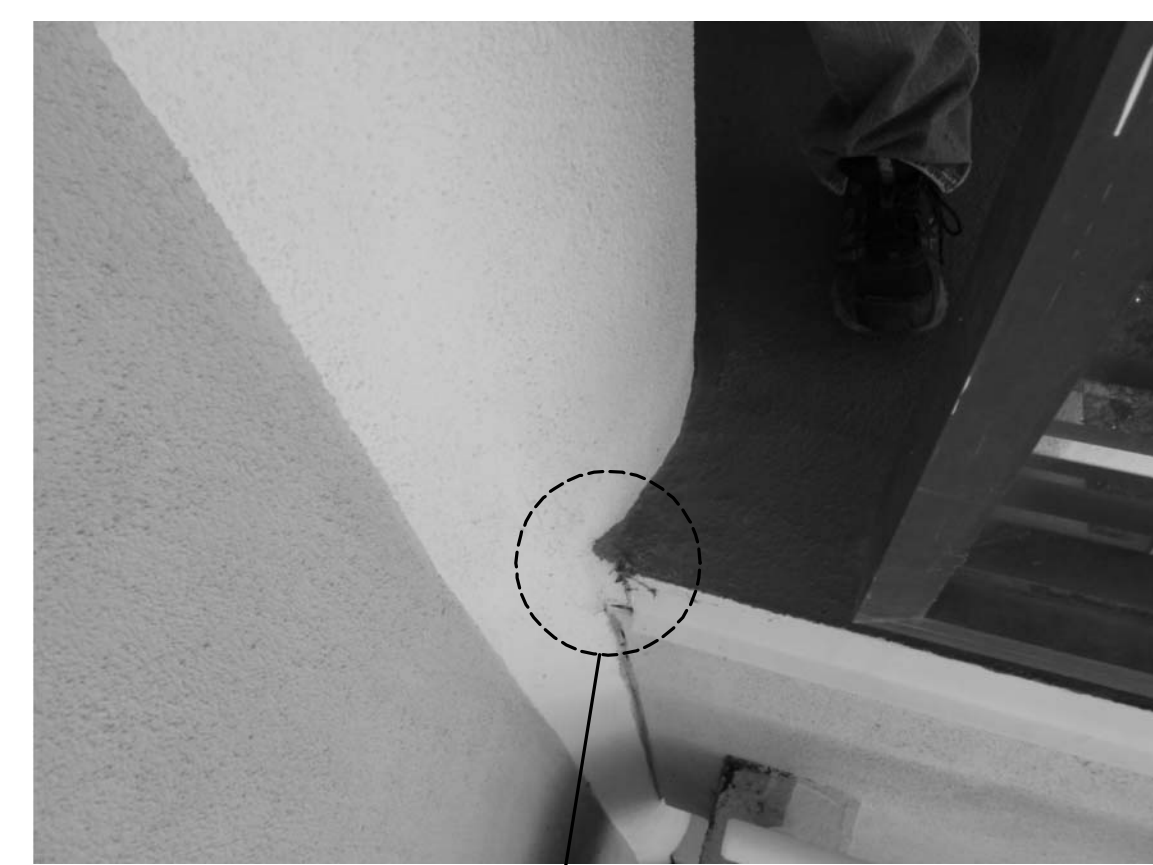
Mark	Bid Set Description	04/02/2015 Date
DATE	03/13/2015	
PROJECT NO.	15-3794	
CAD DWG FILE	3794_A401.dwg	
DRAWN BY	AC	
CHECKED BY	RW/IAI	

SHEET TITLE  
**DISTRICT OFFICE BALCONY DECK PHOTOS**

SCALE: NOTED ON DRAWINGS

**A402**

SHEET



PROVIDE CUSTOM FABRICATED SADDLE FLASHINGS, TYPICAL. PROVIDE SHOP DRAWINGS FOR APPROVAL.



REPLACE 3 DAMAGED CLIPS WHERE OCCUR. PROVIDE STAINLESS STEEL BRACKETS.



2 A302 TYP.



2 A302



PHOTO 1 SCALE: N.T.S. FILE: A402

PHOTO 13 SCALE: N.T.S. FILE: A402

PHOTO 10 SCALE: N.T.S. FILE: A402

PHOTO 7 SCALE: N.T.S. FILE: A402

PHOTO 4 SCALE: N.T.S. FILE: A402

PHOTO 1 SCALE: N.T.S. FILE: A402



CONTRACT TO MOVE ITEMS TO ACCOMPLISH WORK. STAGE APPROXIMATELY HALF BALCONY PER INSTALL.

3 A302



PROVIDE CUSTOM FABRICATED SADDLE FLASHINGS, TYPICAL. PROVIDE SHOP DRAWINGS FOR APPROVAL.

3 A302



CONTRACT TO MOVE ITEMS TO ACCOMPLISH WORK. STAGE APPROXIMATELY HALF BALCONY PER INSTALL.



LIFT THRESHOLD. RUN FULL COATING SYSTEM UNDER. RE-SET THRESHOLD IN A FULL BED OF SEALANT.

3 A302



PHOTO 14 SCALE: N.T.S. FILE: A402

PHOTO 11 SCALE: N.T.S. FILE: A402

PHOTO 8 SCALE: N.T.S. FILE: A402

PHOTO 5 SCALE: N.T.S. FILE: A402

PHOTO 2 SCALE: N.T.S. FILE: A402



5 A302 91M. 5 A302 91M.



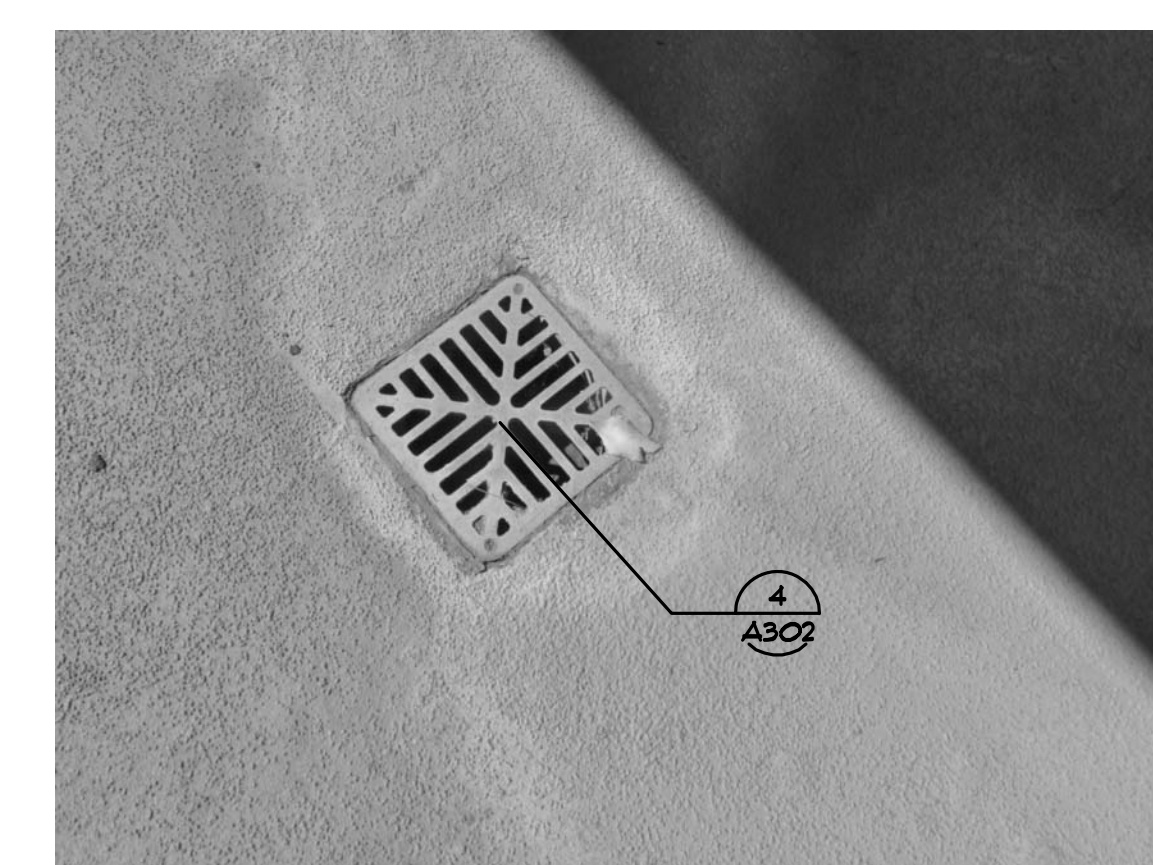
LIFT THRESHOLD. RUN FULL COATING SYSTEM UNDER. RE-SET THRESHOLD IN A FULL BED OF SEALANT.



2 A302 TYP.

CONTRACT TO MOVE ITEMS TO ACCOMPLISH WORK. STAGE APPROXIMATELY HALF BALCONY PER INSTALL.

4 A302



4 A302



5 A302

PHOTO 15 SCALE: N.T.S. FILE: A402

PHOTO 12 SCALE: N.T.S. FILE: A402

PHOTO 9 SCALE: N.T.S. FILE: A402

PHOTO 6 SCALE: N.T.S. FILE: A402

PHOTO 3 SCALE: N.T.S. FILE: A402

APPENDUM #1, 04/16/2015