





**ALLANA**  
**BUICK & BERS**  
 Making Buildings Perform Better  
 990 Commercial Street, Palo Alto, CA 94303  
 p 650.543.5600 - f 650.543.5625 - abbae.com

**BIDDING SET  
 NOT FOR  
 CONSTRUCTION  
 OR PERMITTING**

**GENERAL SHEET NOTES**

- A. NO MATERIAL SHALL BE STOCK PILED ON ROOF SURFACE, BEYOND THAT REQUIRED FOR IMMEDIATE USE.
- B. REFER TO SITE LOGISTICS PLAN FOR ALL STAGING, STORAGE, PARKING, ACCESS, FENCING, SIGNAGE, ETC DIRECTION.
- C. BUILDING AND SITE TO REMAIN IN-USE. DO NOT BLOCK ACCESS TO SITE OR BUILDING AT ANY TIME.
- D. CONTRACTOR TO ABIDE BY SITE PROTECTION AND SITE CLEANING REQUIREMENTS OUTLINED IN DIVISION 1 OF THE SPECIFICATIONS. CONSTRUCTION AND DEMOLITION DEBRIS TO BE CONFINED WITHIN BARRIER FENCING, EXCEPT AT DESIGNATED DISPOSAL AREAS.
- E. LANDSCAPING AND / OR SITE WORK DAMAGED BY DEMOLITION / CONSTRUCTION OPERATIONS, CONTRACTOR EMPLOYEES, SUB-CONSULTANTS OR CONTRACTOR'S SUPPLIERS SHALL BE REPLACED BY CONTRACTOR AT NO COST TO OWNER OR OWNER'S REPRESENTATIVES.
- F. ANY DAMAGE TO THE BUILDING EXTERIOR FINISHES, WINDOWS, DOORS, SIGNS OR APPURTENANCES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- G. ANY DAMAGE TO (E) PAVED ROADS, WALKWAYS, OR SIDEWALKS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- H. COORDINATE WORK SCHEDULE WITH FACILITIES.
- J. DOOR ENTRANCE CANOPIES SHALL BE FULL WIDTH OF OPENING. FULLY PROTECT ENTRANCE AND EXIT PATH FOR OCCUPANTS.
- K. CONTRACTOR SETUP AND STORAGE AREA, WALKWAYS ADJACENT TO SETUP AND STORAGE AREAS TO BE MAINTAINED AT WIDTHS IN COMPLIANCE WITH ADA REQUIREMENTS.

**LEGEND**



**BUILDING 16**

**Campus Map**

**One-day Permits**

\$2 per day. Valid only during class hours from 7:00 am to 10:00 pm  
 Permit machines indicated by **D** on the map: Hillsdale (Lot 1), Beethoven (Lot 2), Galileo (Lot 6), and Stadium (Lot 11)

**Visitor Parking**

Visitors to campus may park in PayBySpace visitor parking in Beethoven Lot 2A and 2D between 7:00 am and 5:00 pm. Visitors must purchase a visitor permit (\$1 per hour) at the PayBySpace permit machines located in both lots (indicated by **V** on the map).

**Student Parking**

Hillsdale (Lot 1), Beethoven (Lot 2), Galileo (Lot 6), Bulldog (Lot 9) or Stadium (Lot 11)

**Staff Parking**

Beethoven (Lot 2B), DaVinci (Lot 3), Socrates (Lot 4), Marie Curie (Lot 5), Galileo (Lot 6 Staff), Edison (Lot 7\*), Sandbox (Lot 10)  
 (\* indicates lot available for student parking after 5 pm only, permit required)

**Restricted Parking**

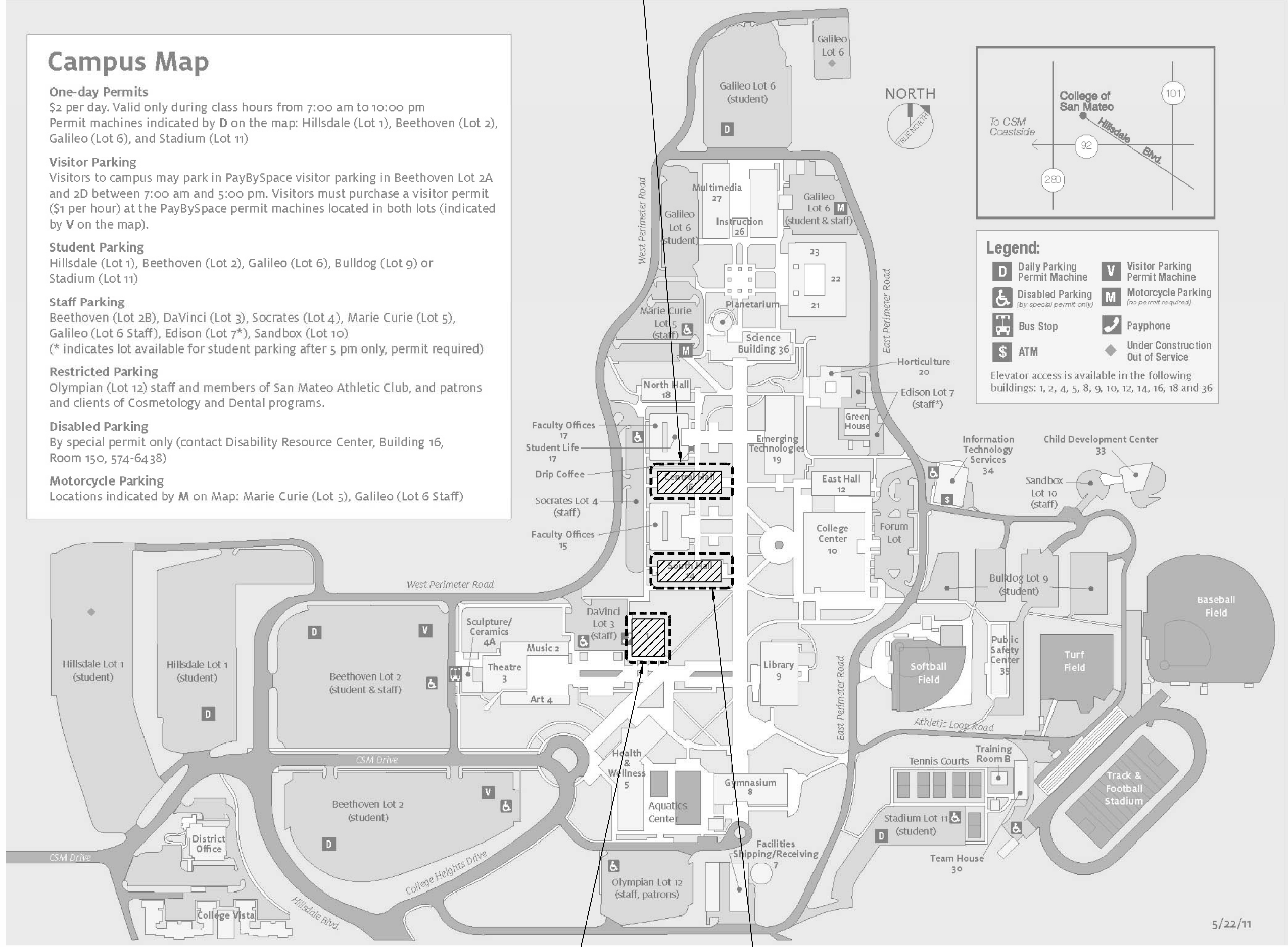
Olympian (Lot 12) staff and members of San Mateo Athletic Club, and patrons and clients of Cosmetology and Dental programs.

**Disabled Parking**

By special permit only (contact Disability Resource Center, Building 16, Room 150, 574-6438)

**Motorcycle Parking**

Locations indicated by **M** on Map: Marie Curie (Lot 5), Galileo (Lot 6 Staff)



**NORTH**

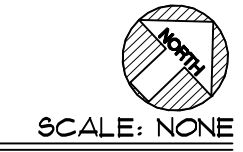
**Legend:**

- D** Daily Parking Permit Machine
- V** Visitor Parking Permit Machine
- ♿** Disabled Parking (by special permit only)
- M** Motorcycle Parking (no permit required)
- 🚌** Bus Stop
- ☎** Payphone
- \$** ATM
- ◆** Under Construction Out of Service

Elevator access is available in the following buildings: 1, 2, 4, 5, 8, 9, 10, 12, 14, 16, 18 and 36

**BUILDING 1**

**BUILDING 14**



5/22/11

College of San Mateo  
 1700 W. Hillside  
 San Mateo, CA

**College of San Mateo and Skyline College Roof Replacement Project**

FOR:  
 San Mateo County Community College  
 3401 CSM Drive  
 San Mateo, CA 94402

Mark	Description	Date
	Bid Set	04/02/2015
	DATE	10/21/11
	PROJECT NO.	15-3791
	CAD DWG FILE	2750_A101.dwg
	DRAWN BY	AC
	CHECKED BY	RW/JAI
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SHEET TITLE		
<b>CAMPUS SITE MAP</b>		

Bid Set, 04/02/2015

SCALE: NOTED ON DRAWINGS

**A102**

SHEET



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# BIDDING SET NOT FOR CONSTRUCTION OR PERMITTING

### GENERAL SHEET NOTES

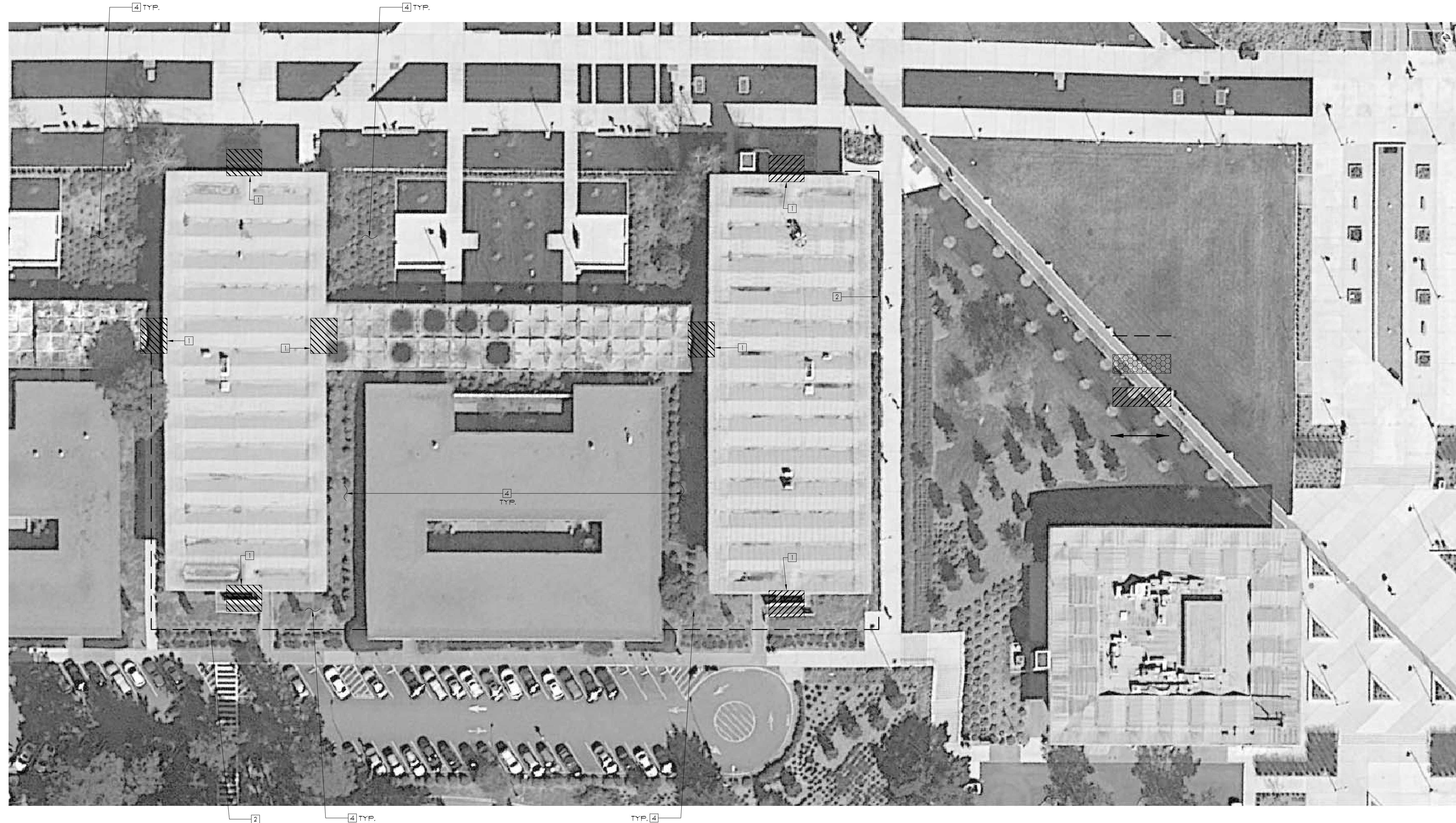
- A. THE TEMPORARY MEASURES AND REQUIREMENTS INDICATED ON THIS SITE LOGISTICS PLAN ILLUSTRATE ONLY A PORTION OF THE CONTRACTOR'S RESPONSIBILITY FOR STORAGE, SAFETY, AND PROTECTION UNDER THE CONTRACT. REFER TO DIVISION 04.1.
- B. BUILDING MATERIALS TO BE STORED IN INDICATED AREAS ONLY. VEHICLES WILL BE ALLOWED IN DESIGNATED LOCATIONS ONLY.
- C. CONTRACTORS, SETUP AND STORAGE AREAS SHALL BE WHERE INDICATED ONLY.
- D. ROOF ACCESS SHALL BE FROM EXTERIOR ONLY. SUBMIT PLAN FOR APPROVAL BY OWNER.
- E. BUILDING AND SITE TO REMAIN IN-USE. DO NOT BLOCK ACCESS TO SITE OR BUILDING AT ANY TIME.
- F. CONTRACTOR TO ABIDE BY SITE PROTECTION AND SITE CLEANING REQUIREMENTS OUTLINED IN DIVISION 1 OF THE SPECIFICATIONS. CONSTRUCTION AND DEMOLITION DEBRIS TO BE CONFINED WITHIN BARRIER FENCING, EXCEPT AT DESIGNATED DISPOSAL AREAS.
- G. LANDSCAPING AND / OR SITE WORK DAMAGED BY DEMO / CONSTRUCTION OPERATIONS, CONTRACTOR EMPLOYEES, SUB-CONSULTANTS OR CONTRACTOR SUPPLIERS SHALL BE REPLACED BY CONTRACTOR AT NO COST TO OWNER OR OWNER'S REPRESENTATIVES.
- H. ANY DAMAGE TO THE BUILDING EXTERIOR FINISHES, WINDOWS, DOORS, SIGNS OR APPLIANCES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- J. ANY DAMAGE TO (E) PAVED ROADS, WALKWAYS, OR SIDEWALKS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- K. CONTRACTOR SHALL PROVIDE BARRIER FENCING CONTINUOUS AROUND THE AREA OF CONSTRUCTION AS INDICATED, INCLUDING GATES AND LOCKS.
- L. DOOR ENTRANCE CANOPIES SHOWN ARE THE MIN. REQUIRED BY CONTRACT. CONTRACTOR AT HIS OPTION MAY USE ADDITIONAL CANOPIES AS REQUIRED TO COMPLETE THE WORK.
- M. DOOR ENTRANCE CANOPIES SHALL BE FULL WIDTH OF OPENING, FULLY PROTECTED ENTRANCE AND EXIT PATH FOR OCCUPANTS.
- N. CONTRACTOR SETUP AND STORAGE AREA, WALKWAYS ADJACENT TO SETUP AND STORAGE AREAS TO BE MAINTAINED AT WIDTHS IN COMPLIANCE WITH ADA REQUIREMENTS.
- P. PROVIDE DETOUR SIGNAGE WHERE DIRECTED BY THE OWNER, INCLUDING FENCE-MOUNTED SIGNAGE NECESSARY TO RE-DIRECT TO AVAILABLE ENTRANCES.
- Q. NO MATERIAL SHALL BE STOCK PILED ON ROOF SURFACE BEYOND THAT REQUIRED FOR IMMEDIATE USE.
- R. REMOVAL OF DEBRIS FROM ROOF TO GROUND LEVEL SHALL BE BY ENCLOSED CHUTE OR DEBRIS BOX AND CRANE PICKS, CONTRACTOR TO CONSOLIDATE MATERIALS TO MINIMIZE PICKS.
- S. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

### KEY NOTES

- 1 PROVIDE PROTECTIVE CANOPIES OVER BUILDING ENTRANCES, WHERE SHOWN ON SITE LOGISTICS PLAN. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF EACH CANOPY FOR APPROVAL PRIOR TO ERECTION.
- 2 BARRIER FENCING WITH MESH FABRIC AND LOCKS, WHERE POSSIBLE WHILE MAINTAINING ADA ACCESS.
- 3 AREA FOR CONTRACTOR SETUP AND STORAGE. PROVIDE FENCING AND GATES AS REQ'D. 4' MIN. FROM EDGE OF BUILDING WHERE POSSIBLE WHILE MAINTAINING ADA ACCESS. CONTRACTOR RESPONSIBLE FOR PROTECTION OF (E) LANDSCAPING OR (E) HARDSCAPING, INCLUDING GRASS TURF. ANY DAMAGE TO (E) LANDSCAPING OR (E) HARDSCAPING SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- 4 TYPICAL ALL LANDSCAPING AREAS TO BE PROTECTED FROM FALLING DEBRIS/SCRAP.
- 5 LOCATION FOR EXTENSION LADDER ANCHOR PER OSHA REQUIREMENTS.

### LEGEND

- BARRIER FENCING WITH MESH FABRIC
- AUTHORIZED CONTRACTOR SETUP AND STORAGE AREA IF FIELD CONDITIONS ALLOW
- PROTECTIVE CANOPIES OVER BUILDING ENTRANCES AND WALKWAYS 8 FEET MIN. TWICE THAT OF SCAFFOLDING
- PATH OF TRAVEL
- SHEET KEYED NOTE



College of San Mateo  
1700 W. Hillsdale  
San Mateo, CA

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FOR:  
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3401 CSM Drive  
San Mateo, CA 94402

Mark	Description	Date
	Bid Set	04/02/2015

DATE	DESCRIPTION
04/02/2015	15-3791
	3791_A103.dwg
	AC
	FRW/AI

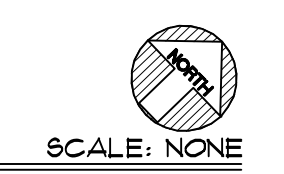
SHEET TITLE  
SITE LOGISTICS PLAN

SCALE: NOTED ON DRAWINGS

**A103**  
SHEET

Bid Set, 04/02/2015

1 SITE LOGISTICS PLAN



SCALE: NONE



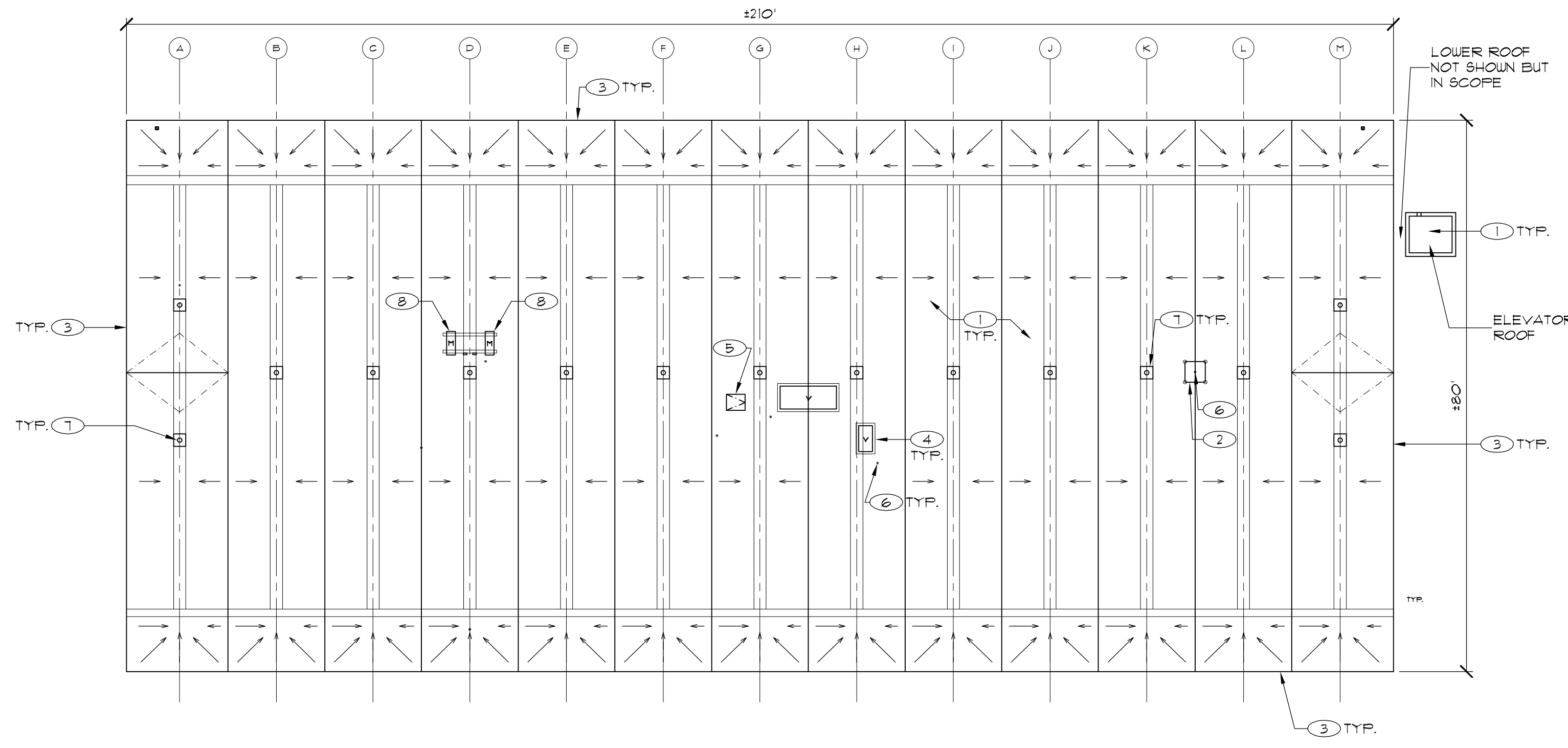
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BIDDING SET NOT FOR CONSTRUCTION OR PERMITTING

KEY NOTES

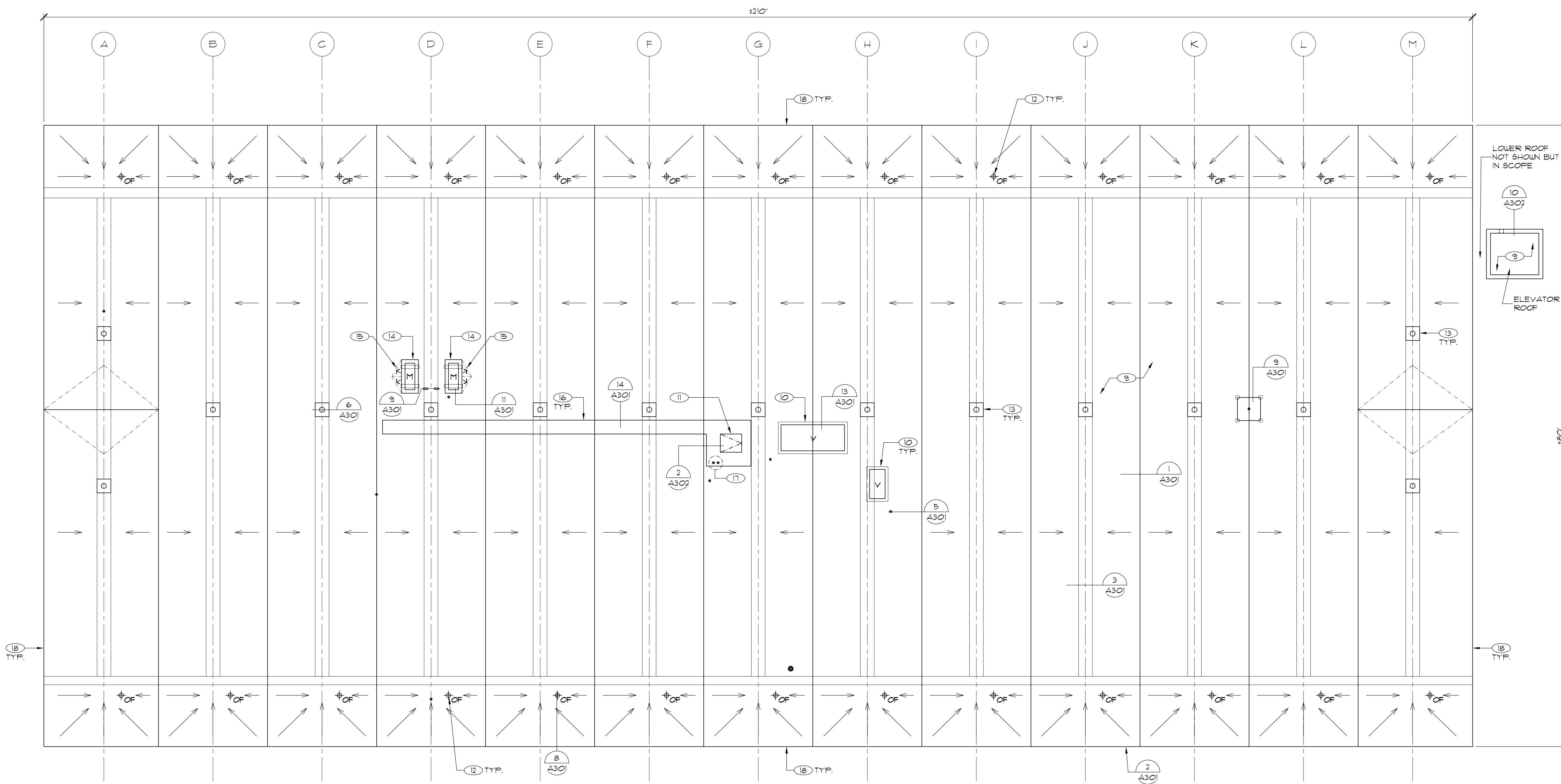
AS NOTED WITH: (C)

- 1. DEMOLISH AND DISPOSE EXISTING GRANULAR SURFACED ASPHALT CAP SHEET BUILT UP ROOF SYSTEM.
2. DISCONNECT EXISTING SUPPORT ASSEMBLY FRAME WORK AND RAISE TO ACCOMPLISH INSTALLATION OF ENCAPSULATED SLEEPERS. RESET IN PLACE OVER SLEEPER AND RESECURE.
3. DEMOLISH AND DISPOSE EXISTING EDGE METAL. DO NOT DAMAGE EXISTING CONCRETE SUBSTRATE.
4. DEMOLISH AND DISPOSE EXISTING VENT ASSEMBLY.
5. DEMOLISH AND DISPOSE EXISTING ROOF HATCH ASSEMBLY AND LADDER.
6. DEMOLISH AND DISPOSE EXISTING FLASHING. DO NOT DAMAGE EXISTING PENETRATIONS.
7. DEMOLISH AND DISPOSE EXISTING STRAINER DOME, CLAMPING RING, AND BOLTS.
8. DEMOLISH AND DISPOSE EXISTING WOOD SLEEPERS AND ASSOCIATED EQUIPMENT SUPPORTS. PROVIDE TEMPORARY SUPPORT PROVISIONS.
9. PROVIDE 60 MIL FELT BACKED THERMOPLASTIC SINGLE PLY ROOF SYSTEM OVER 1/2" THICK SUBSTRATE BOARD, PRE-FRIMED.
10. PROVIDE VENT CURB ASSEMBLY WITH ROOFING AND INTEGRATED ARCHITECTURAL HOOD ASSEMBLY.
11. PROVIDE GAL OSHA APPROVED ROOF HATCH AND LADDER. INSTALL ACCESS LADDER IN THE CUSTODIAL CLOSET ON THE WEST ELEVATION WALL. PROVIDE BRACKETS AT THE BOTTOM, TOP AND INTERMEDIATE SPAN OF THE LADDER. INSTALL LADDER EXTENSION ON THE LADDER. CONTRACTOR TO PROVIDE A WOOD FRAMED PLATFORM FOR ROOF HATCH TO 110 SET LEVEL. PROVIDE A LEVEL LANDING 3 FEET WIDE AT EXIT POINT FROM ROOF HATCH. REFER TO DETAIL 9/A302. CONTRACTOR TO PROVIDE SHOP DRAWINGS, INCLUDING BRACKETS, FASTENERS, DIMENSIONS, AND CLEARANCES OF LADDER HATCH AND PLATFORM, FOR APPROVAL PRIOR TO INSTALLATION.
12. CORE OVERFLOW DRAIN THROUGH (E) CONCRETE SUBSTRATE. SCAN CONCRETE PRIOR TO CORE TO ENSURE (E) RE-BAR IS NOT DAMAGED. INSTALL NEW OVERFLOW PIPE PER DETAIL 8/A301 AT EVERY VALLEY.
13. PROVIDE CAST IRON STRAINER DOME, CLAMPING RING, 8.8. BOLTS AT EACH DRAIN.
14. PROVIDE WOOD FRAMED PLATFORM ASSEMBLY FOR MECHANICAL UNITS.



2 DEMOLITION PLAN - BUILDING 14

SCALE: 1/16" = 1'-0"



1 ROOF PLAN - BUILDING 14

SCALE: 1/8" = 1'-0"

SCALE: 1/16" = 1'-0"

SCALE: 1/8" = 1'-0"

1 INCH AT FULL SCALE IF NOT 1 INCH THIS DRAWING HAS BEEN REPRODUCED NOT TO SCALE SHOW

LEGEND

- (E) SLOPE DIRECTION
(E) RIDGE LINE
(E) VALLEY LINE
(E) CENTER OF VALLEY
(E) ROOF DRAIN
(E) ANTENNA TOWER
OVERFLOW DRAIN
ROUND PENETRATION
ROOF HATCH
DETAIL CALLOUTS
KEY NOTES
VENT
MECHANICAL UNIT

College of San Mateo 1700 W. Hillsdale San Mateo, CA

College of San Mateo and Skyline College Roof Replacement Project

FOR: San Mateo County Community College 3401 CSM Drive San Mateo, CA 94402

Table with 2 columns: ISSUE, DATE. Multiple rows for tracking issues.

Table with 3 columns: Mark, Description, Date. Bid Set 04/02/2015.

Table with 2 columns: DATE, PROJECT NO., CAD DWG FILE, DRAWN BY, CHECKED BY.

DEMOLITION PLAN AND ROOF PLAN - BUILDING 14

SCALE: NOTED ON DRAWINGS

Bid Set, 04/02/2015

SHEET

A201

P:\2015 Projects\15-3791.01 SKCCO - College of San Mateo Buildings 1, 14 & 16\15-3791-01\Drawings\Working Set\3791\_LA201.dwg, 4/2/2015 2:14:13 PM

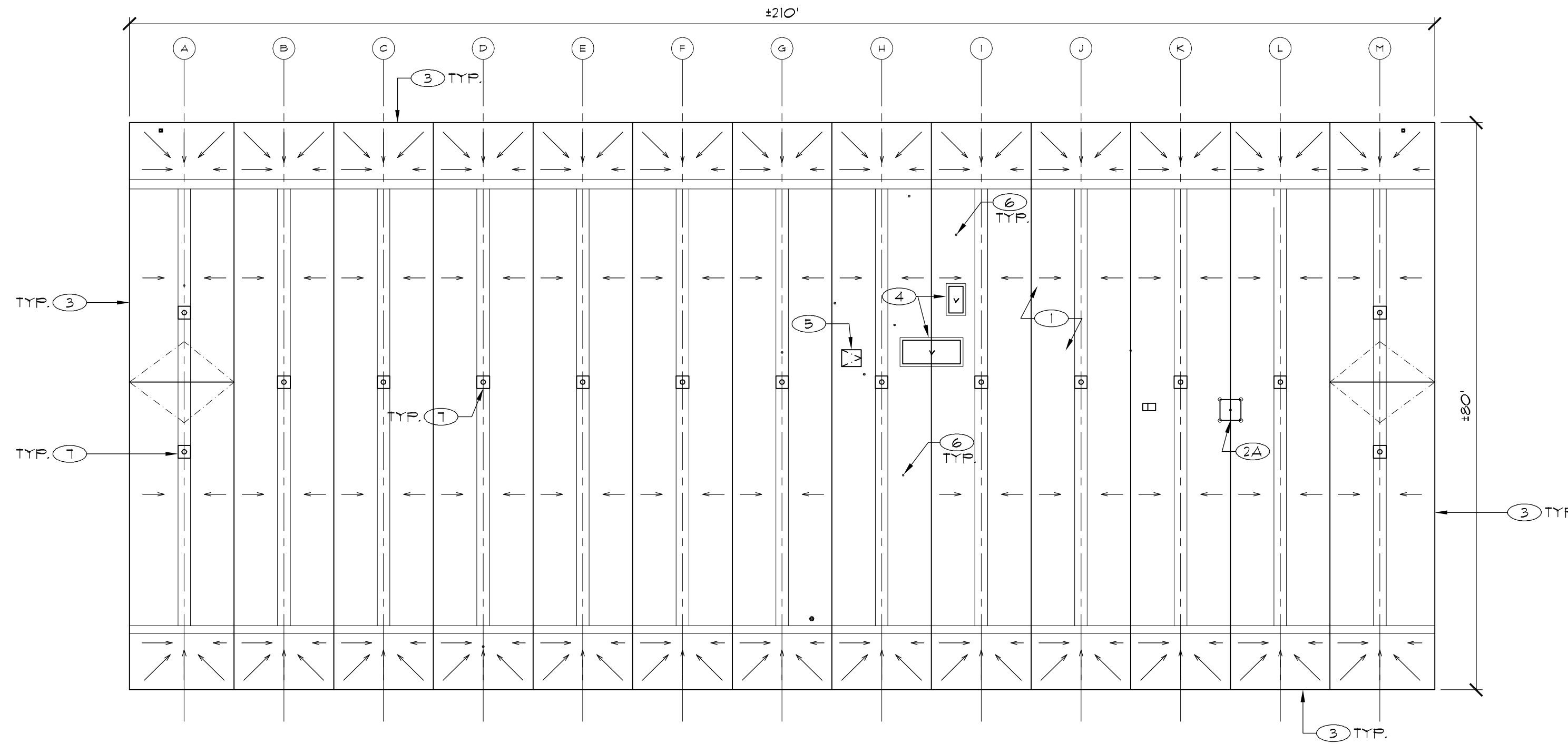


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**KEY NOTES**

1. DEMOLISH AND DISPOSE EXISTING GRANULAR SURFACED ASPHALT CAP SHEET BUILT UP ROOF SYSTEM.
2. DISCONNECT EXISTING SUPPORT ASSEMBLY FRAME WORK AND RAISE TO ACCOMPLISH INSTALLATION OF ENCAPSULATED SLEEPERS. RESET IN PLACE OVER SLEEPER AND RESECURE.
3. DEMOLISH AND DISPOSE OF EXISTING SATTELITE AND DELIVER TO OWNER.
4. DEMOLISH AND DISPOSE EXISTING EDGE METAL. DO NOT DAMAGE EXISTING CONCRETE SUBSTRATE.
5. DEMOLISH AND DISPOSE EXISTING VENT ASSEMBLY.
6. DEMOLISH AND DISPOSE EXISTING ROOF HATCH ASSEMBLY AND LADDER.
7. DEMOLISH AND DISPOSE EXISTING FLASHING. DO NOT DAMAGE EXISTING PENETRATIONS.
8. DEMOLISH AND DISPOSE EXISTING STRAINER DOME, CLAMPING RING, AND BOLTS.
9. DEMOLISH AND DISPOSE EXISTING WOOD SLEEPERS AND ASSOCIATED EQUIPMENT PROVISIONS. PROVIDE TEMPORARY SUPPORT PROVISIONS.
10. PROVIDE 60 MIL FELT BACKED THERMOPLASTIC SINGLE FLY ROOF SYSTEM OVER 1/2" THICK SUBSTRATE BOARD, PRE-PRIMED.
11. PROVIDE VENT CURB ASSEMBLY WITH ROOFING AND INTEGRATED ARCHITECTURAL HOOD ASSEMBLY.
12. PROVIDE CAL OSHA APPROVED ROOF HATCH AND LADDER. INSTALL ACCESS LADDER IN THE CUSTODIAL CLOSET ON THE WEST ELEVATION WALL. PROVIDE BRACKETS THAT WILL ACCOMPLISH A 18 INCH STANDOFF THE WALL. PROVIDE BRACKETS AT THE BOTTOM TOP AND INTERMEDIATE SPAN OF THE LADDER. INSTALL LADDER EXTENSION ON THE LADDER. CONTRACTOR TO PROVIDE A WOOD FRAMED PLATFORM FOR ROOF HATCH TO SET LEVEL. PROVIDE A LEVEL LANDING 3 FEET WIDE AT EXIT POINT FROM ROOF HATCH REFER TO DETAIL 5/A302. CONTRACTOR TO PROVIDE SHOP DRAWINGS INCLUDING BRACKETS, FASTENERS, DIMENSIONS, AND CLEARANCES OF LADDER HATCH AND PLATFORM FOR APPROVAL PRIOR TO INSTALLATION.
13. CORE OVERFLOW DRAIN THROUGH (E) CONCRETE SUBSTRATE. SCAN CONCRETE PRIOR TO CORE TO ENSURE (E) RE-BAR IS NOT DAMAGED. INSTALL NEW OVERFLOW PIPE PER DETAIL 5/A301. (TYP.) AT EVERY VALLEY.
14. PROVIDE CAST IRON STRAINER DOME, CLAMPING RING, 8.8 BOLTS AT EACH DRAIN.
15. PROVIDE WOOD FRAMED PLATFORM ASSEMBLY FOR MECHANICAL UNITS.
16. PROVIDE CRICKETS AT HIGH SIDE OF PLATFORM.
17. WALK PAD PATTERN SHOULD BE INCLUDED IN BASE BID. CONTRACTOR SHALL ALSO SUPPLY UNIT PRICE PER LINEAR FOOT, FOR ADDITIONAL WALKPAD.
18. CONTRACTOR TO CORE CONCRETE DECK IN TWO LOCATIONS TO INSTALL TWO 4" CONDUITS FOR FUTURE USE. SECURE WITH 1/2" RUBER CLAMP. FLASH INTO ROOF SYSTEM AND CAP OFF TO PROVIDE A WATER TIGHT CONDITION. LOCATION IS APPROXIMATE. VERIFY WITH OWNER PRIOR TO CORING. DETAIL WILL BE SIMILAR TO 4/A301 WITH THREADED CAP INSTALLED.
19. PROVIDE CLAD EDGE METAL AND WOOD NAILER. SEE DETAIL 2/A301.
20. PROVIDE ROOF HATCH, LADDER, FALL PROTECTION CAGE AND LADDER UP EXTENSION ASSEMBLY.
21. DEMOLISH AND DISPOSE EXISTING MECHANICAL UNIT, DUCT, SUPPORT, CONDENSATE LINE, ETC. PROVIDE TEMPORARY COVER CONSISTING OF PLYWOOD AND 10 MIL PLY VISQUEEN WRAPS.

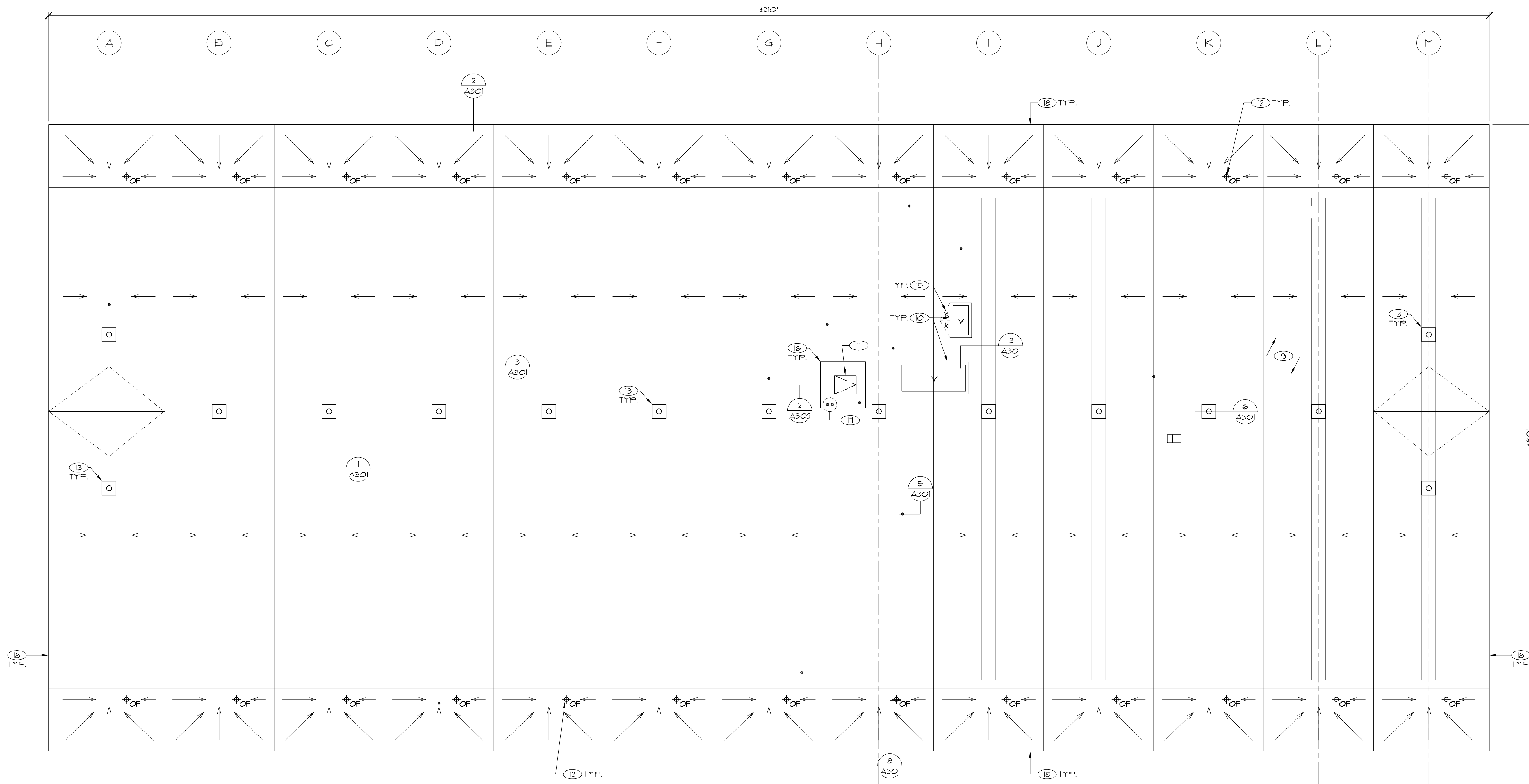


**2 DEMOLITION PLAN - BUILDING 16**

SCALE: 1/16" = 1'-0"

**LEGEND**

- (E) SLOPE DIRECTION
- (E) RIDGE LINE
- (E) VALLEY LINE
- (E) CENTER OF VALLEY
- (E) ROOF DRAIN
- (E) ANTENNA TOWER
- OVERFLOW DRAIN
- ROUND PENETRATION
- ROOF HATCH
- DETAIL CALLOUTS
- KEY NOTES
- VENT
- MECHANICAL UNIT



**1 ROOF PLAN - BUILDING 16**

SCALE: 1/8" = 1'-0"

SCALE: 1/16" = 1'-0"

SCALE: 1/8" = 1'-0"

1 INCH AT FULL SCALE  
IF NOT 1 INCH THE DRAWING  
HAS BEEN REPRODUCED  
NOT TO SCALE SHOWN

College of San Mateo  
1700 W. Hillsdale  
San Mateo, CA

**College of San  
Mateo and Skyline  
College Roof  
Replacement  
Project**

FOR:  
**San Mateo County  
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3401 CSM Drive  
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Mark	Description	Date
	Bid Set	04/02/2015
	DATE	10/21/11
	PROJECT NO.	15-3791
	CAD DWG FILE	2750_A201.dwg
	DRAWN BY	AC
	CHECKED BY	JRW/AL
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**DEMOLITION PLAN  
AND ROOF PLAN -  
BUILDING 16**

SCALE: NOTED ON DRAWINGS

SHEET

**A202**

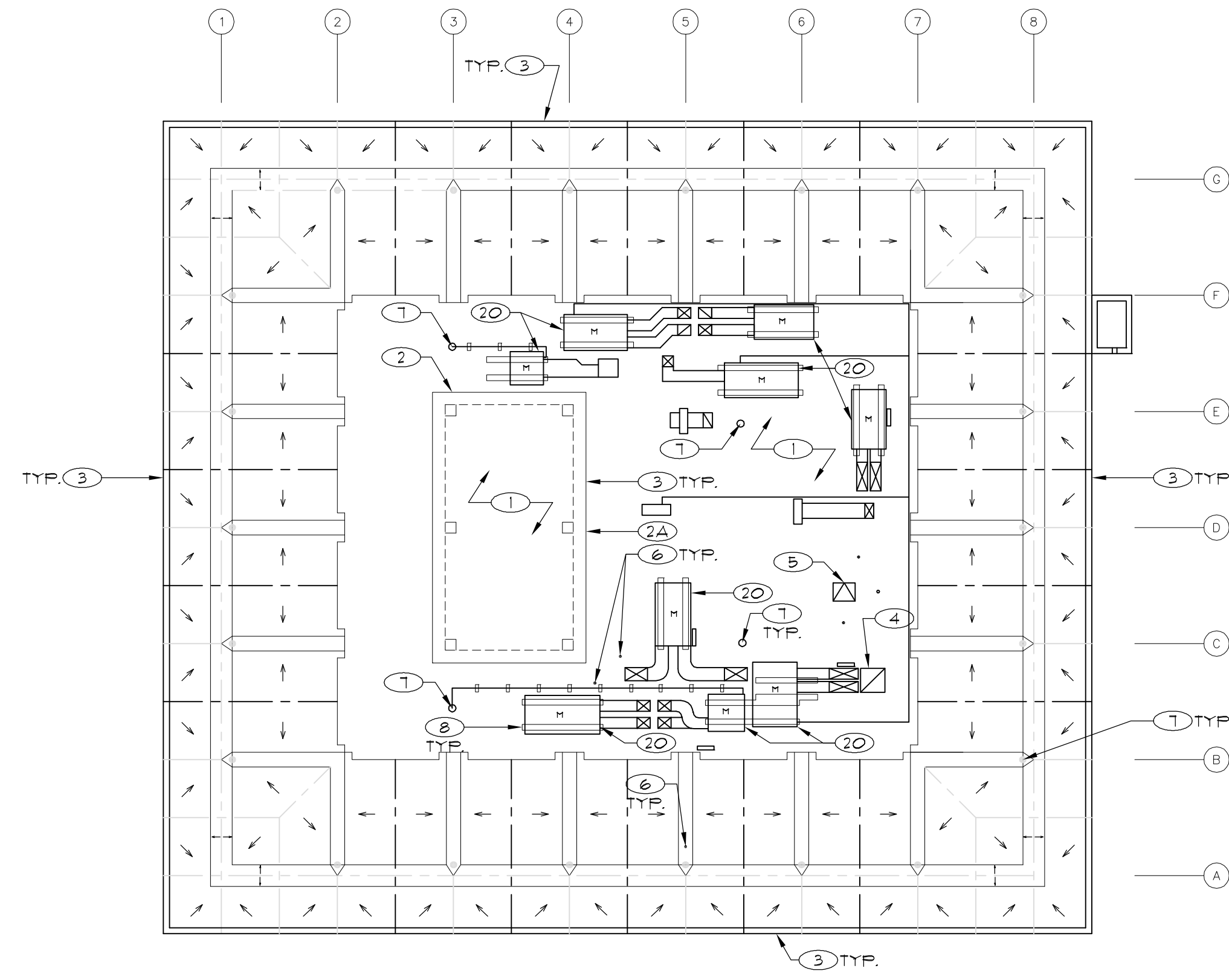
Bid Set, 04/02/2015

**BIDDING SET**  
**NOT FOR**  
**CONSTRUCTION**  
**OR PERMITTING**

**KEY NOTES**

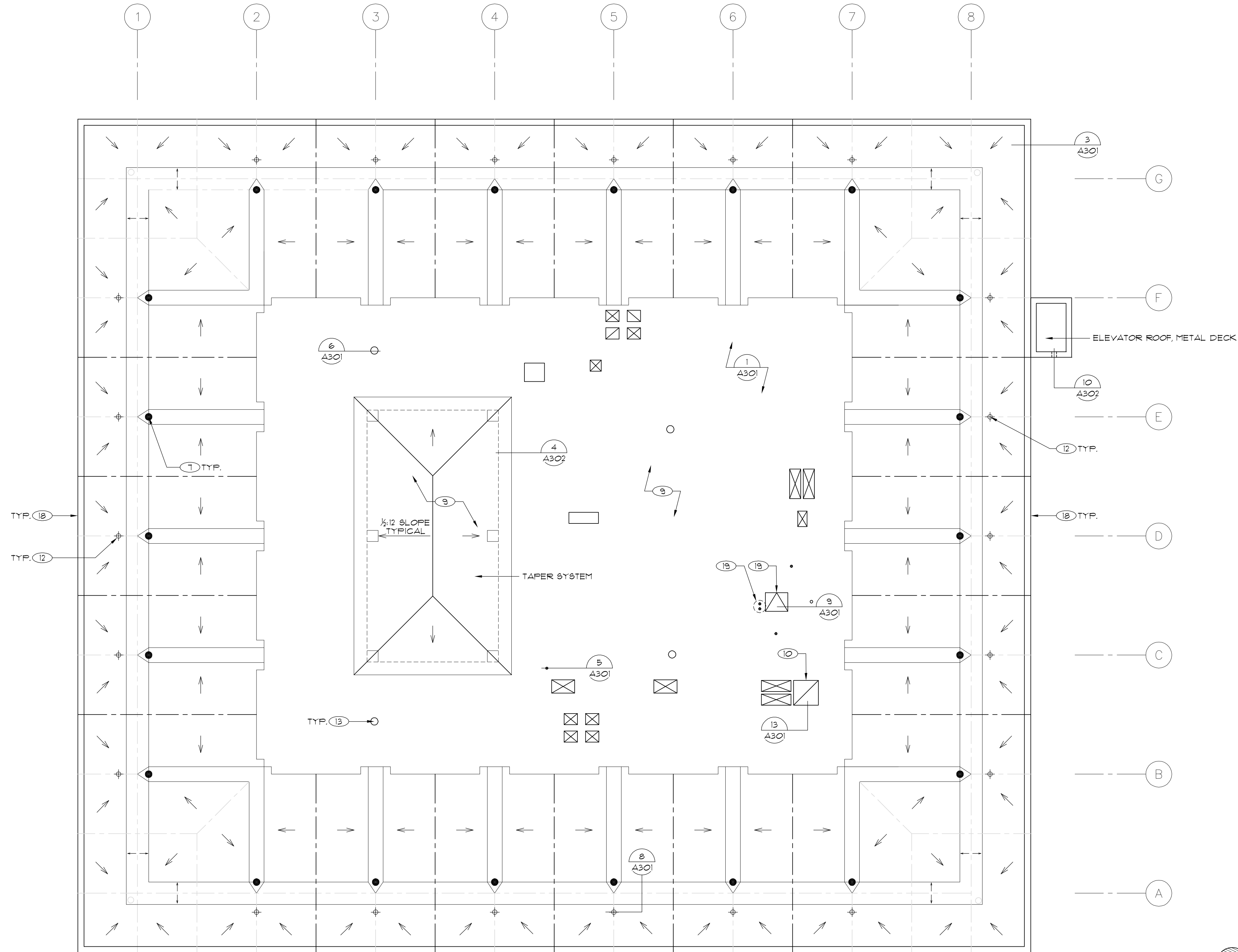
AS NOTED WITH:

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- DEMOLISH AND DISPOSE EXISTING WOOD SLEEPERS AND ASSOCIATED EQUIPMENT SUPPORTS. PROVIDE TEMPORARY SUPPORT PROVISIONS.
- PROVIDE 60 MIL FELT BACKED THERMOPLASTIC SINGLE PLY ROOF SYSTEM OVER 1/2" THICK SUBSTRATE BOARD, PRE-FRIMED.
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- PROVIDE CAST IRON STRAINER DOME, CLAMPING RING, 5/8" BOLTS AT EACH DRAIN.
- PROVIDE WOOD FRAMED PLATFORM ASSEMBLY FOR MECHANICAL UNITS.
- PROVIDE CRICKETS AT HIGH SIDE OF PLATFORM.
- WALK PAD PATTERN SHALL BE INCLUDED IN BASE BID. CONTRACTOR SHALL ALSO SUPPLY UNIT PRICE PER LINEAR FOOT, FOR ADDITIONAL WALKPAD.
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- PROVIDE CLAD EDGE METAL AND WOOD NAILER. SEE DETAIL 2/A301.
- PROVIDE ROOF HATCH, LADDER, FALL PROTECTION CAGE AND LADDER UP EXTENSION.
- DEMOLISH AND DISPOSE EXISTING MECHANICAL UNIT, DUCT, SUPPORT, CONDENSATE LINE, ETC. PROVIDE TEMPORARY COVER CONSISTING OF PLYWOOD AND 10 MIL PLY VLSQUEEN WRAPS.



2 DEMOLITION PLAN - BUILDING 1

SCALE: 1/16" = 1'-0"



1 ROOF PLAN - BUILDING 1

SCALE: 1/8" = 1'-0"

**LEGEND**

- (E) SLOPE DIRECTION
- (E) RIDGE LINE
- (E) VALLEY LINE
- (E) CENTER OF VALLEY
- (E) ROOF DRAIN
- (E) ANTENNA TOWER
- OVERFLOW DRAIN
- ROUND PENETRATION
- ROOF HATCH
- DETAIL CALLOUTS
- KEY NOTES
- VENT
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16 12 8 4 0 16 32  
 SCALE: 1/16" = 1'-0"

8 6 4 2 0 8 16  
 SCALE: 1/8" = 1'-0"

1 INCH AT FULL SCALE  
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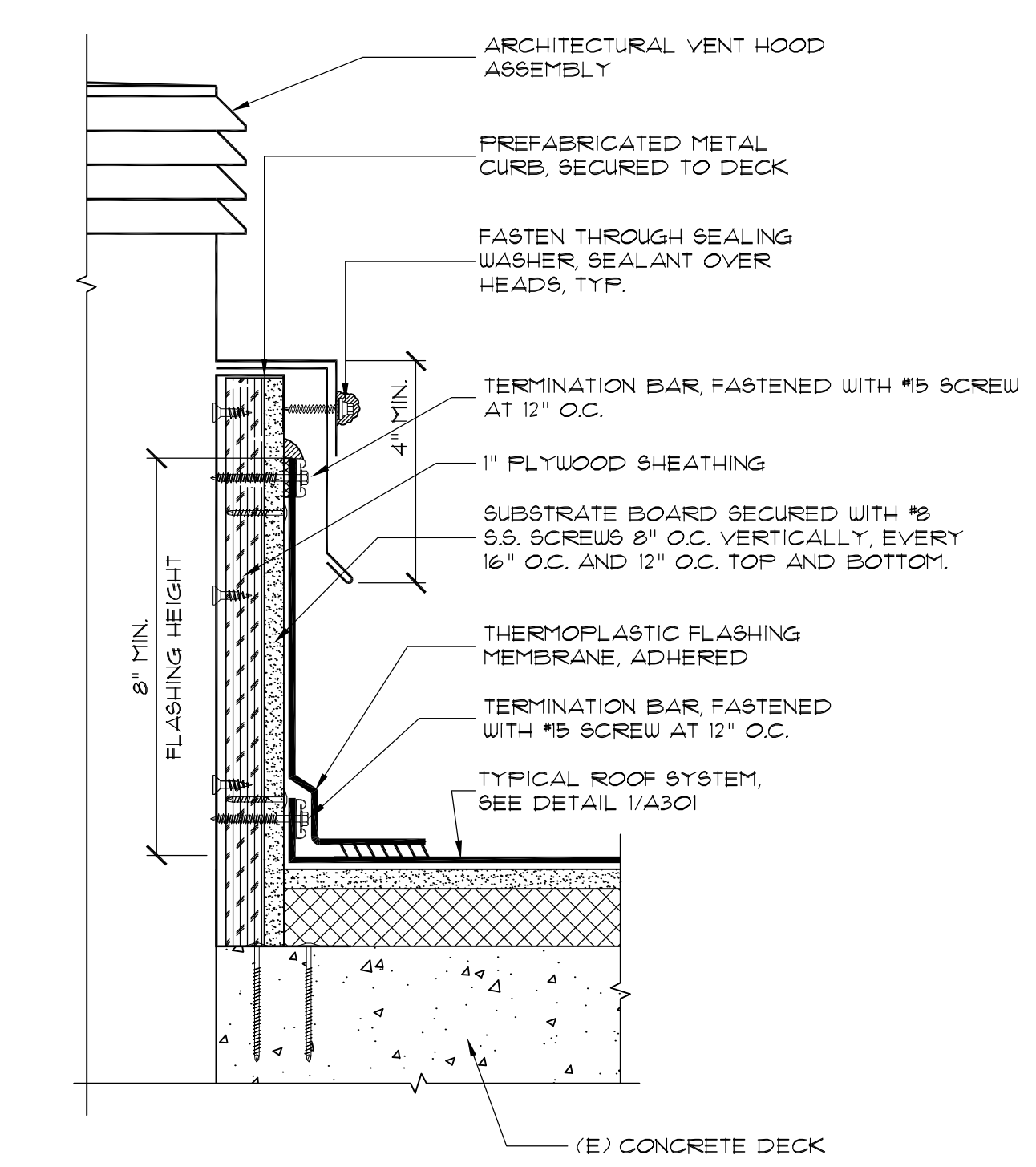
ISSUE	
Mark	Description

Mark	Description	Date

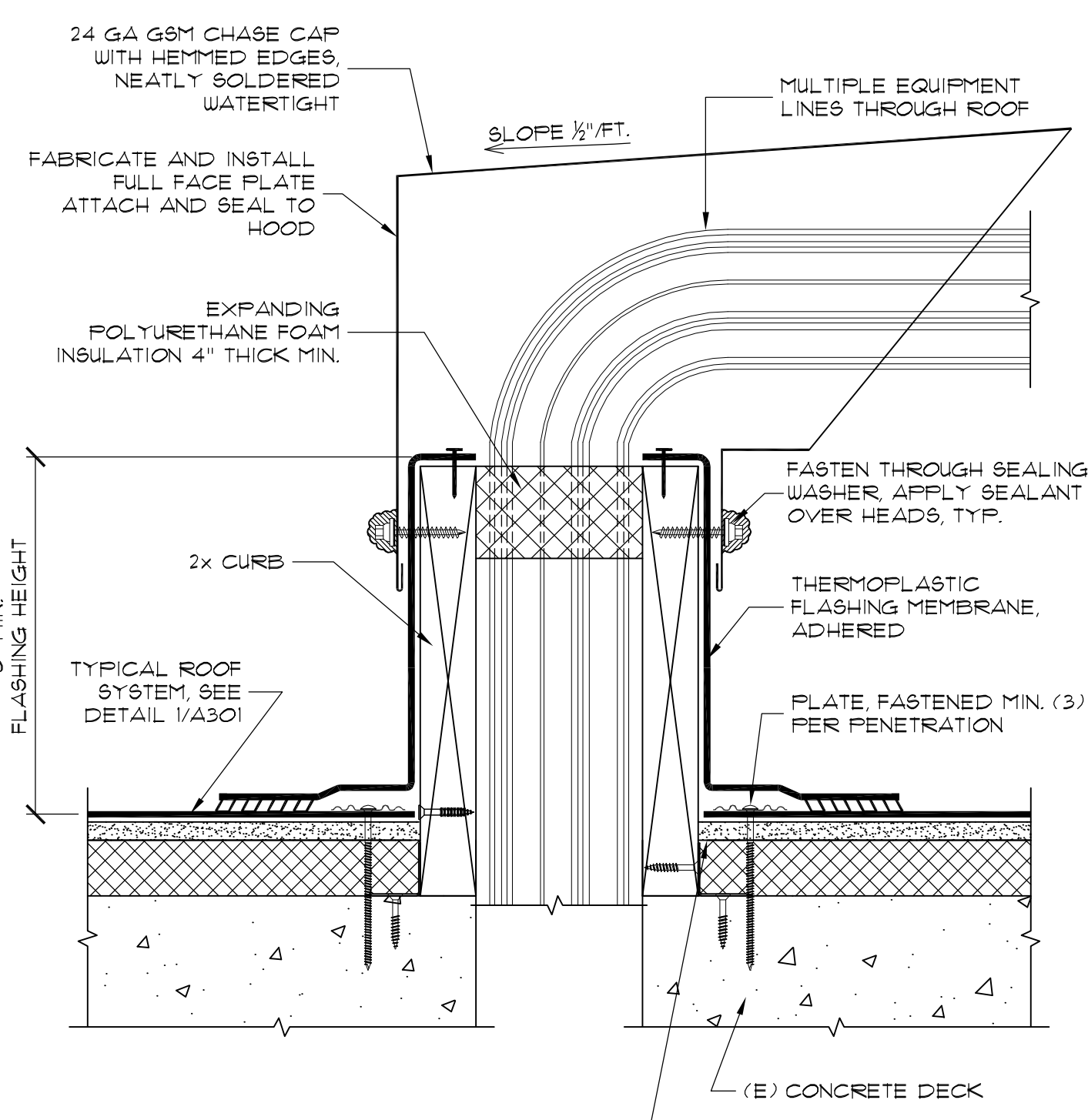
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**DEMOLITION PLAN**  
**AND ROOF PLAN -**  
**BUILDING 1**

SCALE: NOTED ON DRAWINGS

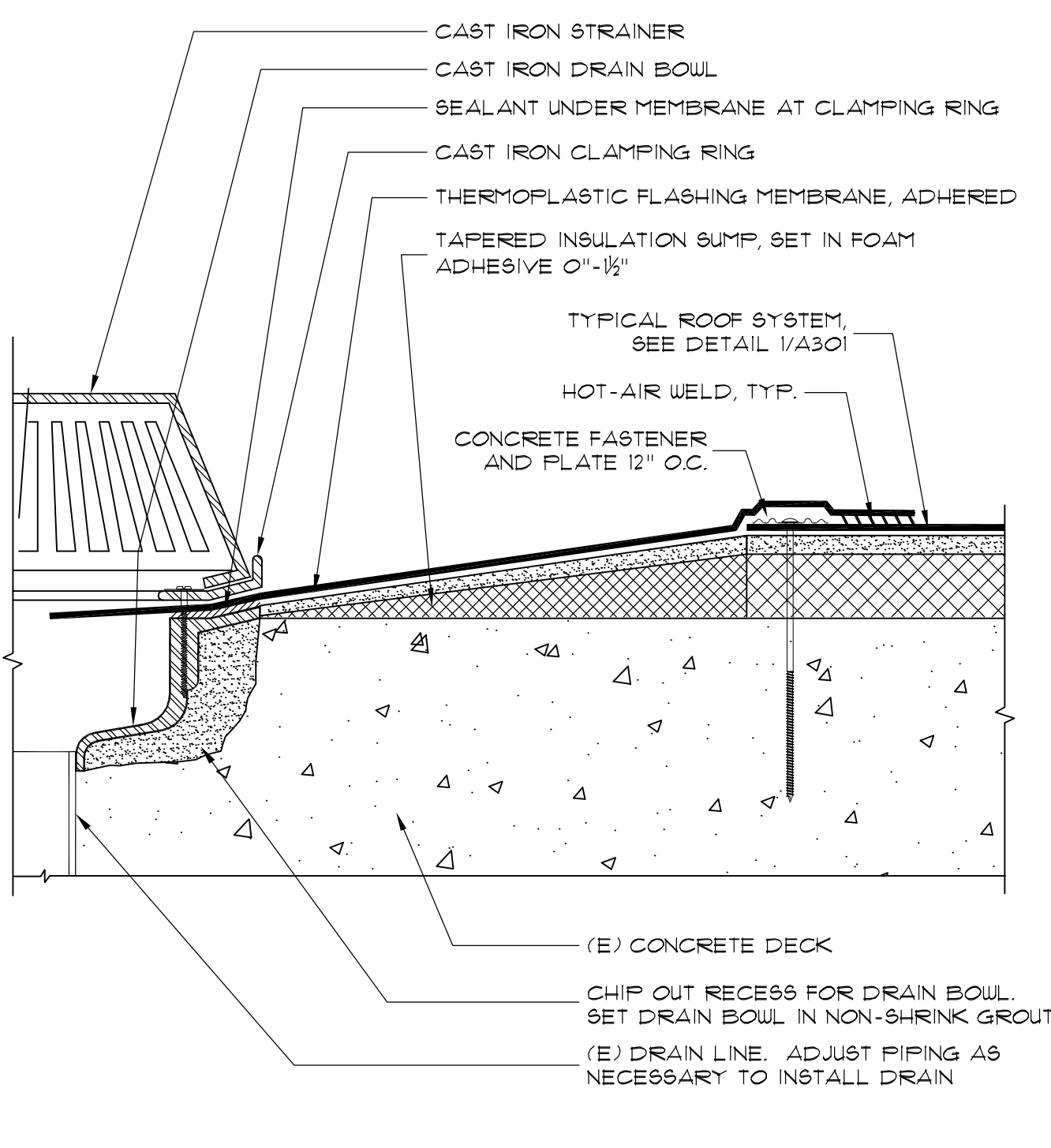
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**NOT FOR**  
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**OR PERMITTING**



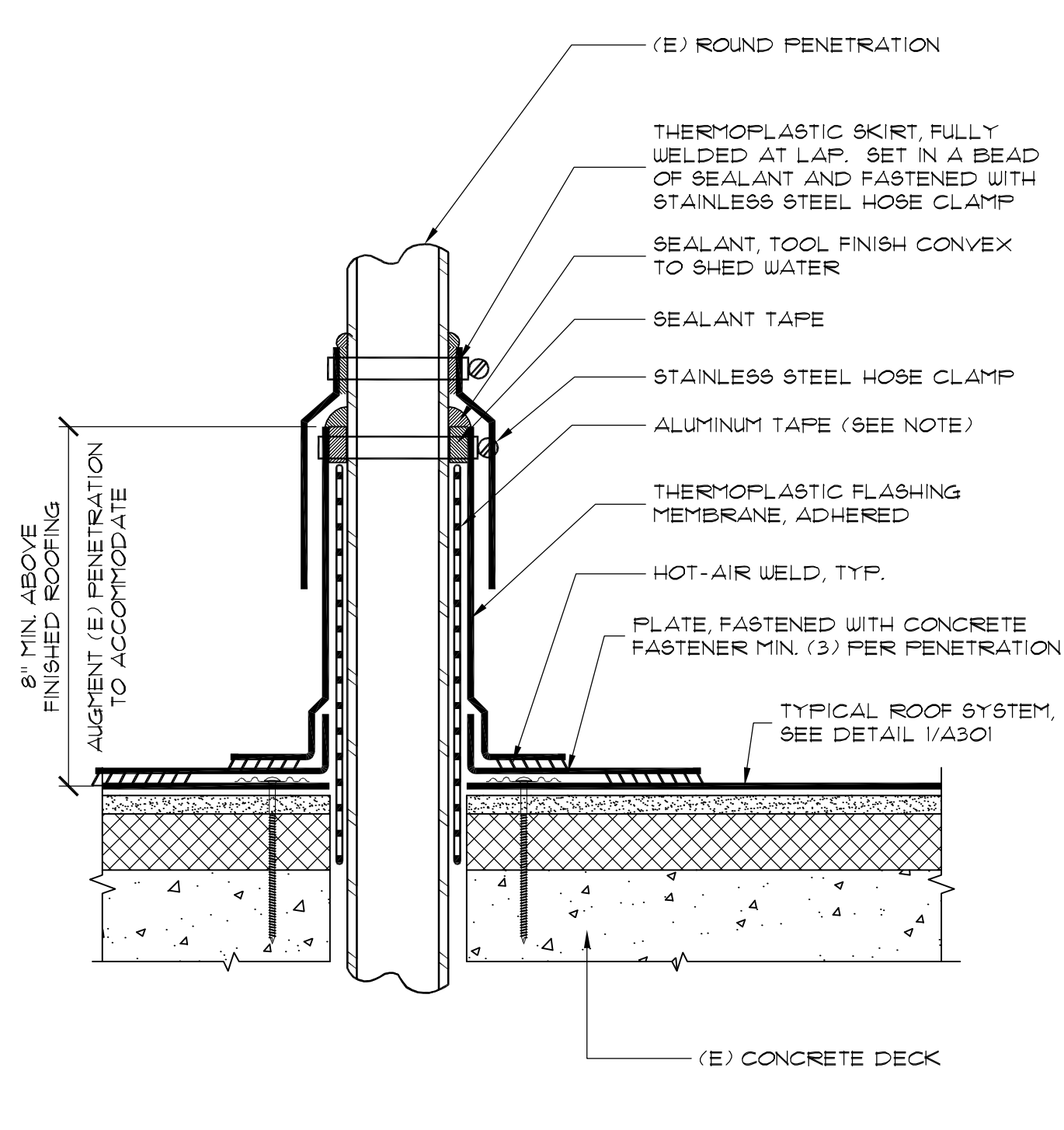
**VENT CURB**  
 SCALE: N.T.S. **13** A301



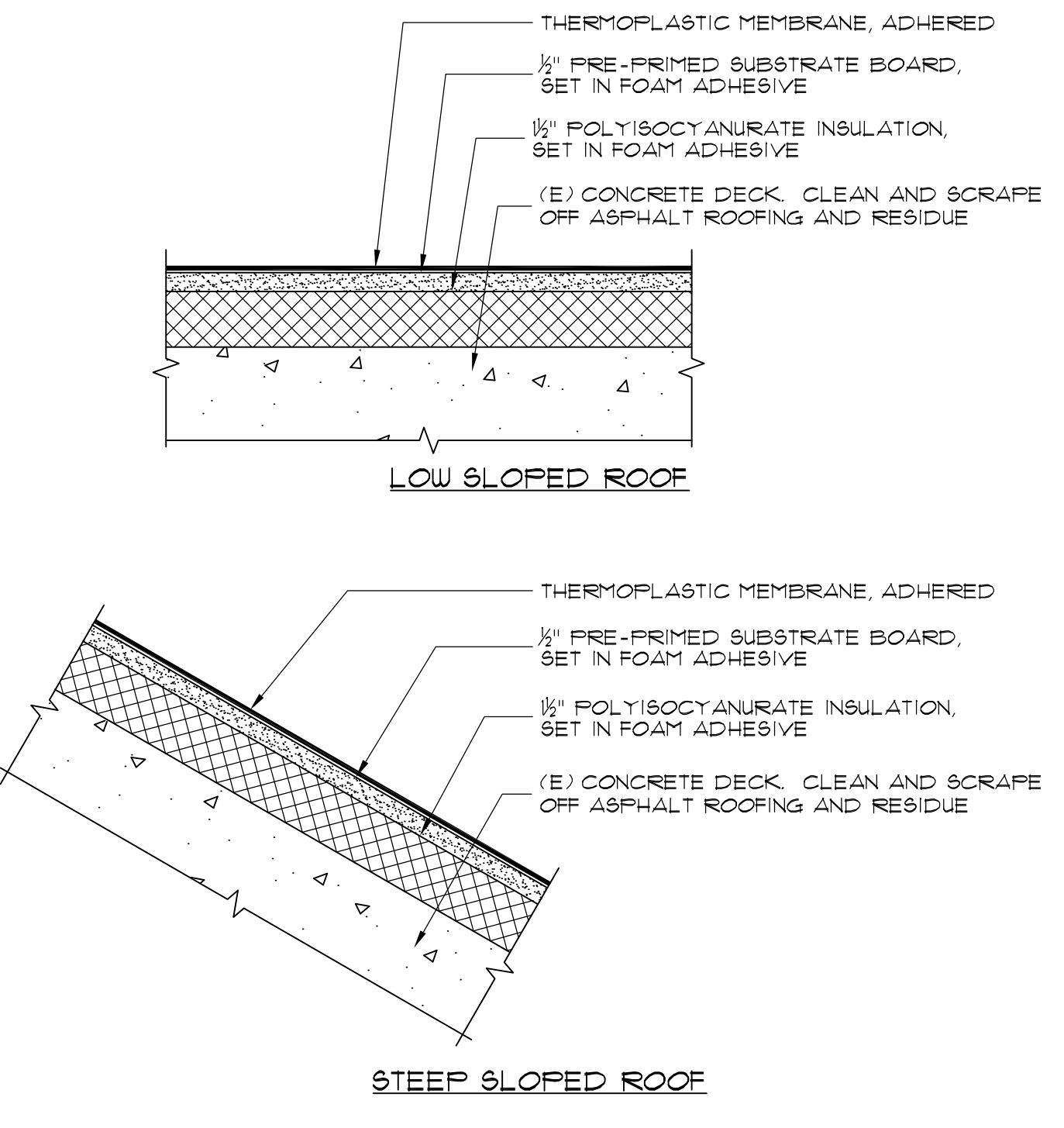
**MULTI PIPE PENETRATION HOOD**  
 SCALE: N.T.S. **10** A301



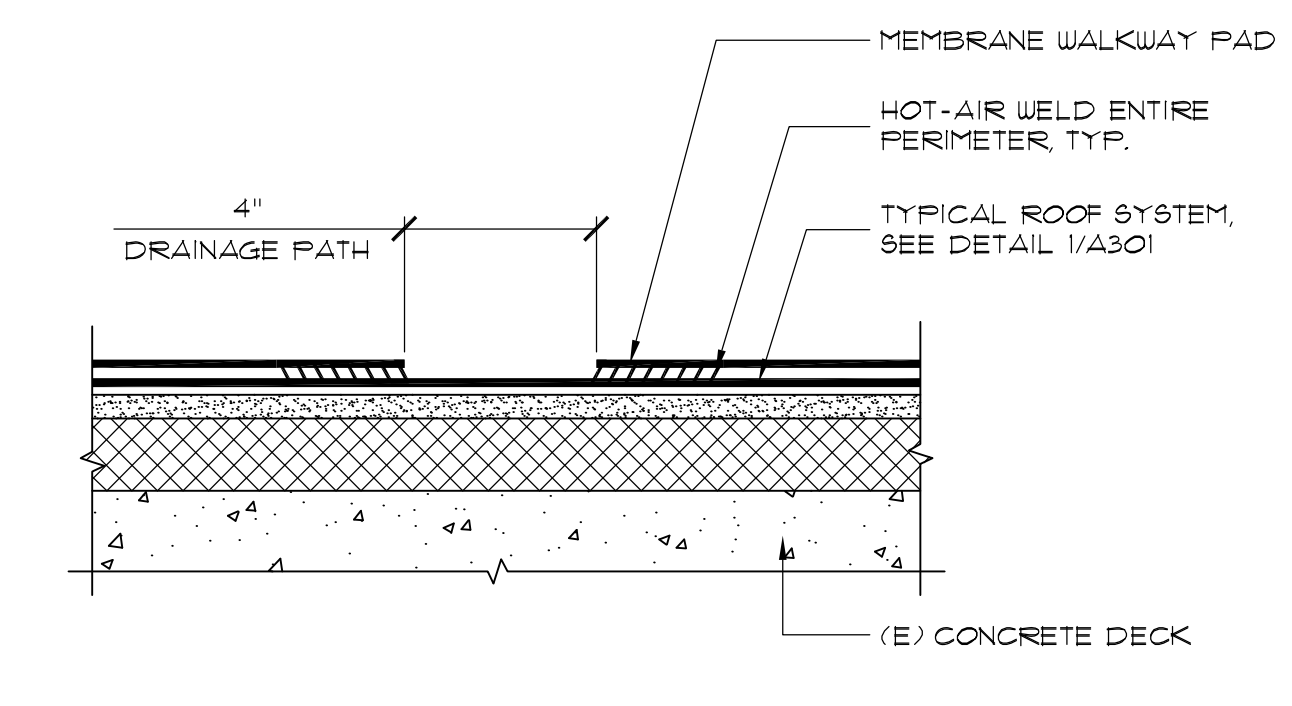
**ROOF DRAIN - ALTERNATE**  
 SCALE: N.T.S. **7** A301



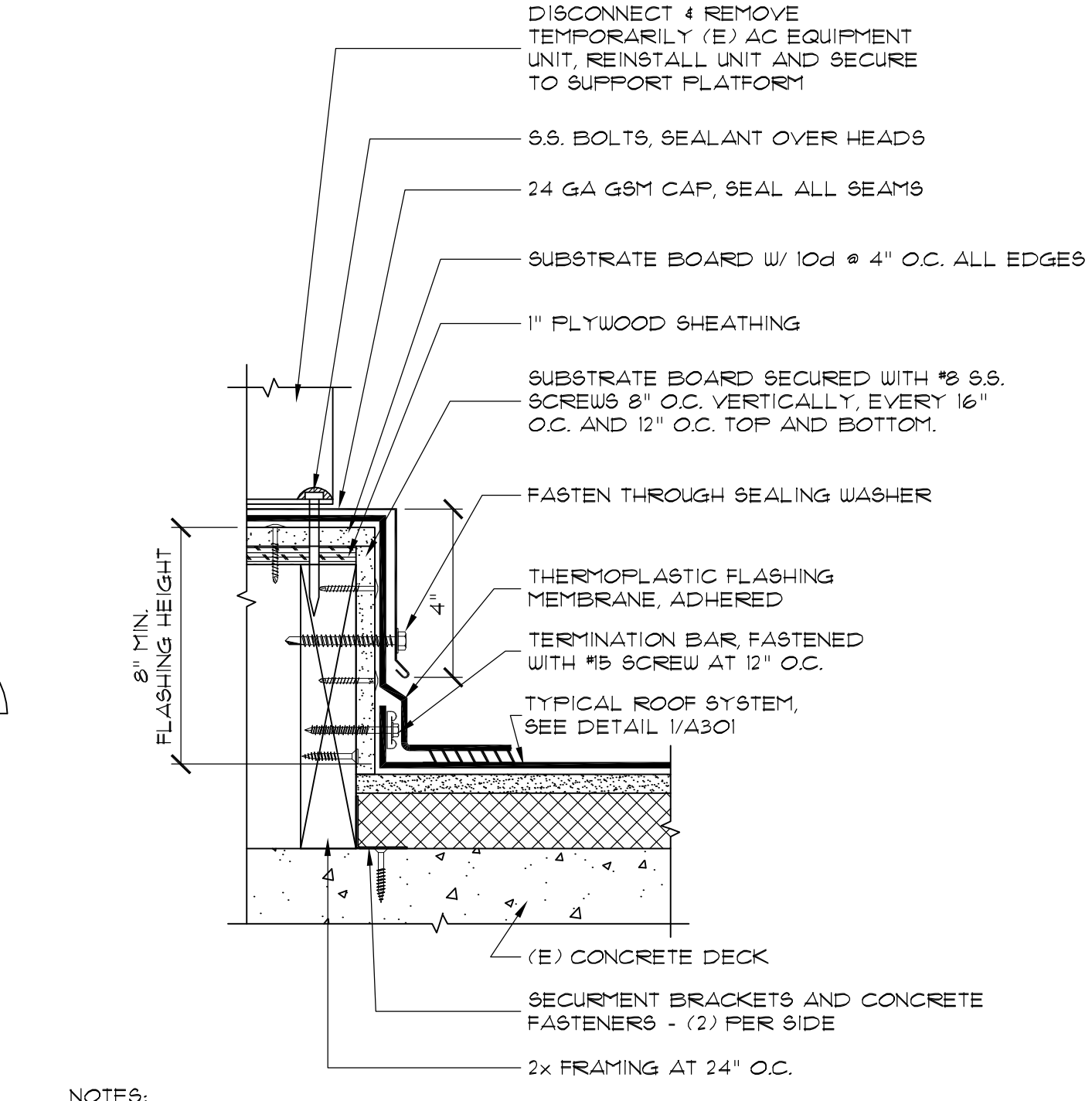
**ROUND PENETRATION**  
 SCALE: N.T.S. **4** A301



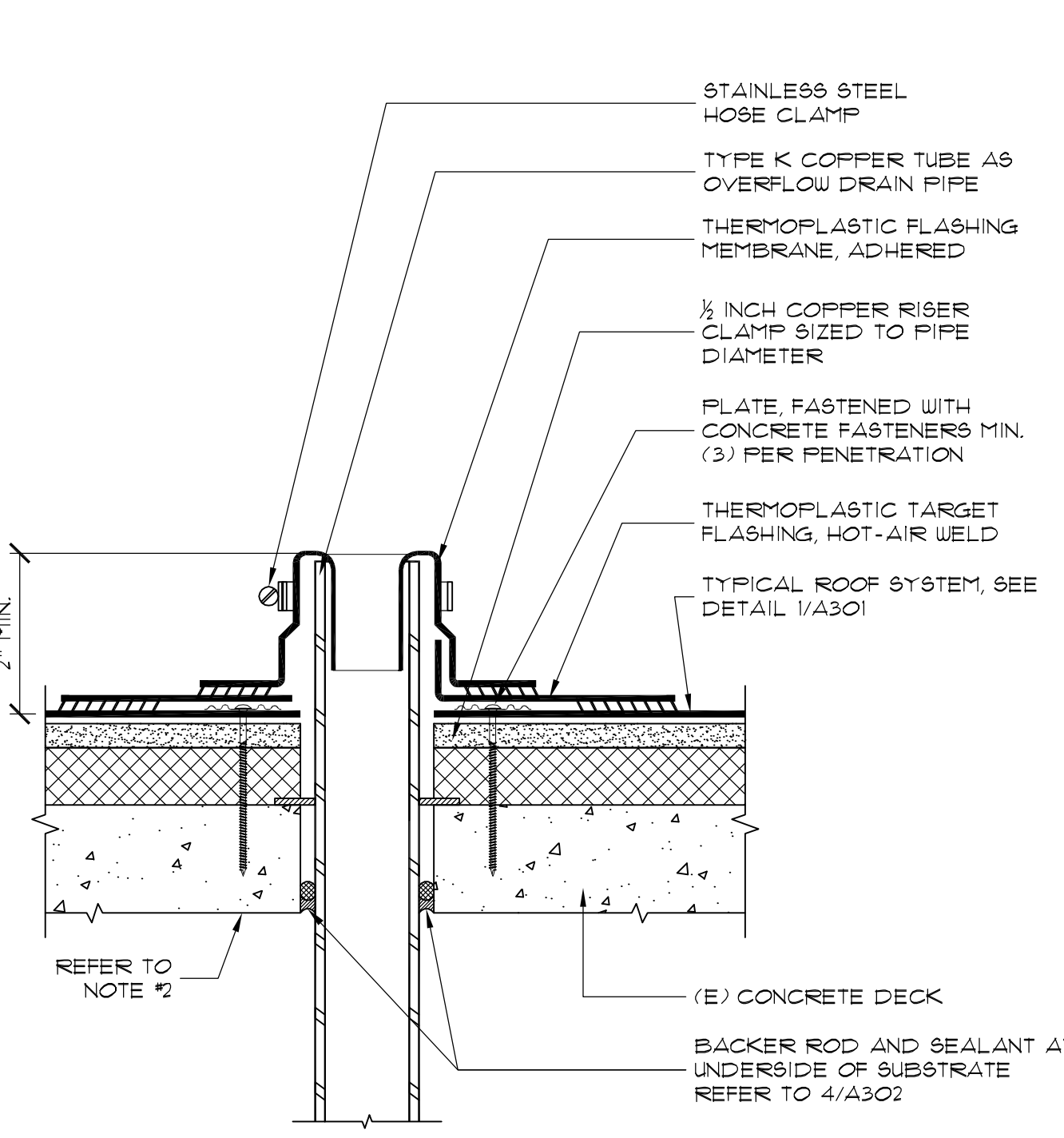
**ROOF CROSS SECTIONS**  
 SCALE: N.T.S. **1** A301



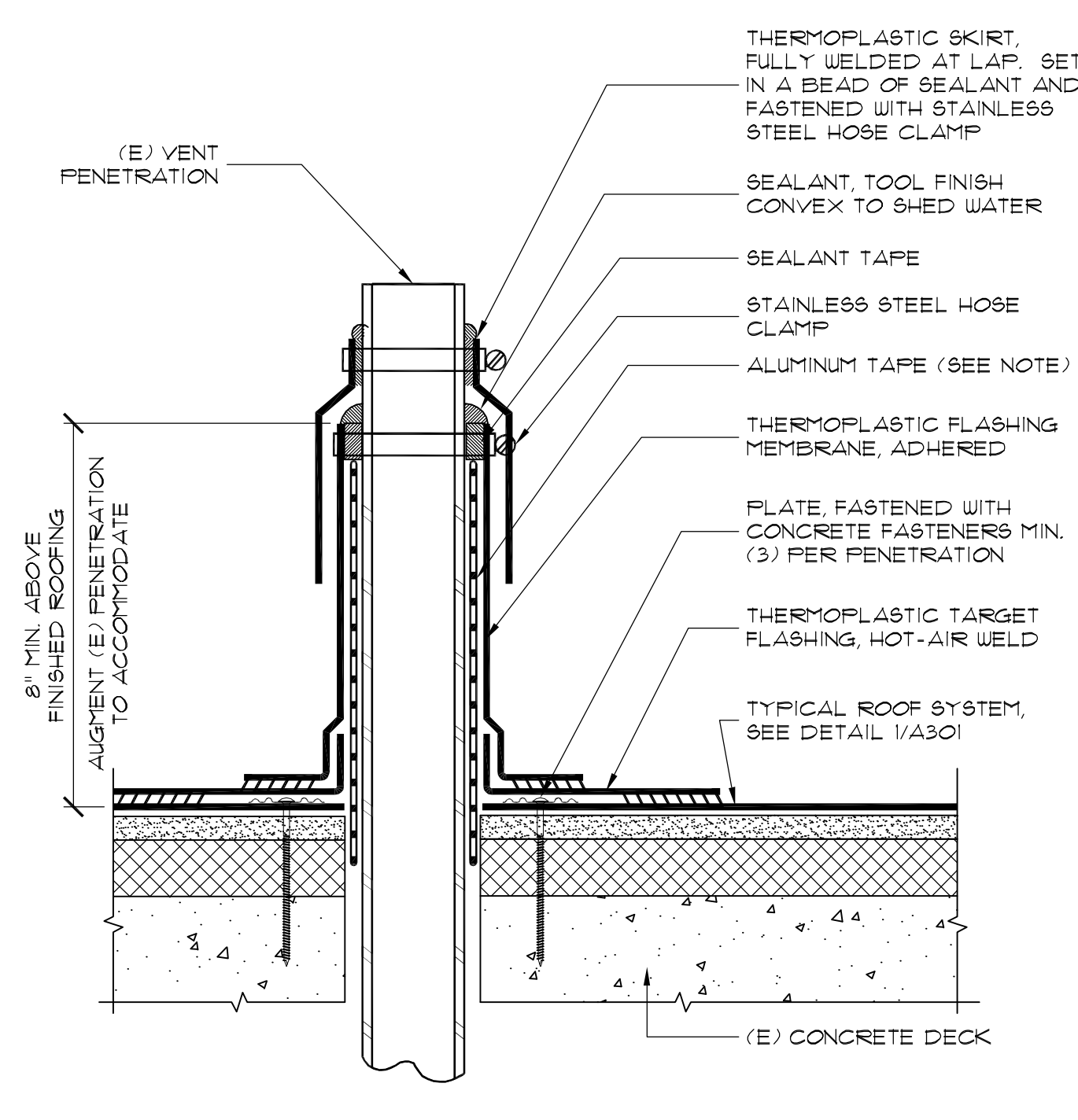
**WALKWAY PAD**  
 SCALE: N.T.S. **14** A301



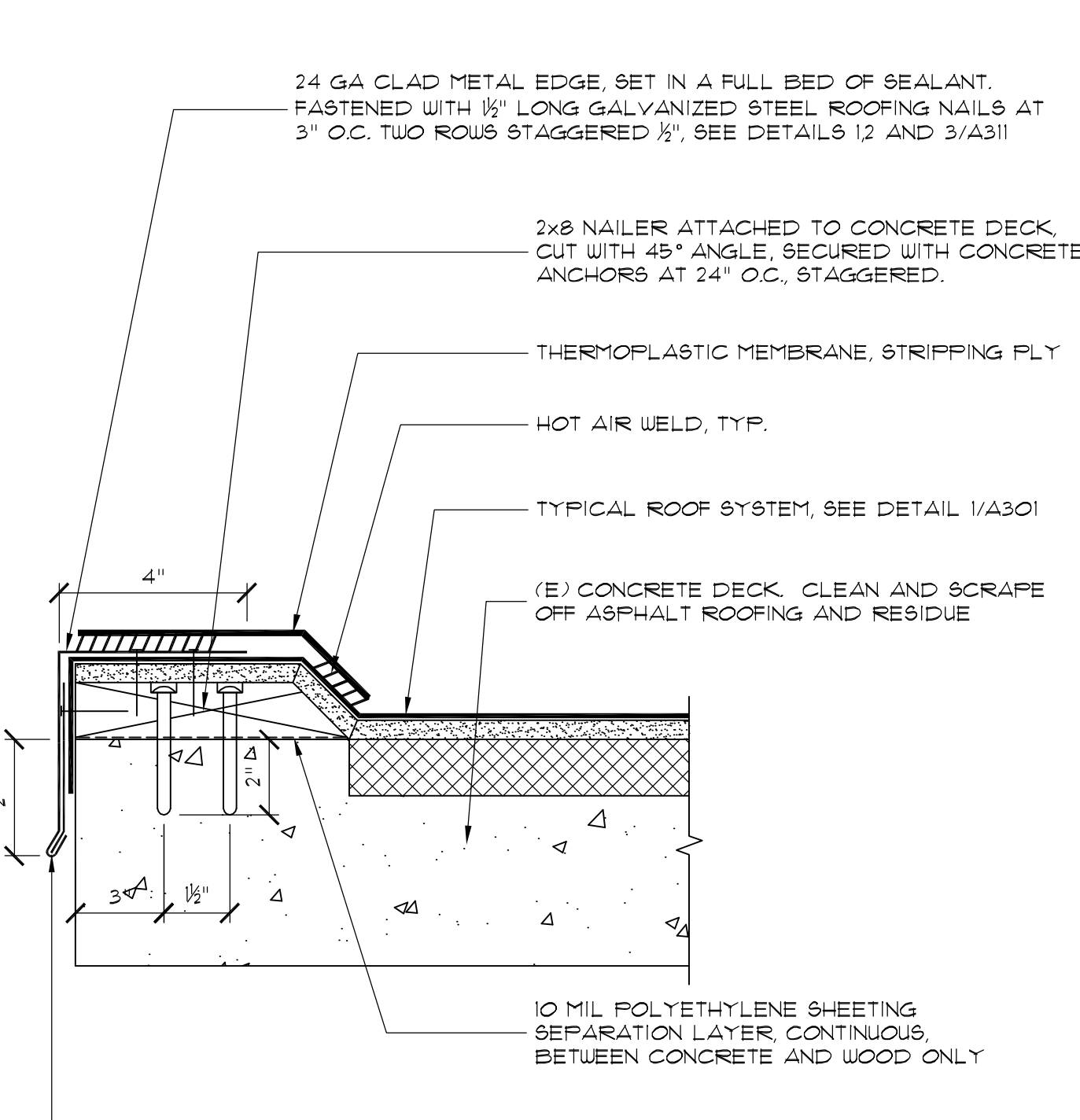
**MECHANICAL UNIT PLATFORM CURB**  
 SCALE: N.T.S. **11** A301



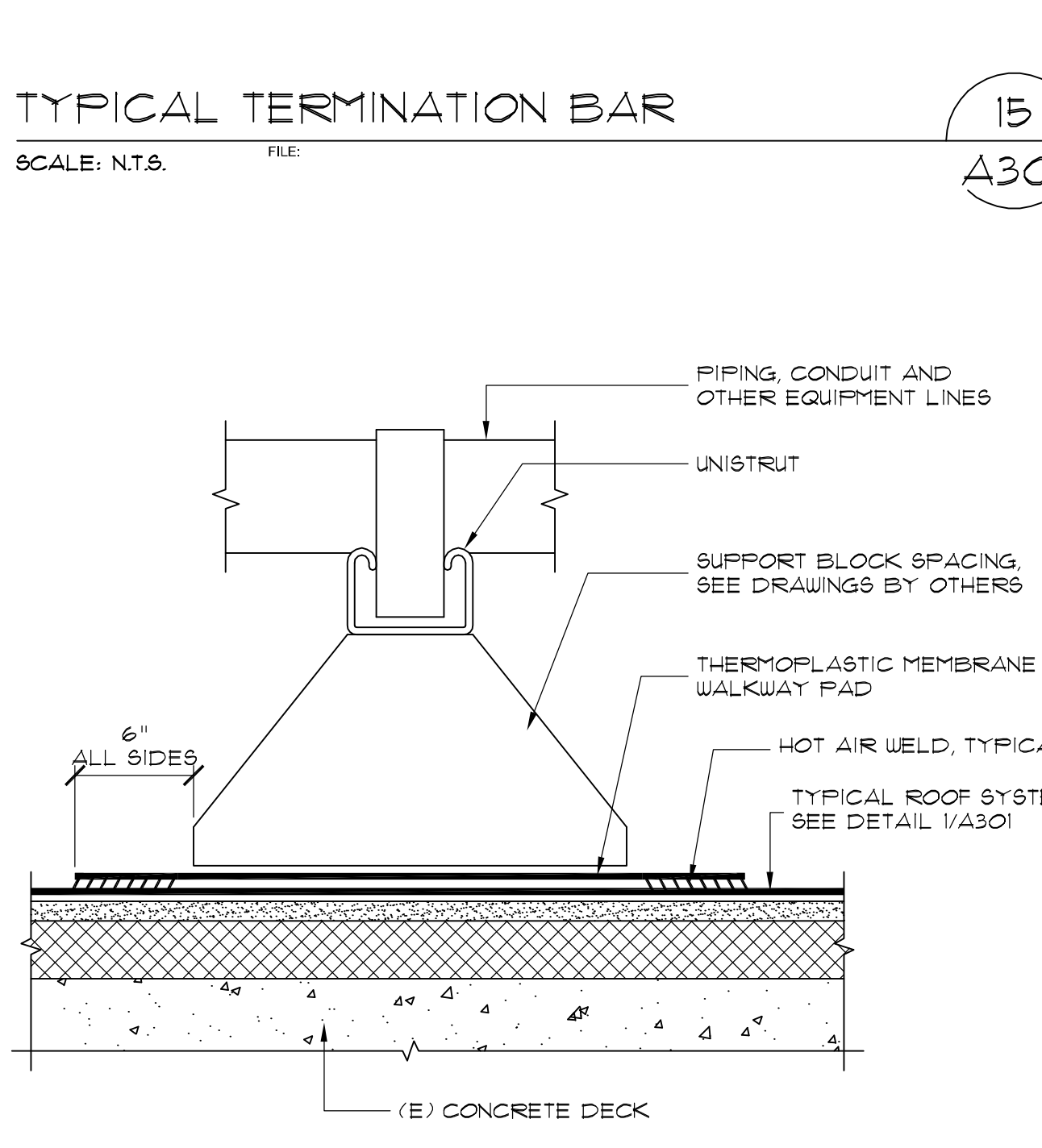
**OVERFLOW DRAIN**  
 SCALE: N.T.S. **8** A301



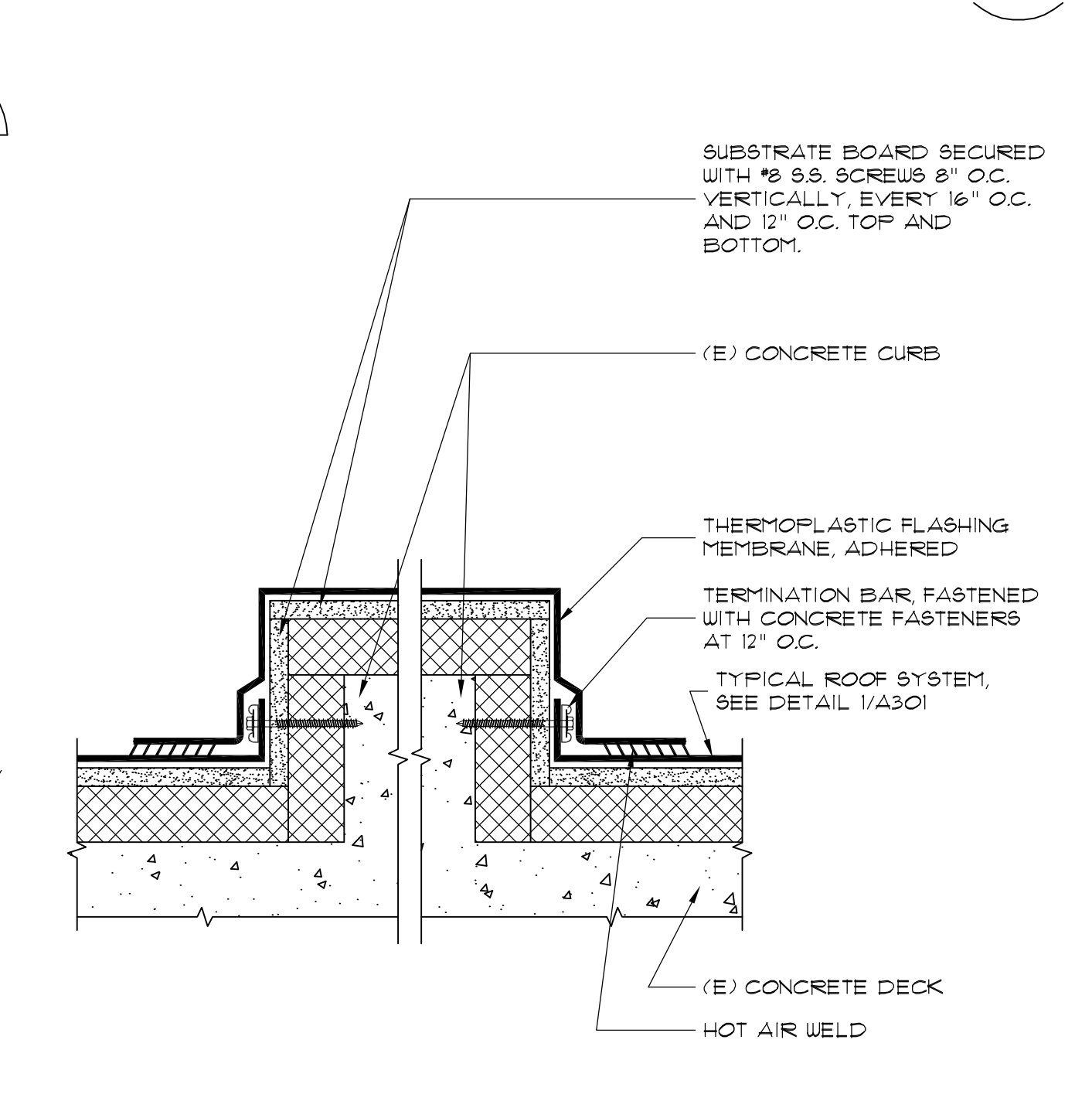
**PLUMBING VENT**  
 SCALE: N.T.S. **5** A301



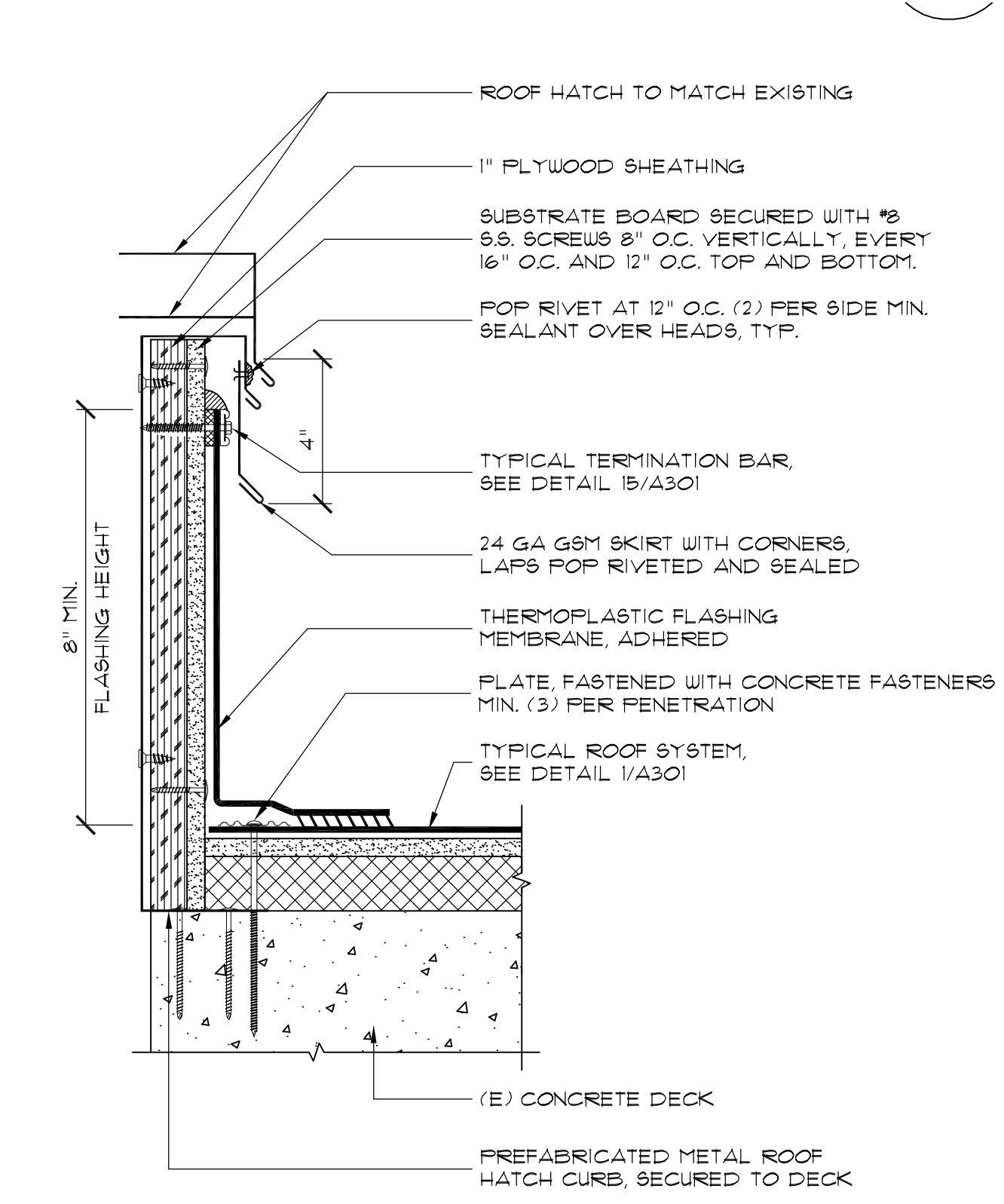
**ROOF EDGE**  
 SCALE: N.T.S. **2** A301



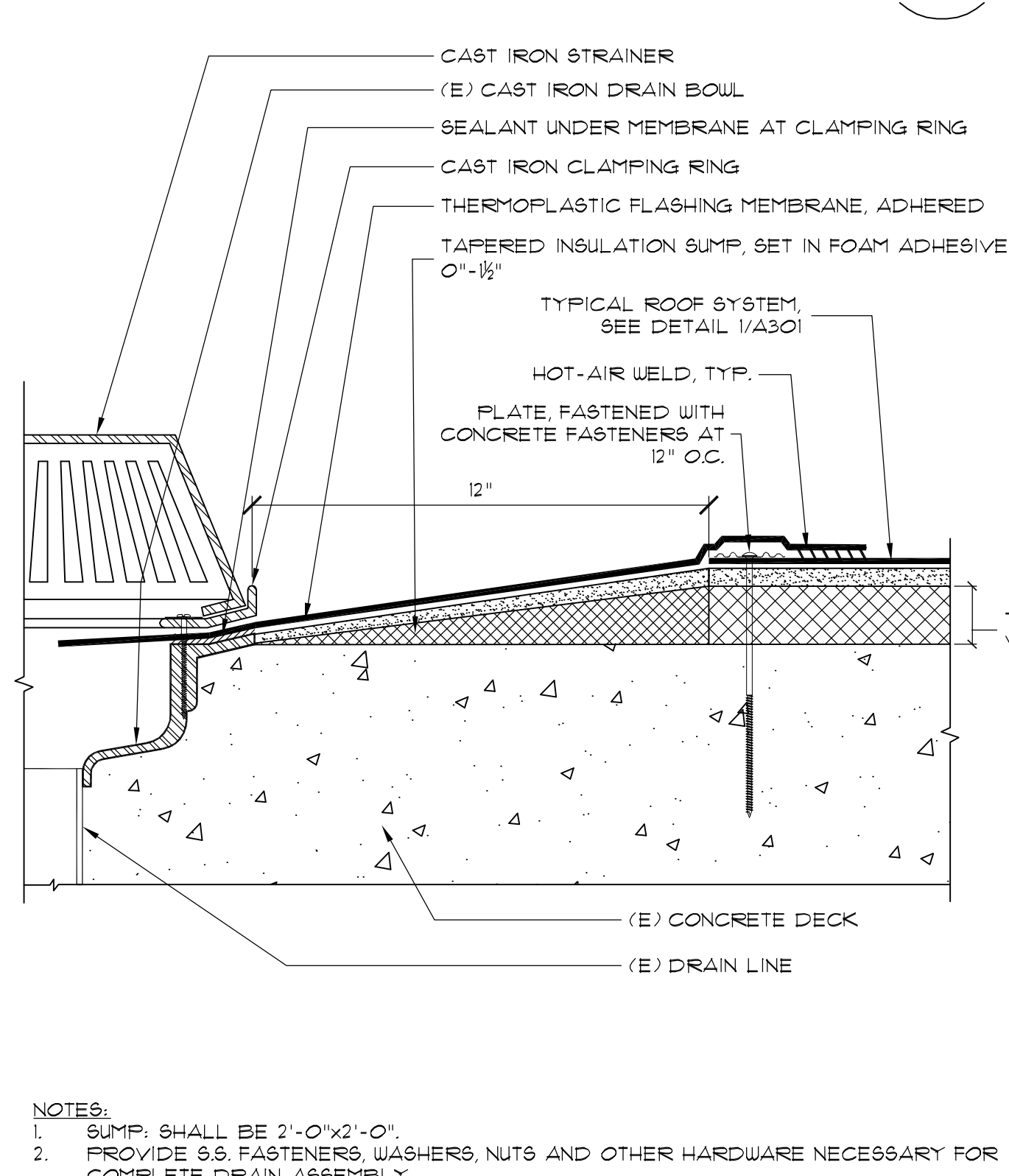
**TYPICAL TERMINATION BAR**  
 SCALE: N.T.S. **15** A301



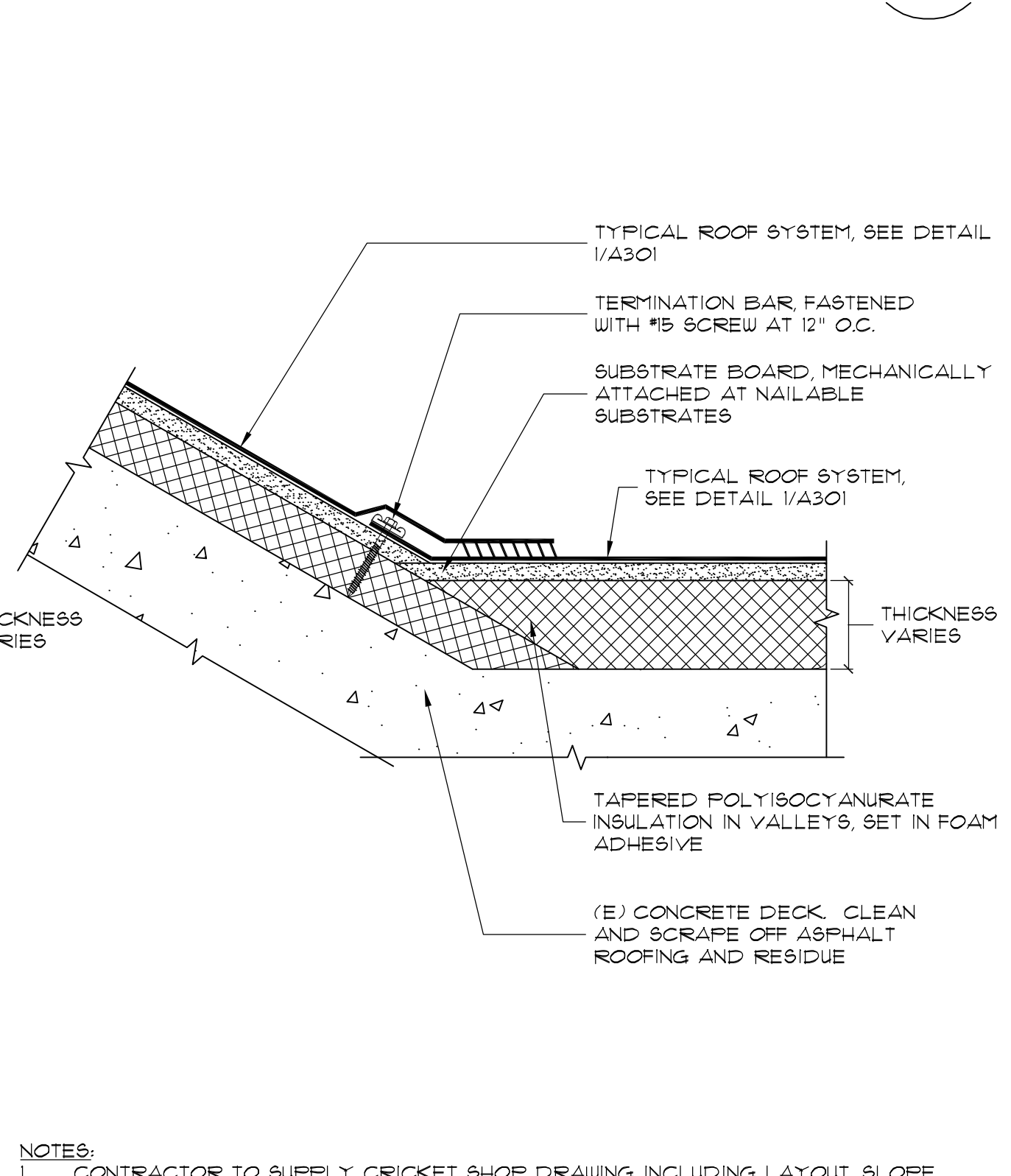
**SUPPORT BLOCK**  
 SCALE: N.T.S. **16** A301



**ROOF HATCH**  
 SCALE: N.T.S. **9** A301



**ROOF DRAIN - BASE BID**  
 SCALE: N.T.S. **6** A301



**ROOF CRICKET AT VALLEY**  
 SCALE: N.T.S. **3** A301

**ABANDONED CURB WHERE OCCURS**  
 SCALE: N.T.S. **12** A301

**ROOF DRAIN - ALTERNATE (Revised)**  
 SCALE: N.T.S. **7** A301

**ROOF CRICKET AT VALLEY (Revised)**  
 SCALE: N.T.S. **3** A301

**ROOF CRICKET AT VALLEY (Revised)**  
 SCALE: N.T.S. **3** A301

**ROOF CRICKET AT VALLEY (Revised)**  
 SCALE: N.T.S. **3** A301

College of San Mateo  
 1700 W. Hillside  
 San Mateo, CA

College of San Mateo and Skyline College Roof Replacement Project

FOR:  
 San Mateo County Community College  
 3401 CSM Drive  
 San Mateo, CA 94402

ISSUE	DATE

Mark	Description	Date

Bid Set, 04/02/2015

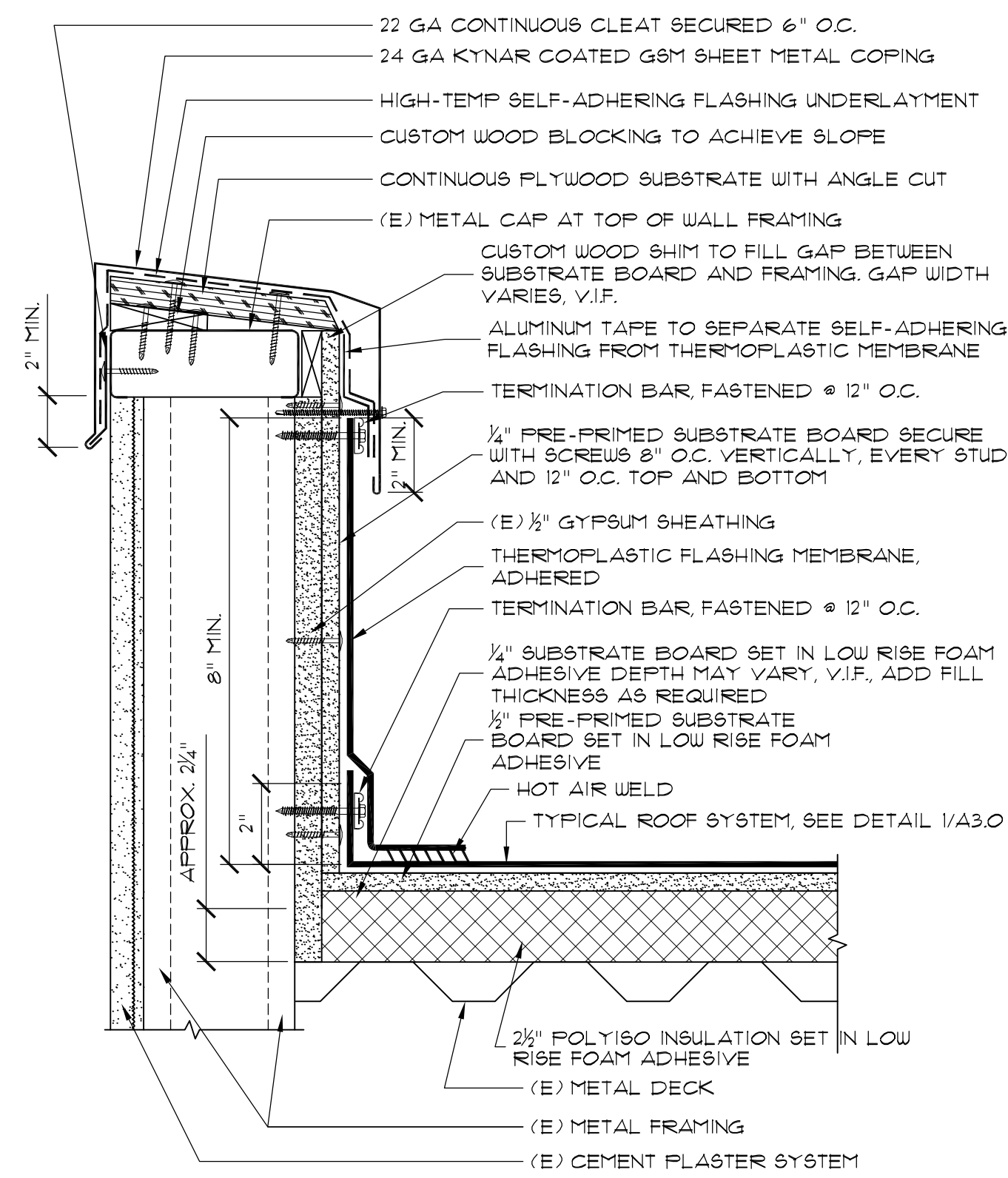
SCALE: NOTED ON DRAWINGS

**A301**

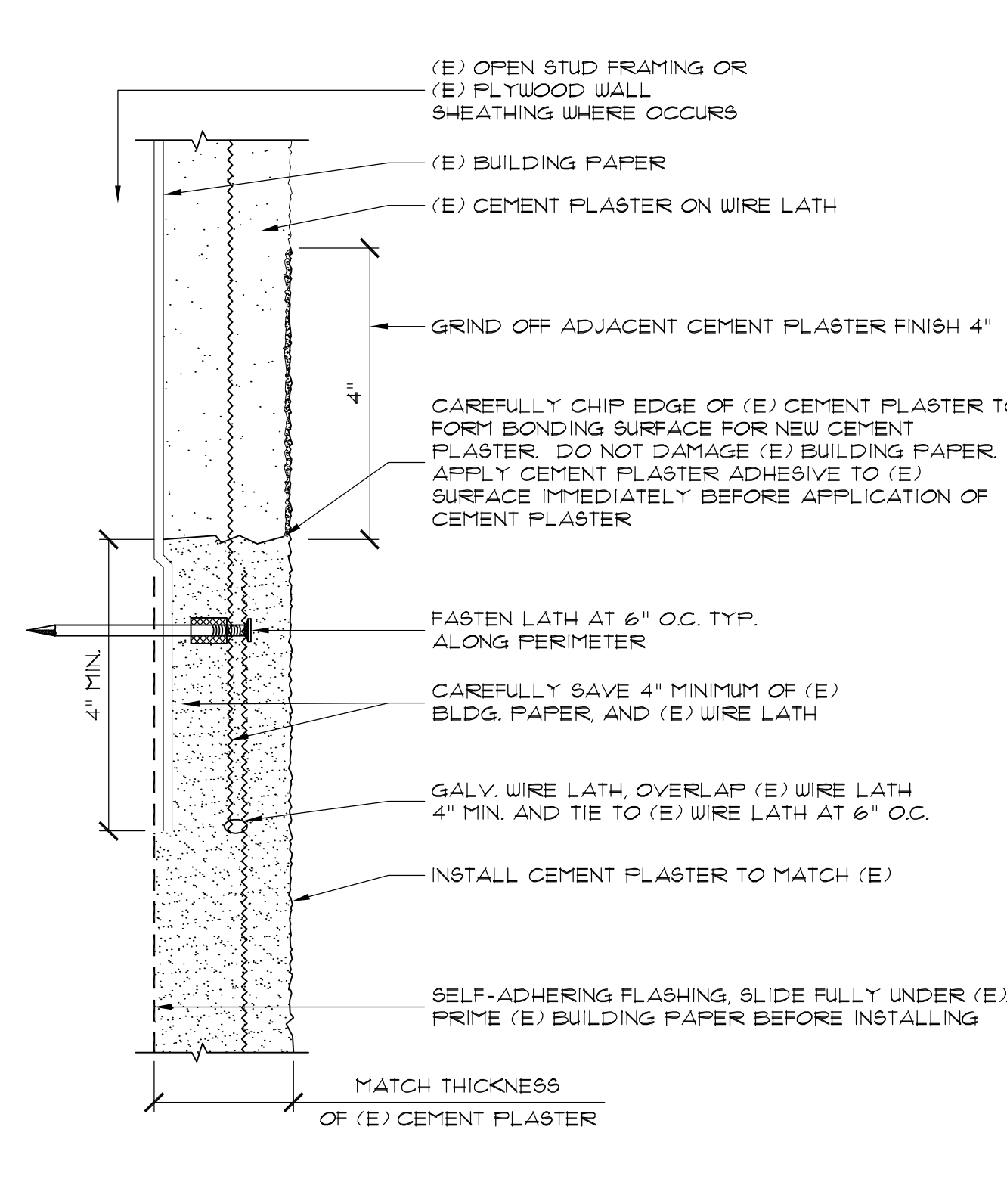


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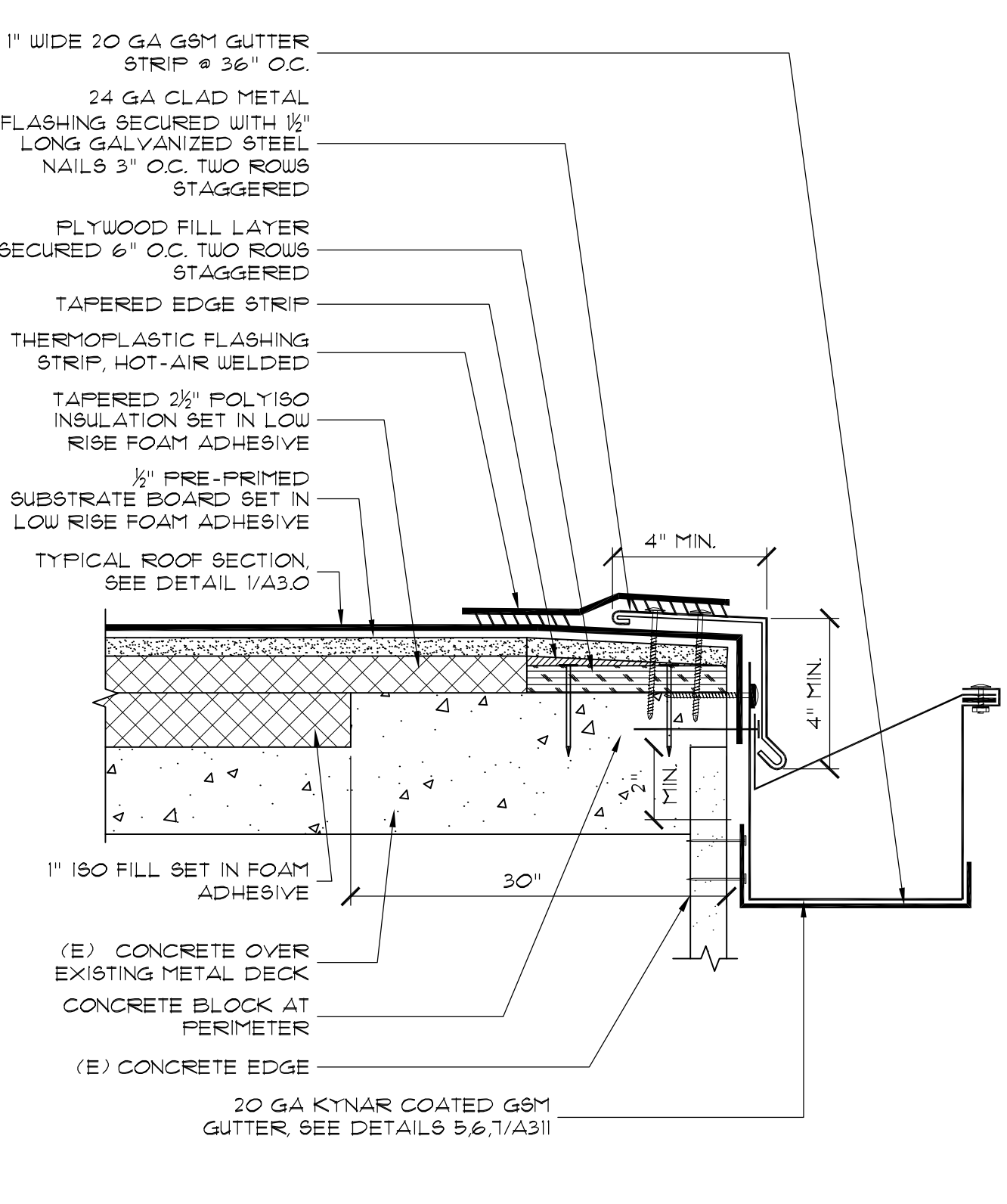
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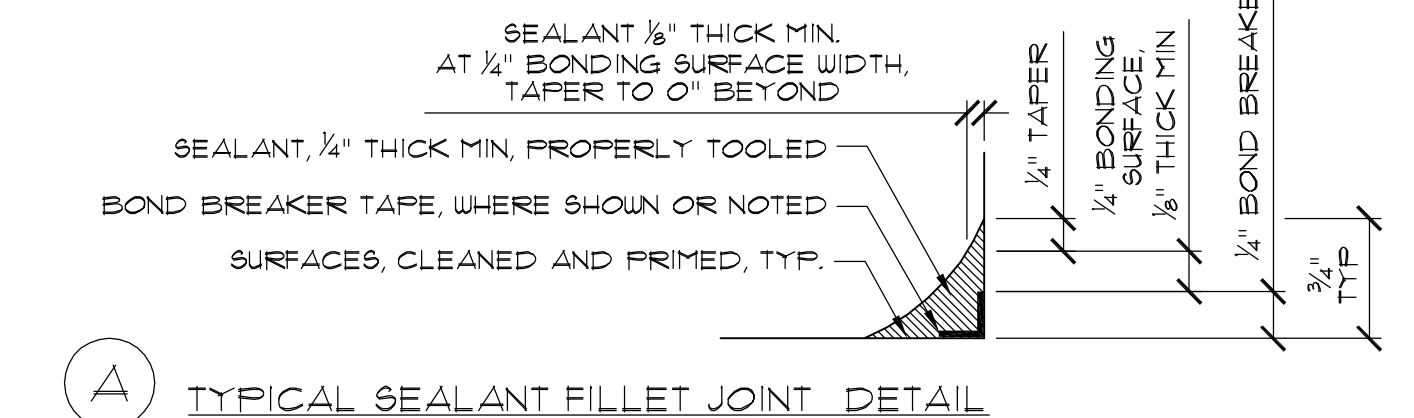
**ELEVATOR ROOF WALL**  
SCALE: N.T.S. FILE: **10**  
**A302**



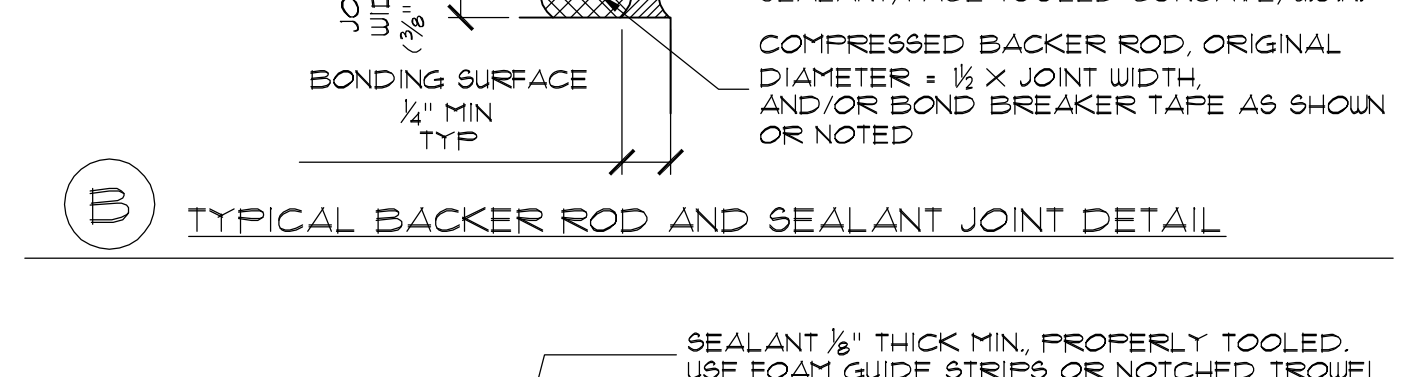
**CEMENT PLASTER TIE-IN TO (E) ABOVE**  
SCALE: N.T.S. FILE: **7**  
**A302**



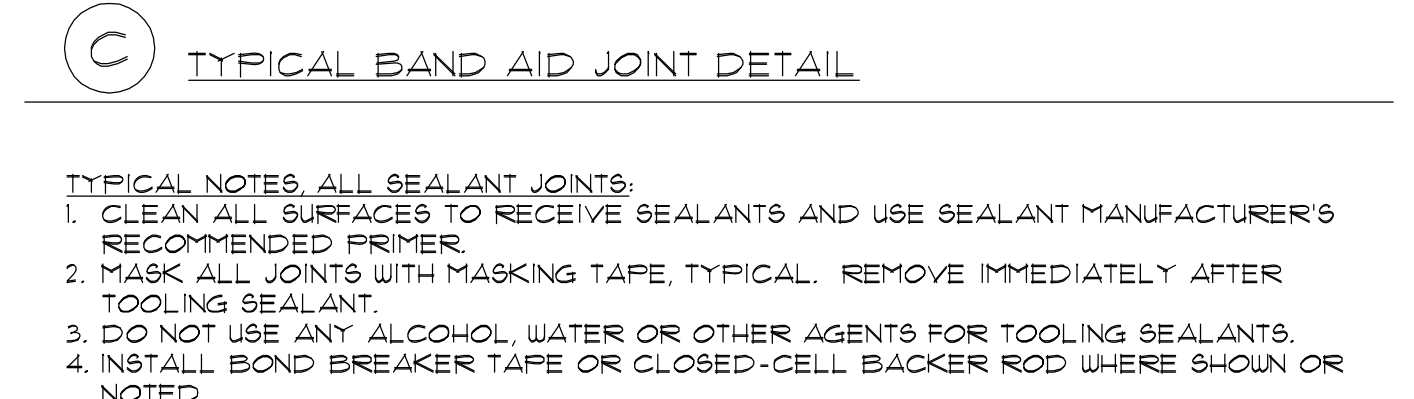
**GUTTER DETAIL AT RAISED ROOF**  
SCALE: N.T.S. FILE: **4**  
**A302**



**TYPICAL SEALANT FILLET JOINT DETAIL**  
SCALE: N.T.S. FILE: **1**  
**A302**

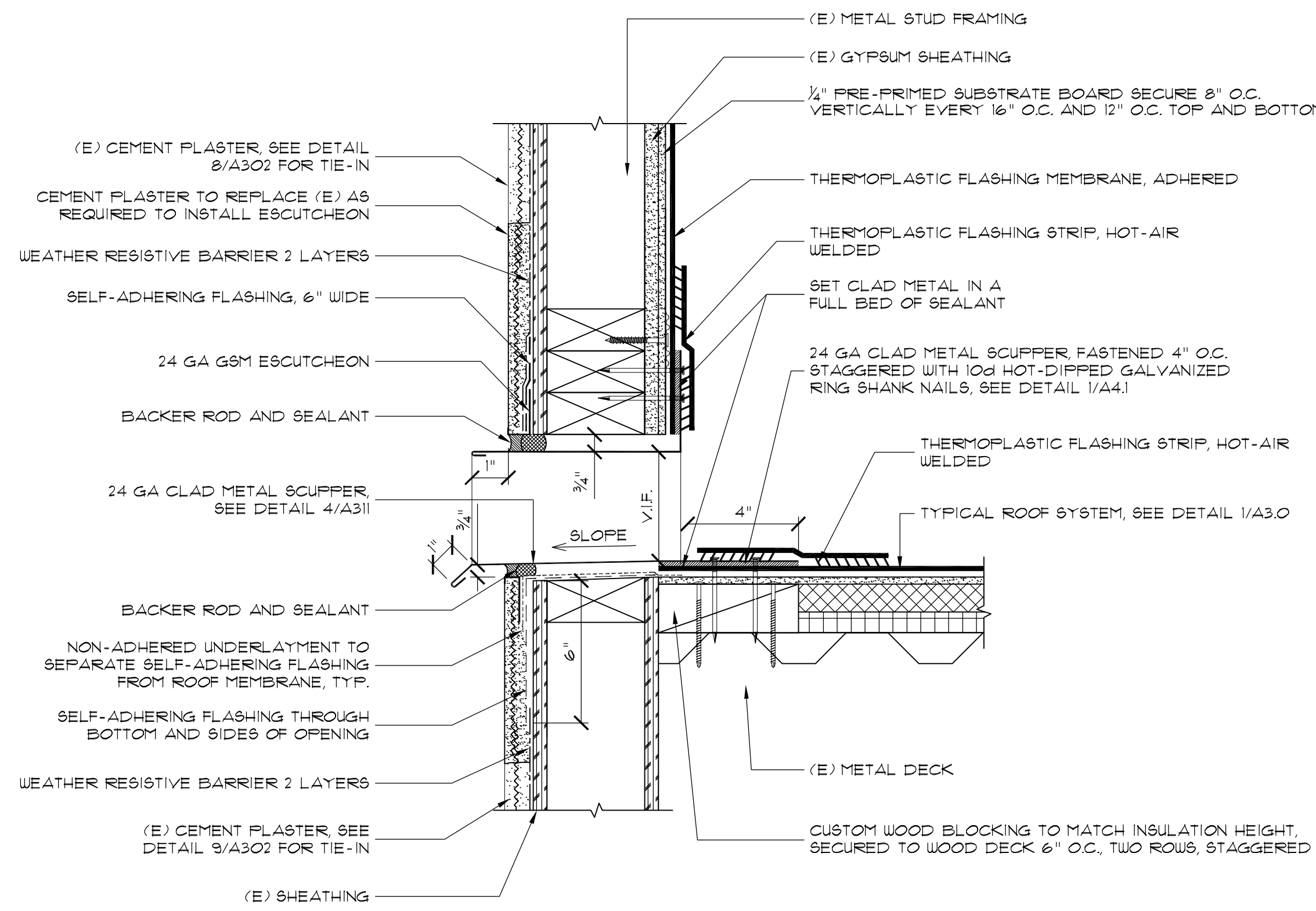


**TYPICAL BACKER ROD AND SEALANT JOINT DETAIL**  
SCALE: N.T.S. FILE: **1**  
**A302**

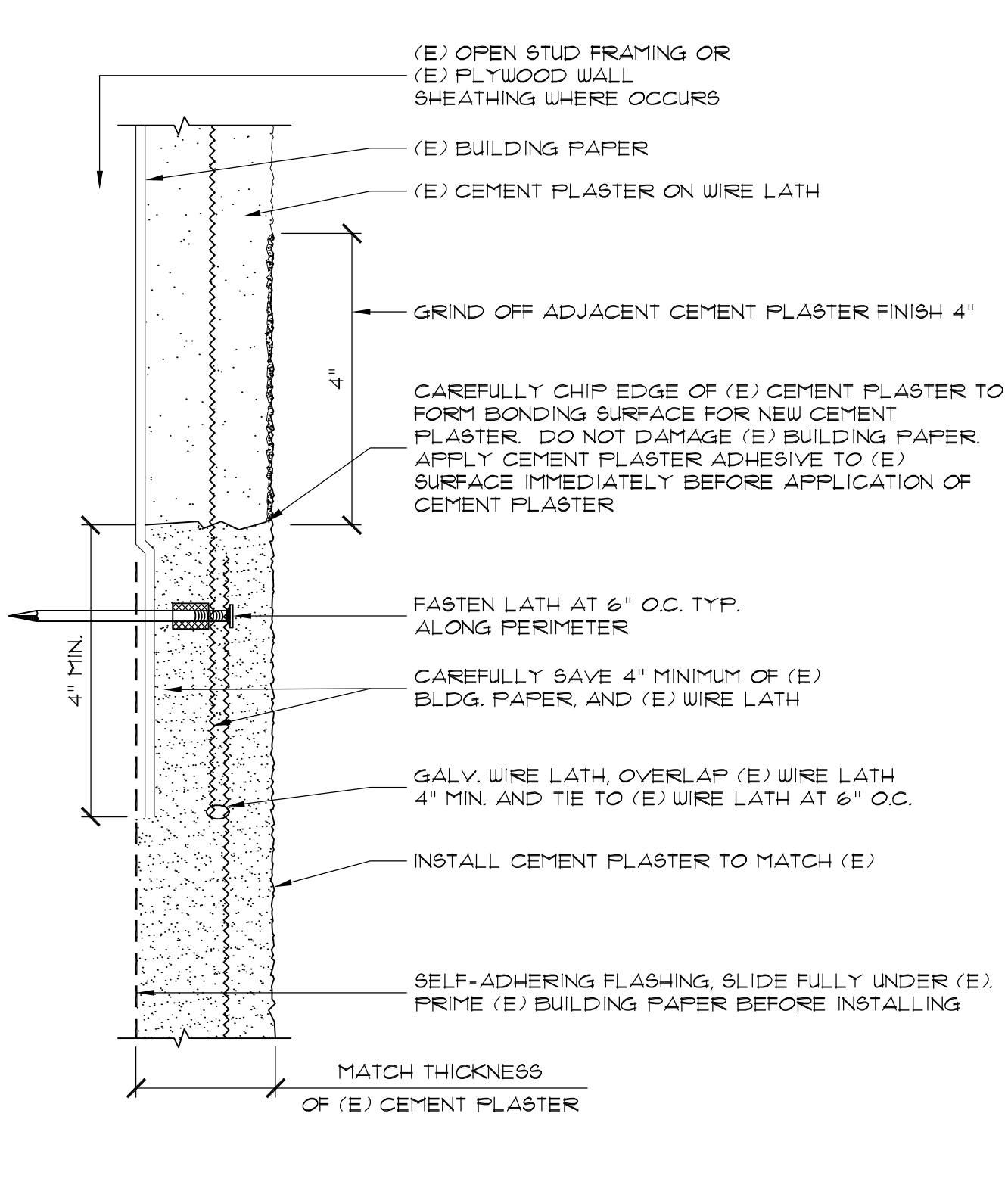


**TYPICAL BAND AID JOINT DETAIL**  
SCALE: N.T.S. FILE: **1**  
**A302**

**TYPICAL NOTES: ALL SEALANT JOINTS:**  
1. CLEAN ALL SURFACES TO RECEIVE SEALANTS AND USE SEALANT MANUFACTURER'S RECOMMENDED PRIMER.  
2. MASK ALL JOINTS WITH MASKING TAPE, TYPICAL. REMOVE IMMEDIATELY AFTER TOOLING SEALANT.  
3. DO NOT USE ANY ALCOHOL, WATER OR OTHER AGENTS FOR TOOLING SEALANTS.  
4. INSTALL BOND BREAKER TAPE OR CLOSED-CELL BACKER ROD WHERE SHOWN OR NOTED.



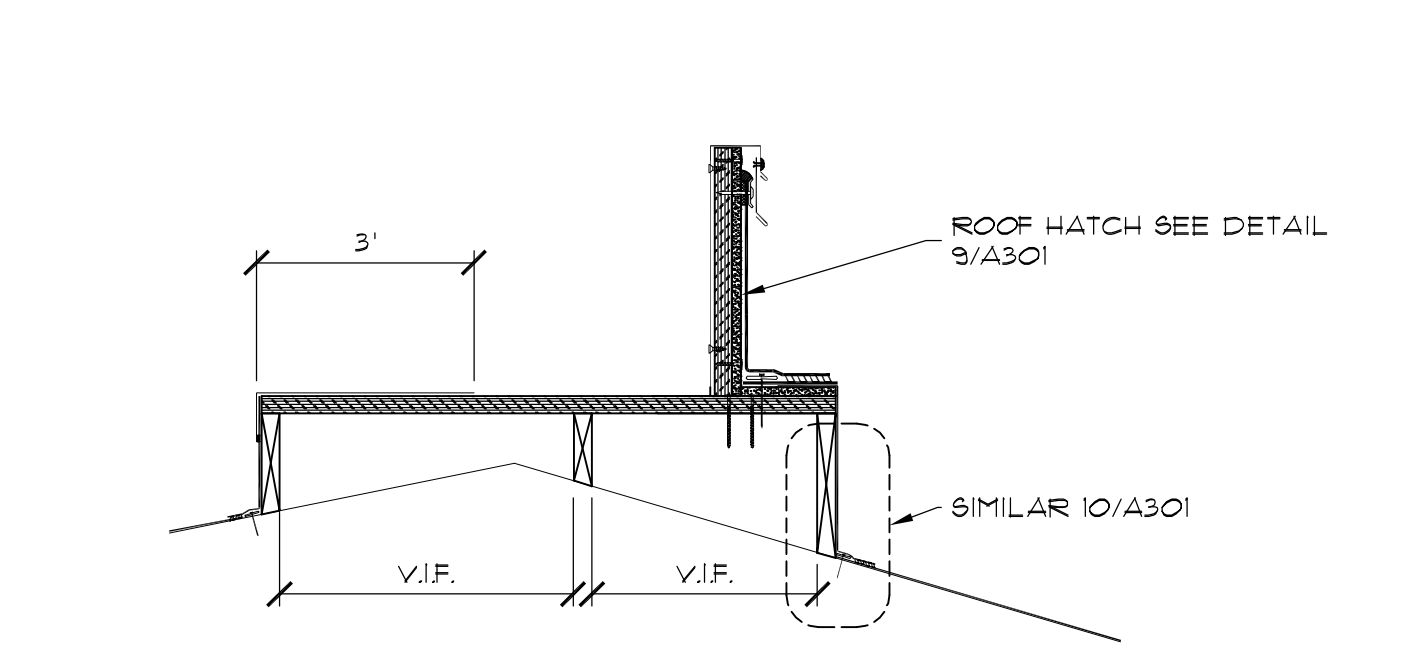
**TYPICAL THROUGH WALL PRIMARY SCUPPER AT ELEVATOR ROOF**  
SCALE: N.T.S. FILE: **11**  
**A302**



**CEMENT PLASTER TIE-IN TO (E) ABOVE**  
SCALE: N.T.S. FILE: **8**  
**A302**

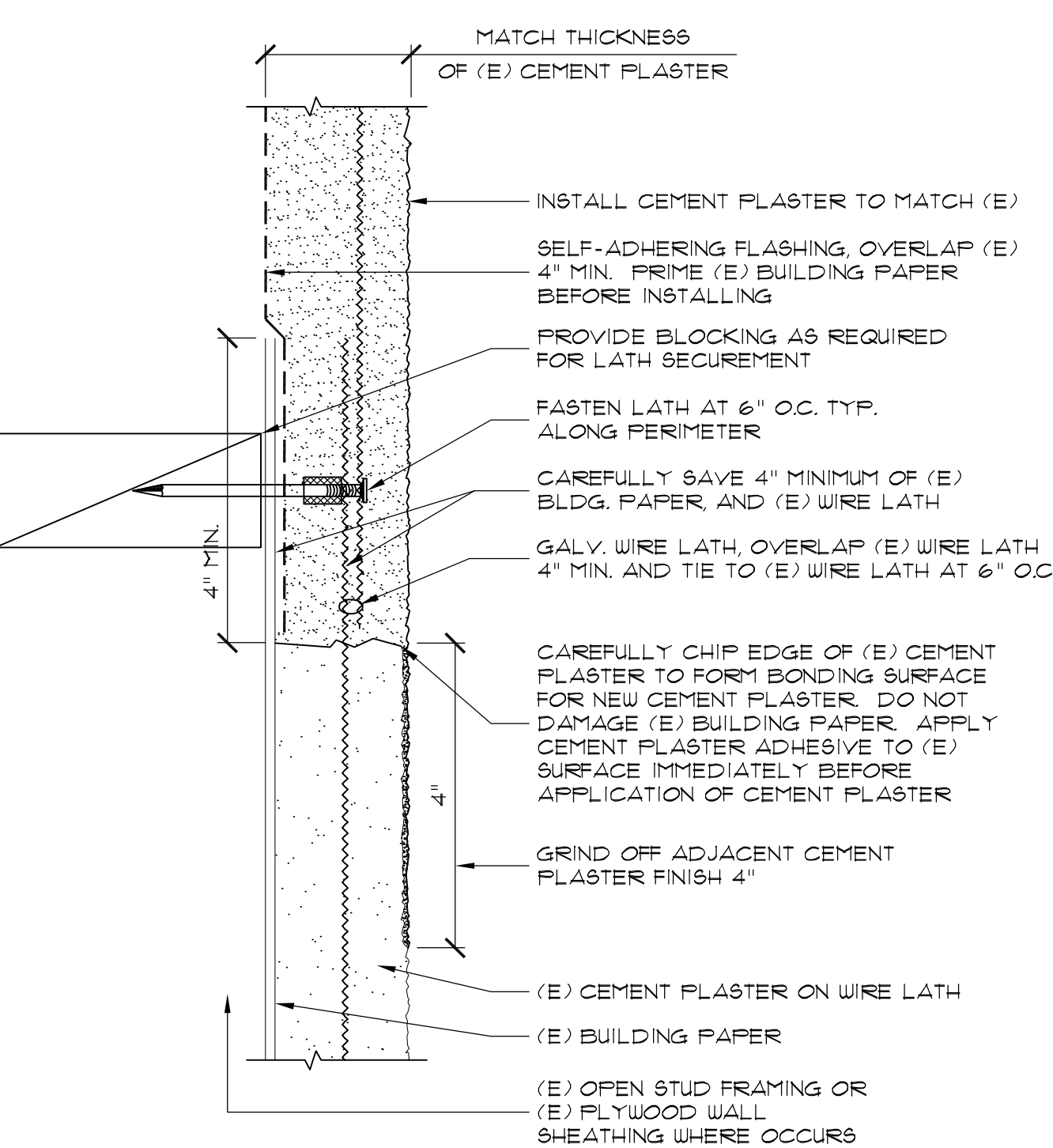


**NOT USED**  
SCALE: N.T.S. FILE: **5**  
**A302**

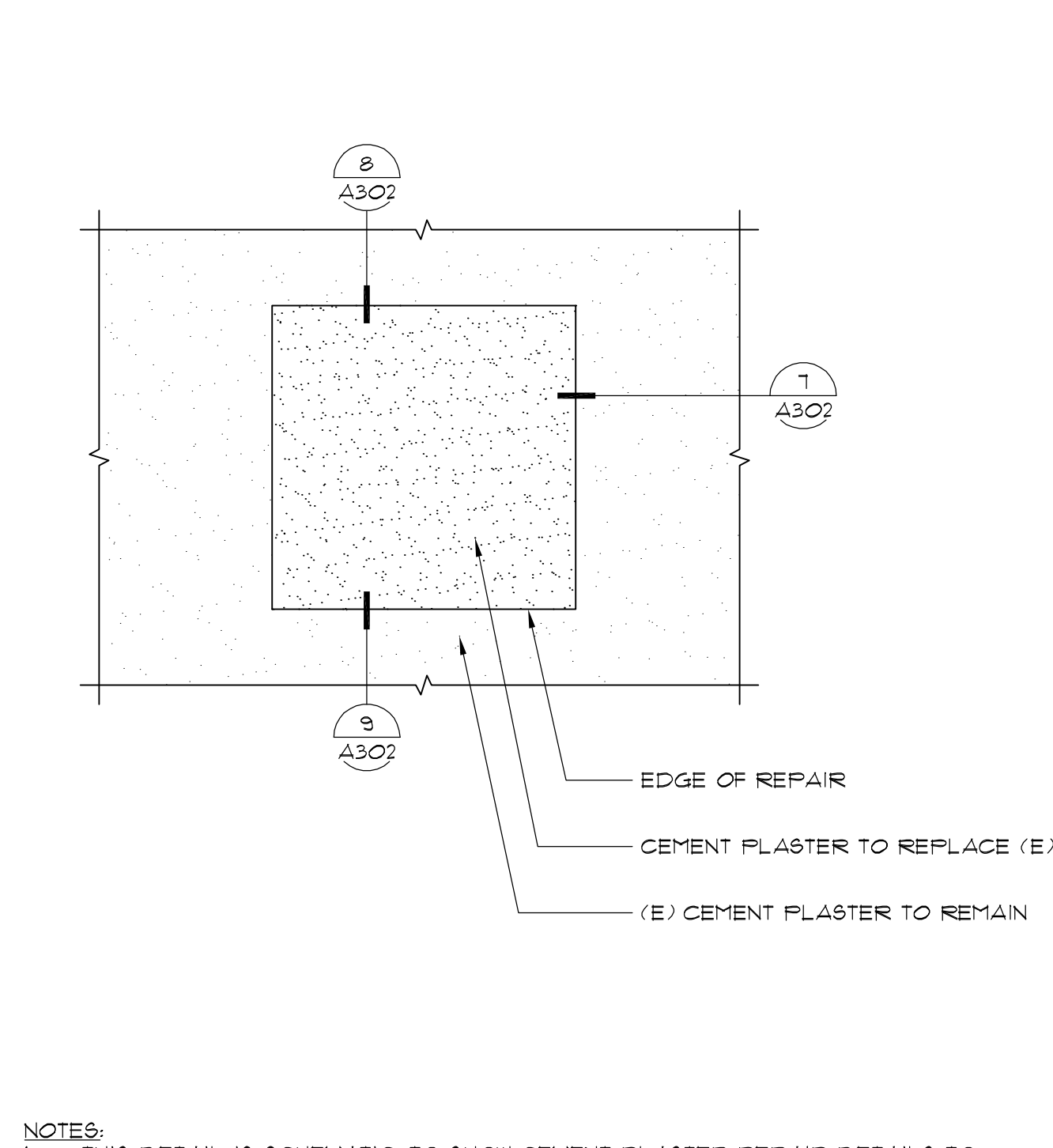


**PLATFORM FOR ROOF HATCH**  
SCALE: N.T.S. FILE: **2**  
**A302**

**NOTE:**  
1. SUBMIT SHOP DRAWINGS AS REQUIRED IN KEY NOTES #11 ON SHEETS A301 AND 202.  
2. WATERPROOFING NOT SHOWN FOR CLARITY PLEASE REFER TO DETAILS CALLED OUT.

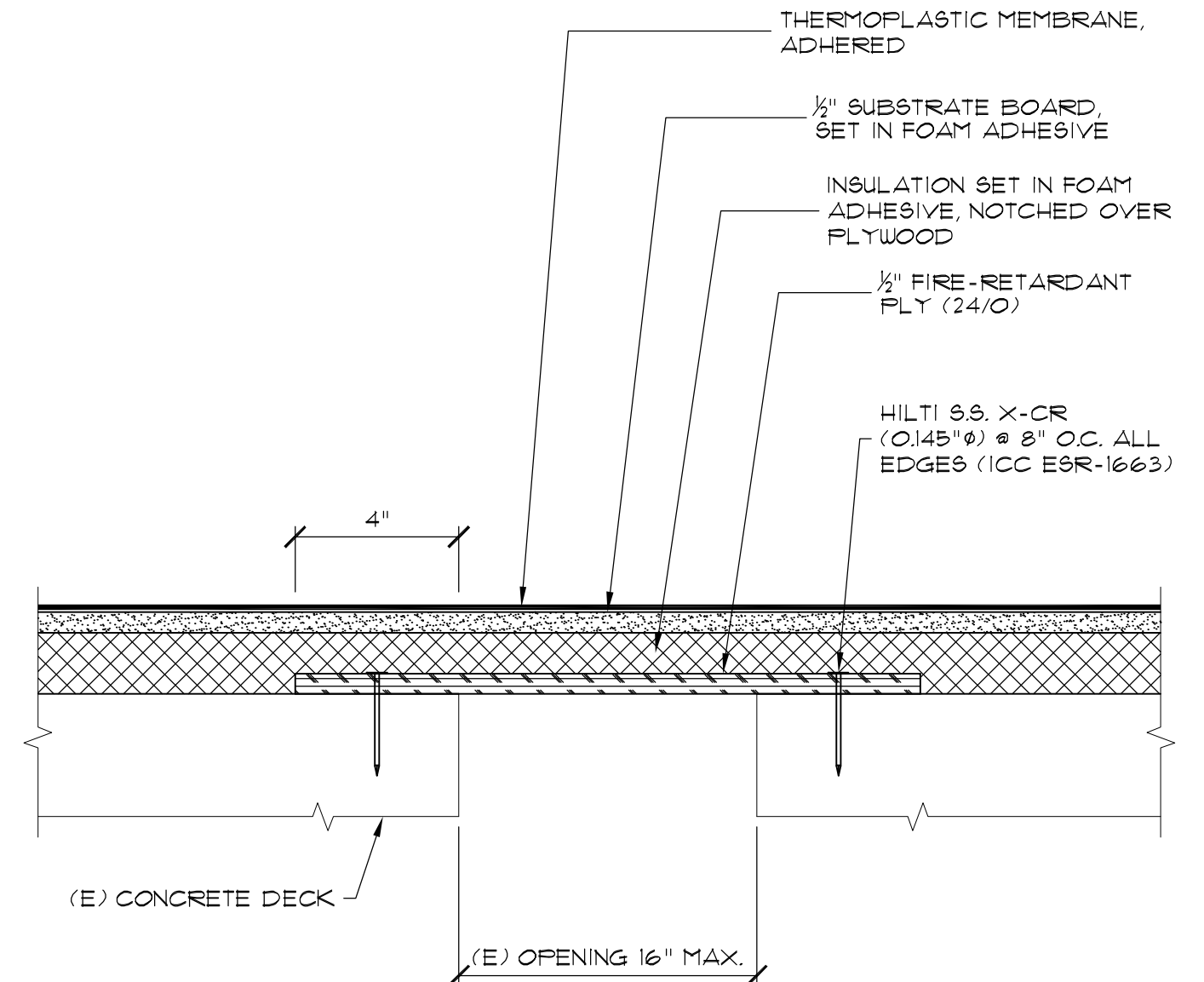


**CEMENT PLASTER TIE-IN TO (E) BELOW**  
SCALE: N.T.S. FILE: **9**  
**A302**



**SCHEMATIC CEMENT PLASTER REPAIR ELEVATION**  
SCALE: N.T.S. FILE: **6**  
**A302**

**NOTE:**  
1. THIS DETAIL IS SCHEMATIC TO SHOW CEMENT PLASTER REPAIR DETAILS TO BE USED AT SIMILAR CONDITIONS THROUGHOUT THE PROJECT.



**SMALL OPENING ON DECK**  
SCALE: N.T.S. FILE: **3**  
**A302**

College of San Mateo  
1700 W. Hillsdale  
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**College of San  
Mateo and Skyline  
College Roof  
Replacement  
Project**

FOR:  
**San Mateo County  
Community College**  
3401 CSM Drive  
San Mateo, CA 94402

Mark	Description	Date
	Bid Set	04/02/2015
DATE		10/21/11
PROJECT NO.		15-3791
CAD DWG FILE		3791_A301.dwg
DRAWN BY		AC
CHECKED BY		IRW/AL
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SHEET TITLE		
<b>ROOF DETAILS</b>		

Bid Set, 04/02/2015

SCALE: NOTED ON DRAWINGS

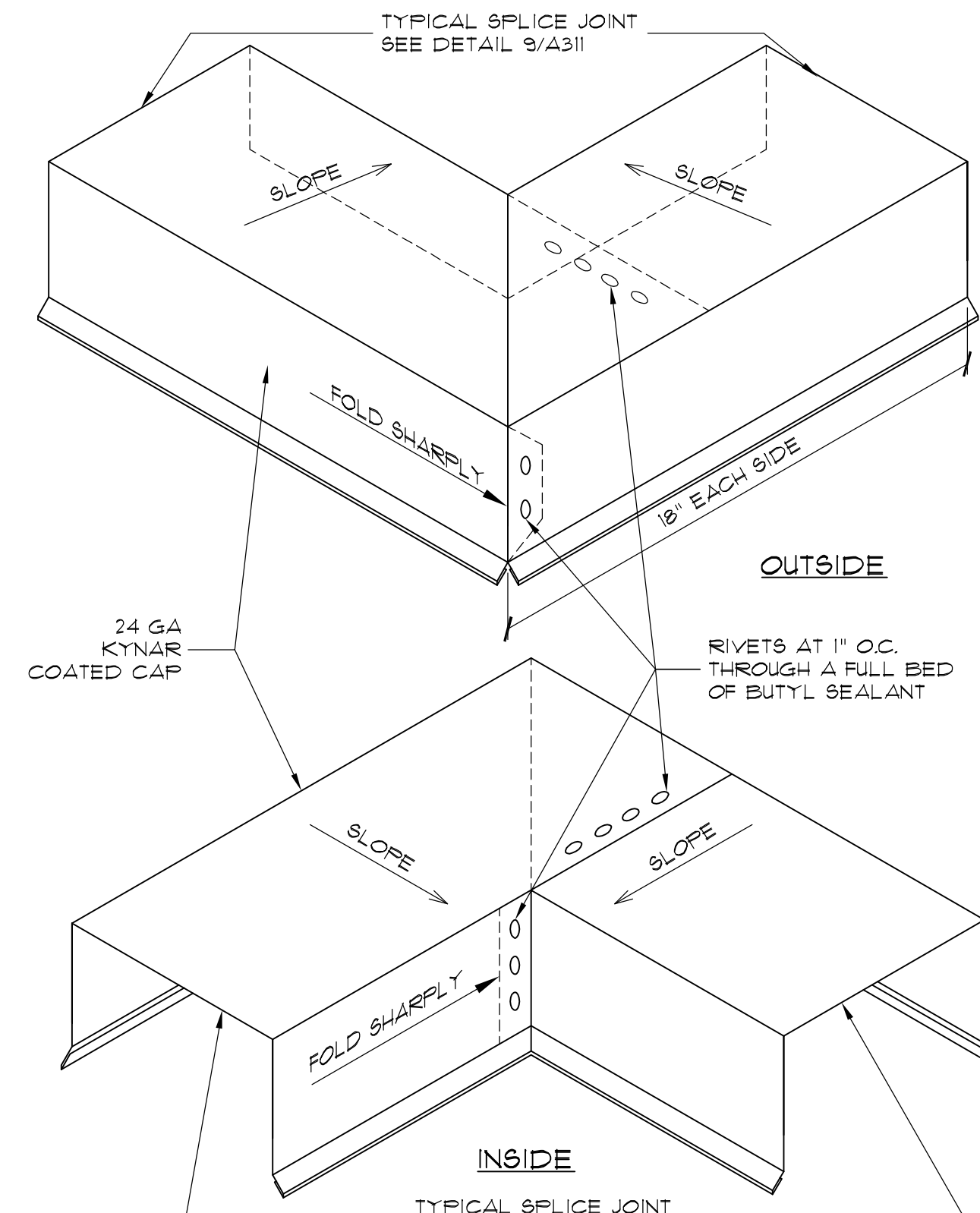
**A302**  
SHEET



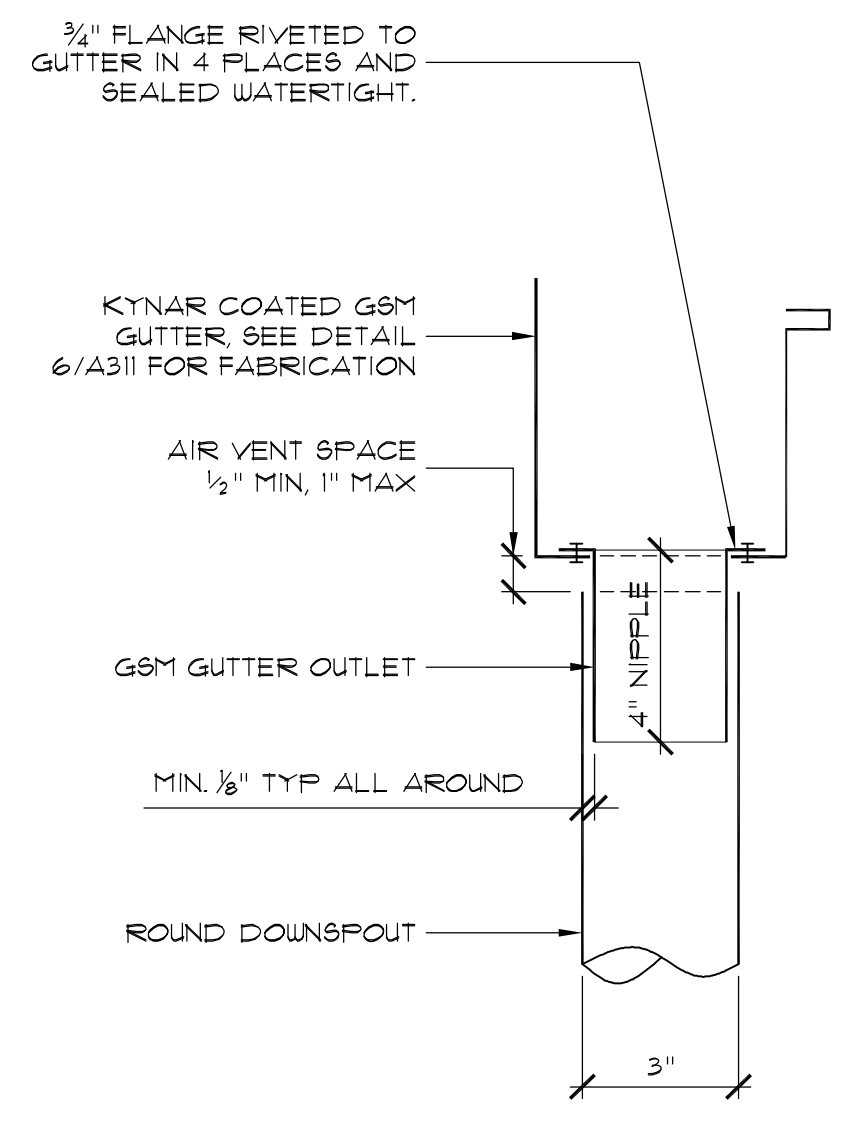


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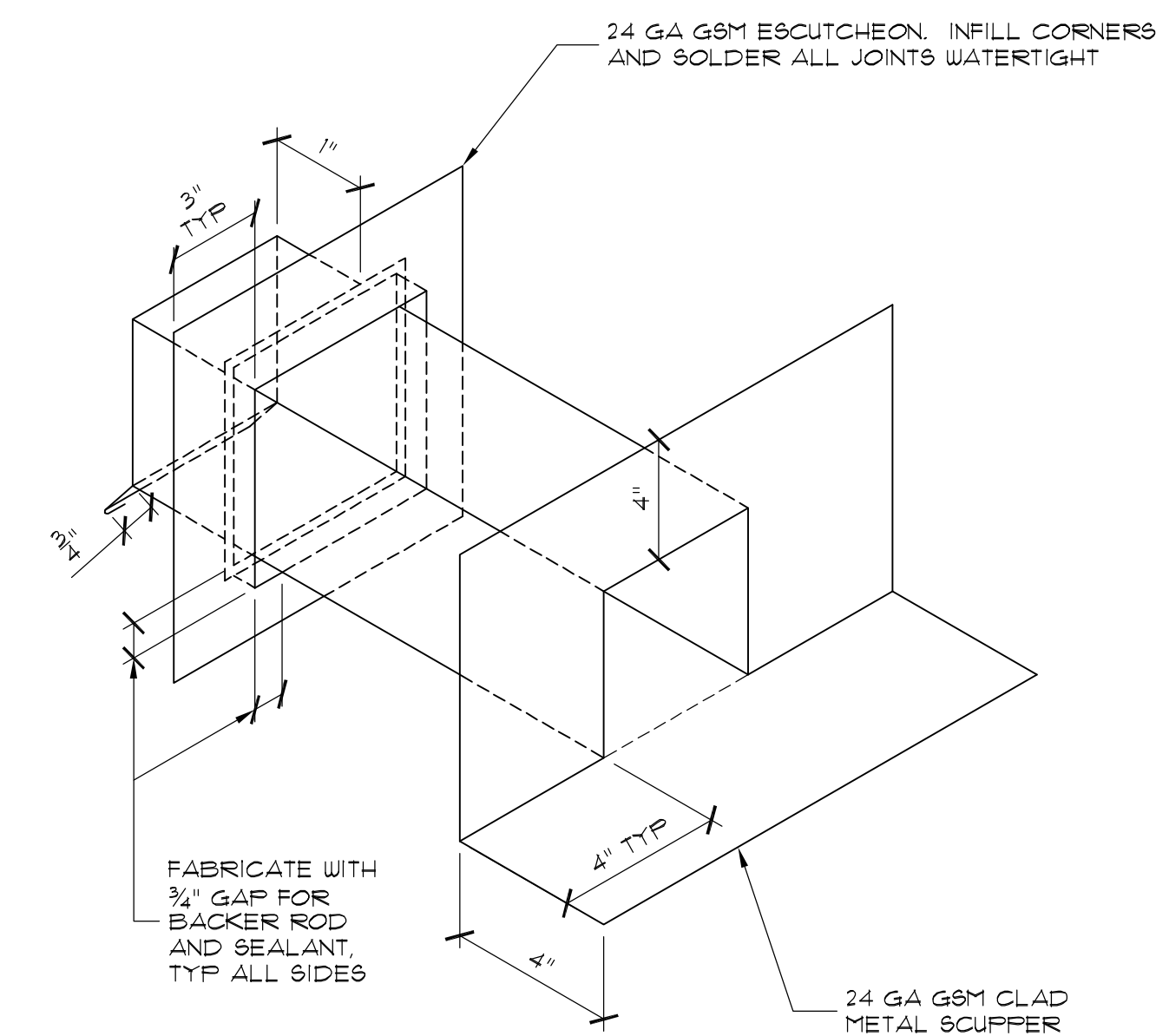
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CONSTRUCTION  
OR PERMITTING**



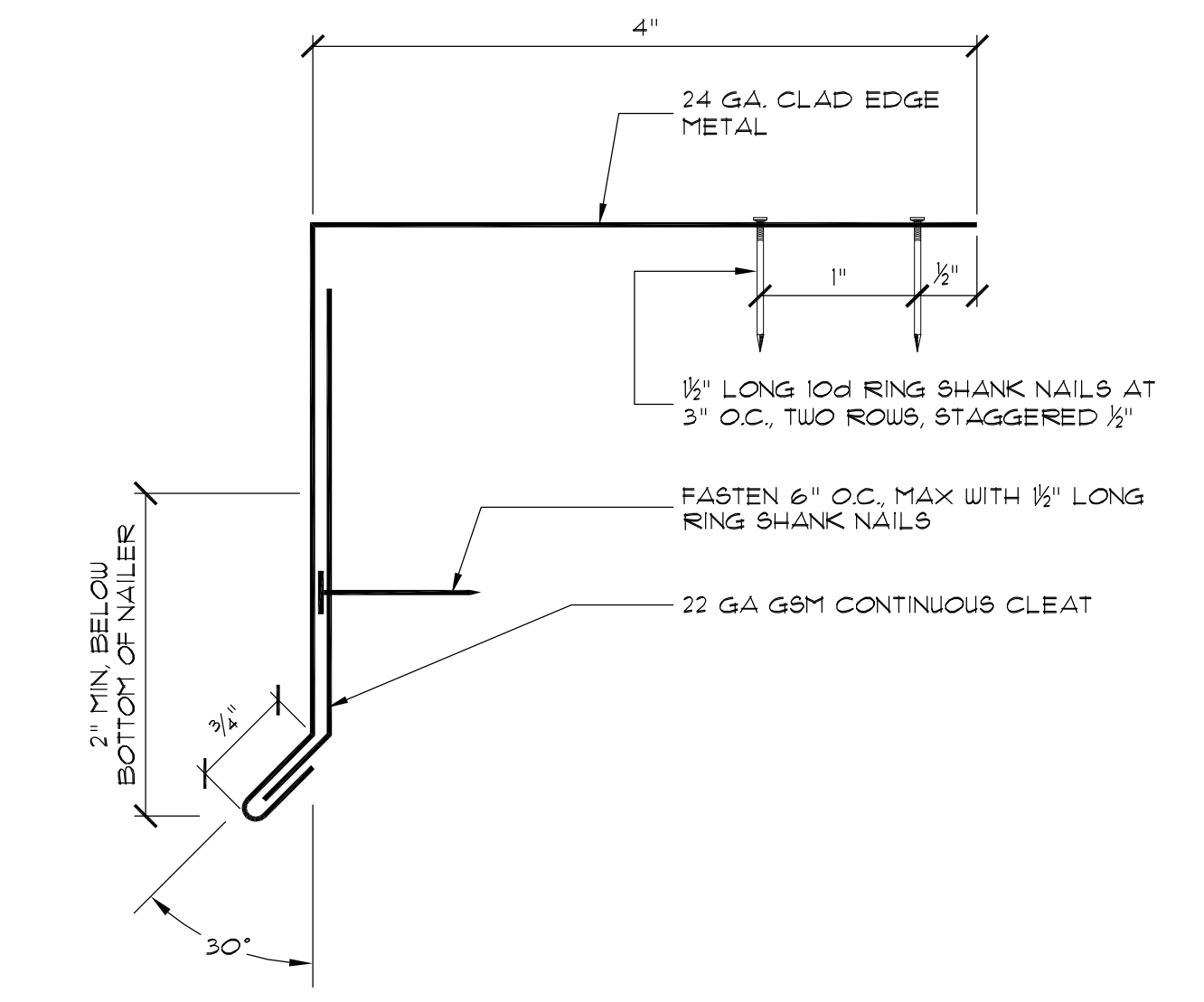
**TYPICAL INSIDE/OUTSIDE CORNERS**  
SCALE: N.T.S. FILE: A311



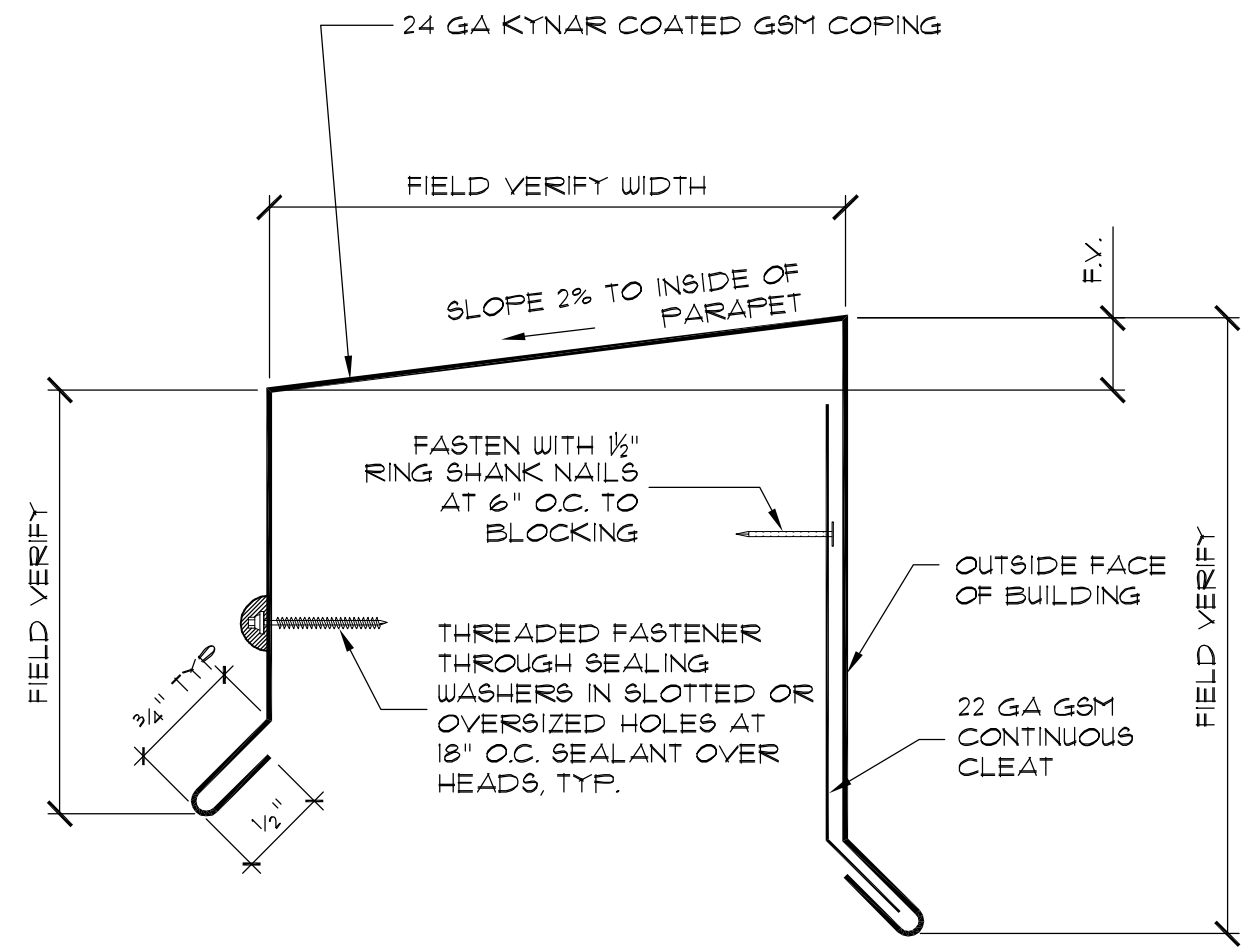
**GUTTER DOWNSPOUT SECTION**  
SCALE: 1-1/2\"/>



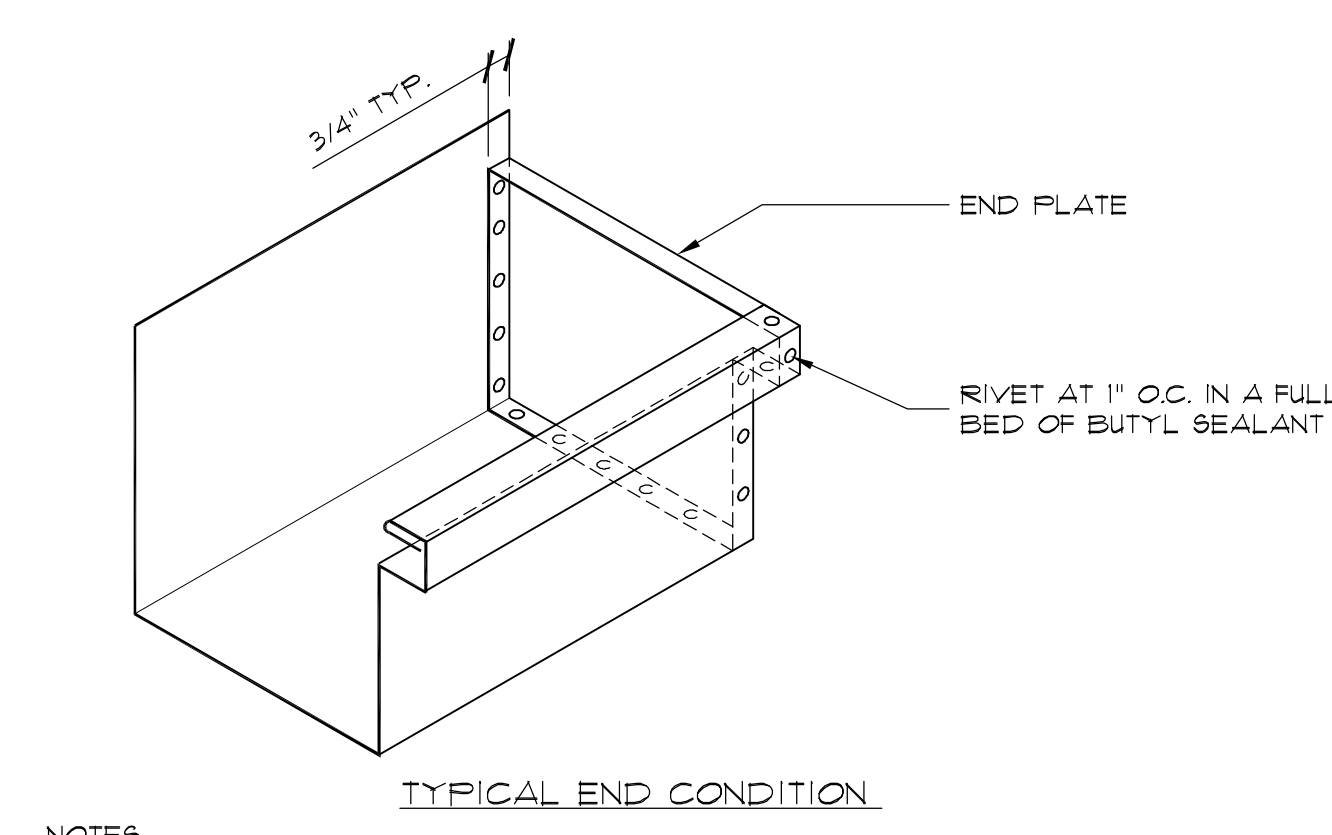
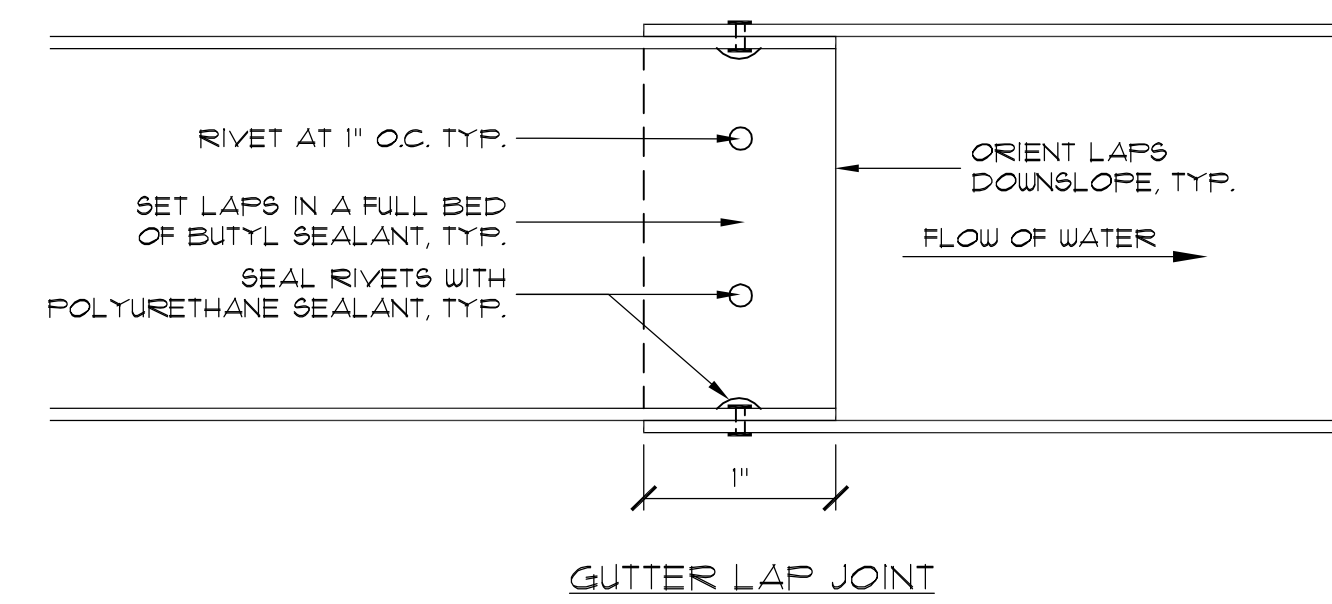
**TYPICAL CLAD METAL SCUPPER FABRICATION**  
SCALE: N.T.S. FILE: A311



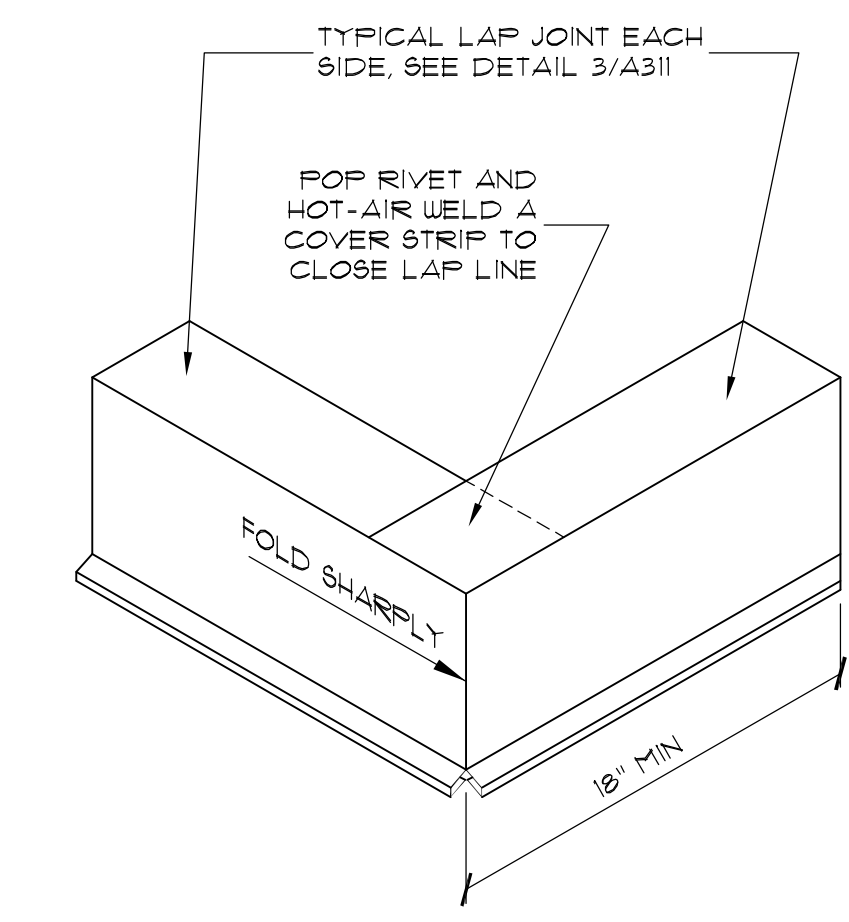
**EDGE METAL FABRICATION**  
SCALE: N.T.S. FILE: A311



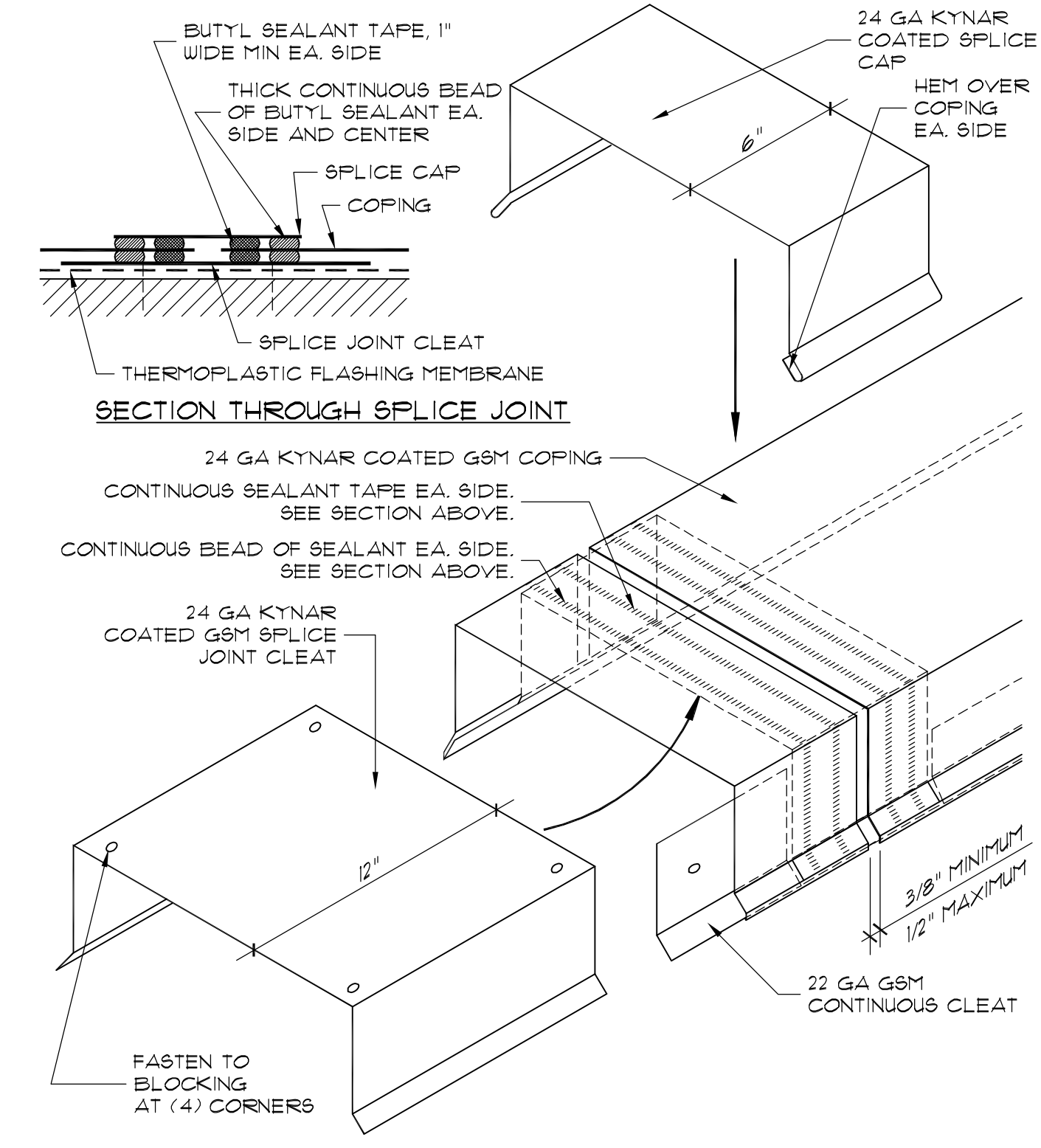
**TYPICAL COPING FABRICATION**  
SCALE: N.T.S. FILE: A311



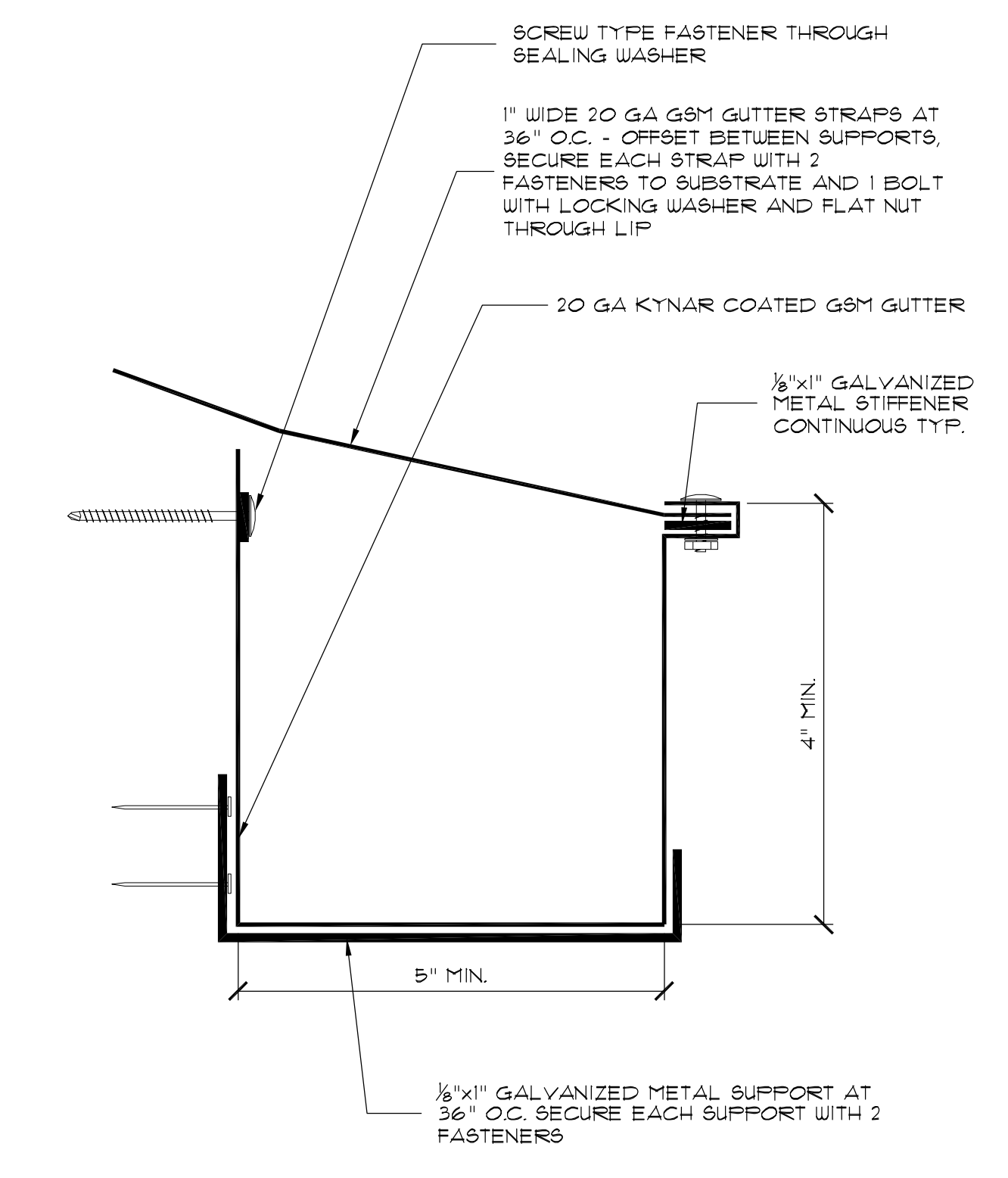
**TYPICAL GUTTER JOINT AND END CONDITION**  
SCALE: N.T.S. FILE: A311



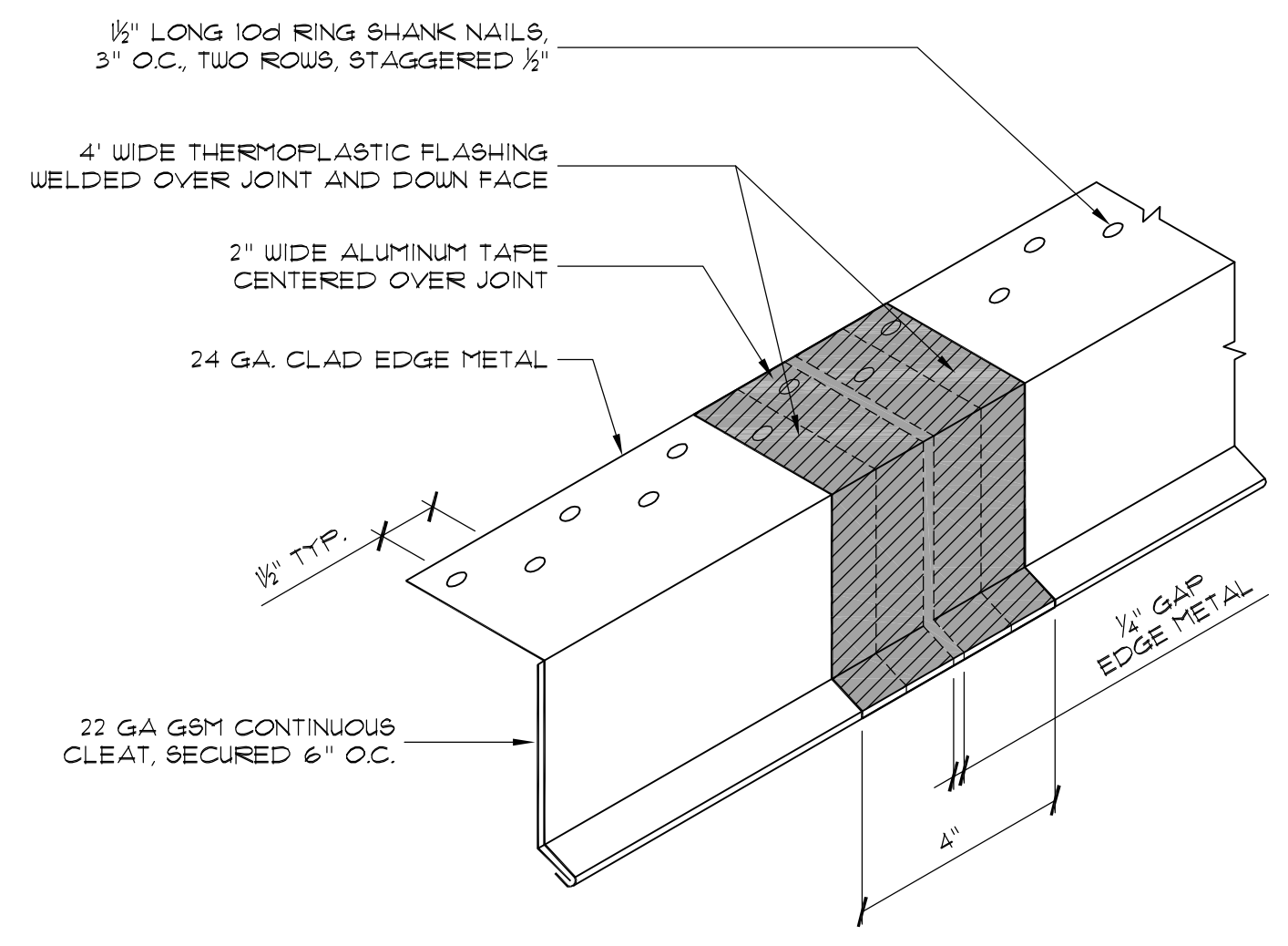
**OUTSIDE CORNER**  
SCALE: N.T.S. FILE: A311



**TYPICAL COPING SPLICE JOINT**  
SCALE: N.T.S. FILE: A311



**GUTTER FABRICATION**  
SCALE: 6\"/>



**TYPICAL LAP JOINT**  
SCALE: N.T.S. FILE: A311

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Replacement  
Project**

FOR:  
**San Mateo County  
Community College**  
3401 CSM Drive  
San Mateo, CA 94402

Mark	Description	Date
	Bid Set	04/02/2015
	DATE	10/21/11
	PROJECT NO.	15-3791
	CAD DWG FILE	2750_A301.dwg
	DRAWN BY	AC
	CHECKED BY	RWJAI
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	SHEET TITLE	
	<b>BUILDING 12 DETAILS</b>	

SCALE: NOTED ON DRAWINGS  
**A311**  
SHEET

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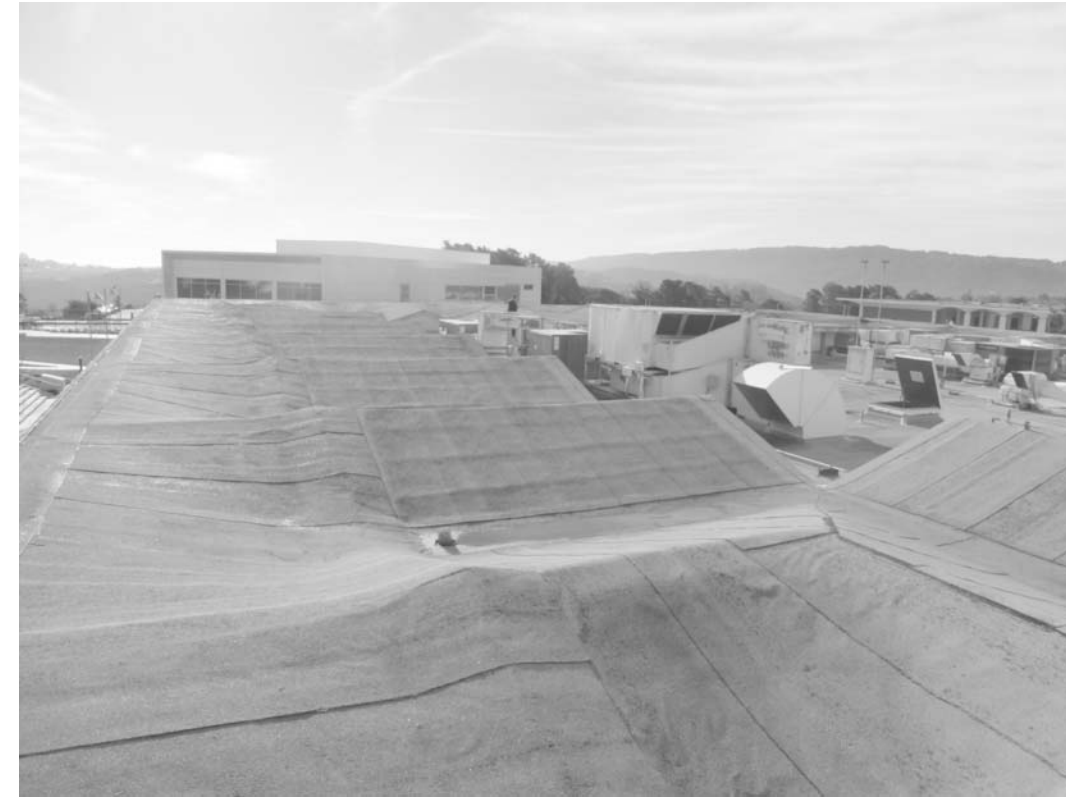


PHOTO  
SCALE: N.T.S. FILE:

1  
A401

PHOTO  
SCALE: N.T.S. FILE:

4  
A401

PHOTO  
SCALE: N.T.S. FILE:

1  
A401



PHOTO  
SCALE: N.T.S. FILE:

5  
A401

PHOTO  
SCALE: N.T.S. FILE:

2  
A401



PHOTO  
SCALE: N.T.S. FILE:

6  
A401

PHOTO  
SCALE: N.T.S. FILE:

3  
A401

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Project**

FOR:  
**San Mateo County  
Community College**  
3401 CSM Drive  
San Mateo, CA 94402

ISSUE		
Mark	Description	Date
	Bid Set	04/02/2015
DATE	10/21/11	
PROJECT NO.	15-3791	
CAD DWG FILE	3791_A401.dwg	
DRAWN BY	AC	
CHECKED BY	RW/AL	
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SHEET TITLE  
**PHOTOS**

SCALE: NOTED ON DRAWINGS

**A401**

SHEET

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**LEGEND**

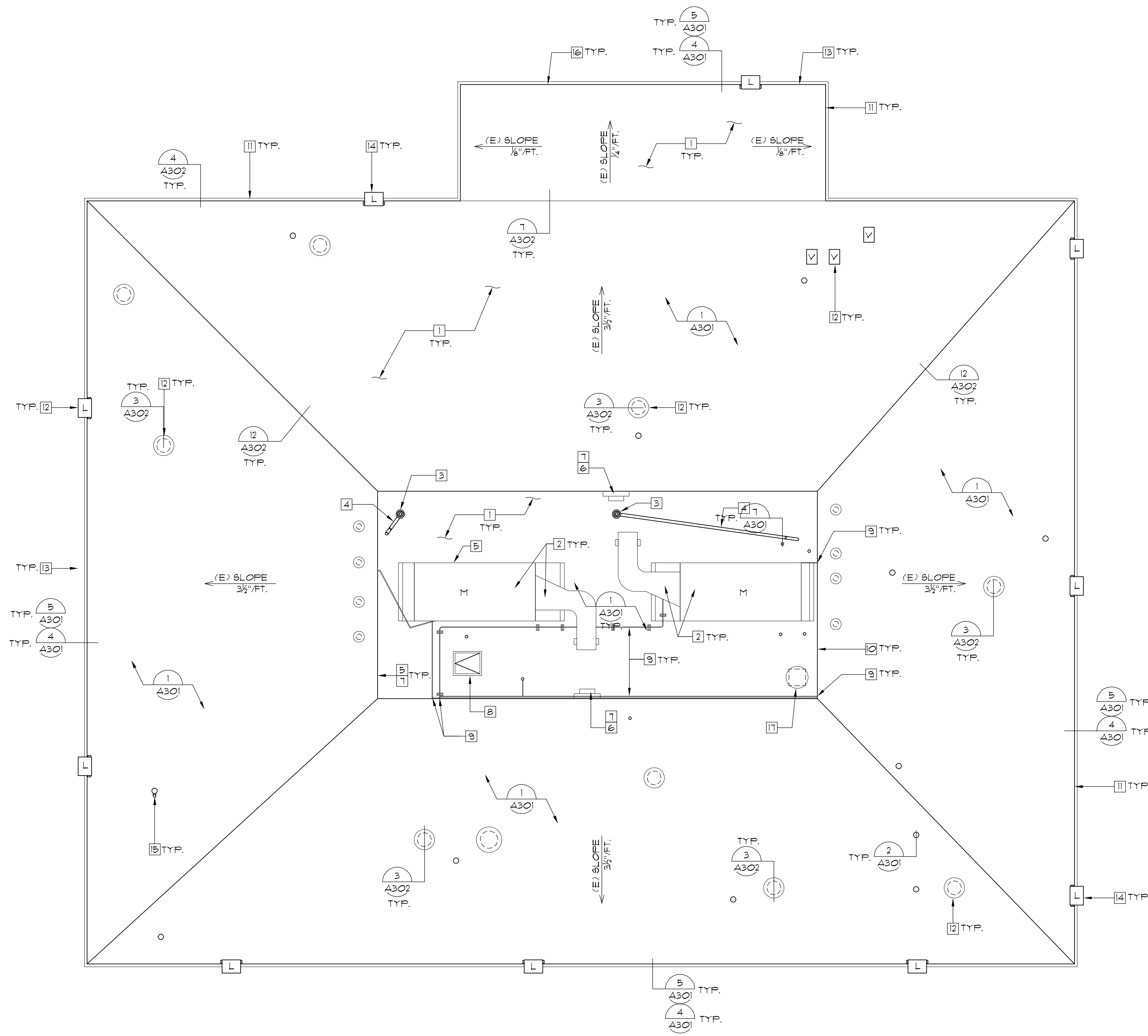
- (E) PLUMBING VENT STACK
- ◻ (E) GSM HOT VENT
- ⊙ (E) GSM VENT
- ⊙ RD (E) ROOF DRAIN
- ◻ (E) ROOF HATCH
- ⊞ (E) CURB
- ⊞ M (E) EQUIPMENT
- ← (E) SLOPE DIRECTION
- ◻ SHEET KEYED NOTE
- (E) CONDUIT LINE
- ⊞ L (E) LIGHT

**KEY NOTES**

- 1 DEMOLISH AND DISPOSE EXISTING ROOFING SYSTEM INCLUDING, BUT NOT NECESSARILY LIMITED TO: GRAVEL AGGREGATE, ROOFING MEMBRANES, BASE FLASHINGS, CANT STRIPS, INSULATION, SEALANTS, ETC. DOWN TO EXISTING PLYWOOD ROOF DECK. INSPECT EXISTING PLYWOOD DECK FOR DAMAGE. REPORT DAMAGE TO ENGINEER.
- 2 DEMOLISH AND DISPOSE EXISTING HVAC UNITS INCLUDING BUT NOT NECESSARILY LIMITED TO: MECHANICAL UNIT, DUCT ASSEMBLIES, DUCT SUPPORTS, ELECTRICAL CONDUITS, ABANDONED GAS LINES, SEISMIC TIE-DOWNS, ETC. DOWN TO EXISTING CURBED OPENING. PROVIDE TEMPORARY PROTECTION OF OPENING UNTIL FINAL CONSTRUCTION IS IN PLACE. COORDINATE CRANE PICKS DURING OFF-HOURS.
- 3 DEMOLISH AND DISPOSE EXISTING CAST-IRON STRAINER DOME CLAMPING RING AND DRAIN BOLTS. INSPECT EXISTING DRAIN BOWLS FOR DAMAGE. REPORT DAMAGE TO ENGINEER.
- 4 DEMOLISH AND DISPOSE OF EXISTING PLASTIC CONDENSATE DRAIN LINES AND ROOF LEVEL PENETRATION. REWORK EXISTING PRIMARY ROOF DRAIN LEADER LINE TO ACCEPT REROUTED CONDENSATE DRAIN LINES BELOW DECK.
- 5 DEMOLISH AND DISPOSE OF EXISTING BASE FLASHING ASSEMBLIES. INSPECT VERTICAL SUBSTRATE FOR DAMAGE. REPORT ALL DAMAGE TO ENGINEER.
- 6 DEMOLISH AND DISPOSE EXISTING FRESH AIR INTAKE LOUVER ASSEMBLY.
- 7 DEMOLISH AND DISPOSE PORTION OF EXISTING CEMENT PLASTER SYSTEM AS REQUIRED TO INSTALL BASE FLASHINGS, TWO-PIECE COUNTERFLASHING ASSEMBLIES AND FRESH AIR INTAKE LOUVER ASSEMBLY.
- 8 DEMOLISH AND DISPOSE EXISTING ROOF HATCH.
- 9 DEMOLISH AND DISPOSE EXISTING ELECTRICAL CONDUITS, ELECTRICAL DUPLEX BOXES, ASSOCIATED SUPPORT BLOCKS, CONDUIT RISERS, ETC. DOWN BELOW ROOF DECK LEVEL OR BEHIND CEMENT PLASTER SYSTEM. PROVIDE TEMPORARY PROTECTION PATCHES AT CEMENT PLASTER SYSTEM. PATCH/INFILL PLYWOOD SUBSTRATE WHERE REMOVAL OCCURS.
- 10 DEMOLISH AND DISPOSE EXISTING COPING METAL ASSEMBLY.
- 11 DEMOLISH AND DISPOSE EXISTING EAVENOSING METAL ASSEMBLY.
- 12 DEMOLISH AND DISPOSE EXISTING PLUMBING PIPE FLASHINGS AND GSM VENT FLASHING MATERIALS.
- 13 DEMOLISH AND DISPOSE EXISTING GUTTERS. PROVIDE TEMPORARY SUPPORTS AS REQUIRED TO AVOID DAMAGE TO SUPPORTED ELECTRICAL CONDUITS FOR SECURITY/FLOOD LIGHTS.
- 14 TEMPORARILY DISCONNECT SECURITY, FLOOD LIGHTS AND SAFETY STORE FOR REINSTALLATION. COORDINATE WITH CAMPUS SECURITY AND FACILITIES MANAGEMENT BEFORE DISCONNECTION.
- 15 PROVIDE SPECIAL PROVISIONS TO DEMOLISH AND DISPOSE EXISTING PLUMBING PIPE FLASHING IN THIS LOCATION. EXISTING ANTENNA ASSEMBLY MUST REMAIN OPERATIONAL FOR DURATION OF PROJECT.
- 16 PROVIDE PROTECTION CANOPY OVER MAIN ENTRANCE AREA EXTENDING EIGHT FEET OUT FROM BUILDING.
- 17 DEMOLISH AND DISPOSE EXISTING EXHAUST FAN UNIT INCLUDING CURB. PATCH/INFILL PLYWOOD SUBSTRATE.

**GENERAL SHEET NOTES**

- A. BUILDING MATERIALS TO BE STORED IN APPROVED AREAS ONLY. REQUIRED TO COMPLETE THE WORK.
- B. CONTRACTORS, SETUP AND STORAGE AREAS SHALL BE IN LOCATIONS APPROVED BY OWNER.
- C. ROOF ACCESS SHALL BE FROM EXTERIOR ONLY. SUBMIT PLAN FOR APPROVAL BY OWNER.
- D. BUILDING AND SITE TO REMAIN IN-USE. DO NOT BLOCK ACCESS TO SITE OR BUILDING AT ANY TIME.
- E. CONTRACTOR TO ABIDE BY SITE PROTECTION AND SITE CLEANING REQUIREMENTS OUTLINED IN DIVISION 1 OF THE SPECIFICATIONS. CONSTRUCTION AND DEMOLITION DEBRIS TO BE CONFINED WITHIN DESIGNATED DISPOSAL AREAS.
- F. LANDSCAPING AND / OR SITE WORK DAMAGED BY DEMOLITION / CONSTRUCTION OPERATIONS, CONTRACTOR EMPLOYEES, SUB-CONSULTANTS OR CONTRACTORS SUPPLIERS SHALL BE REPLACED BY CONTRACTOR AT NO COST TO OWNER OR OWNER'S REPRESENTATIVES.
- G. ANY DAMAGE TO THE BUILDING EXTERIOR FINISHES, WINDOWS, DOORS, SIGNS OR APPURTANCES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- H. ANY DAMAGE TO (E) PAVED ROADS, WALKWAYS, OR SIDEWALKS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- J. WORK TO BE COMPLETED DURING SHUT DOWNS.
- K. DOOR ENTRANCE CANOPIES ARE REQUIRED BY CONTRACT. CONTRACTOR AT HIS OPTION MAY USE ADDITIONAL CANOPIES AS
- L. DOOR ENTRANCE CANOPIES SHALL BE FULL WIDTH OF OPENING. FULLY PROTECTED ENTRANCE AND EXIT PATH FOR OCCUPANTS.
- M. NO DEBRIS SHALL BE STOCK PILED ON ROOF SURFACE. IMMEDIATELY REMOVE TO TRASH / RECYCLE BIN.
- N. CONTRACTOR TO FIELD VERIFY DIMENSIONS PRIOR TO BIDDING.
- Q. SAFETY IS SOLE RESPONSIBILITY OF THE CONTRACTOR.



ROOF PLAN DEMO - BUILDING 14

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

Skyline College  
3300 College Drive,  
San Bruno, CA 94066

**College of San Mateo  
and Skyline College  
Roof Replacement  
Project**

FOR:  
San Mateo County  
Community College  
3401 CSM Drive  
San Mateo, CA 94402

Mark	Description	Date
	BID SET	04/02/15
	DATE	03/13/2015
	PROJECT NO.	15-3792
	CAD DWG FILE	XXXX_A2.0D.dwg
	DRAWN BY	AC
	CHECKED BY	RW/IAI
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**ROOF PLAN DEMO -  
BUILDING 14**

SCALE: NOTED ON DRAWINGS

**A201D**

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BID SET: 04/02/2015

**LEGEND**

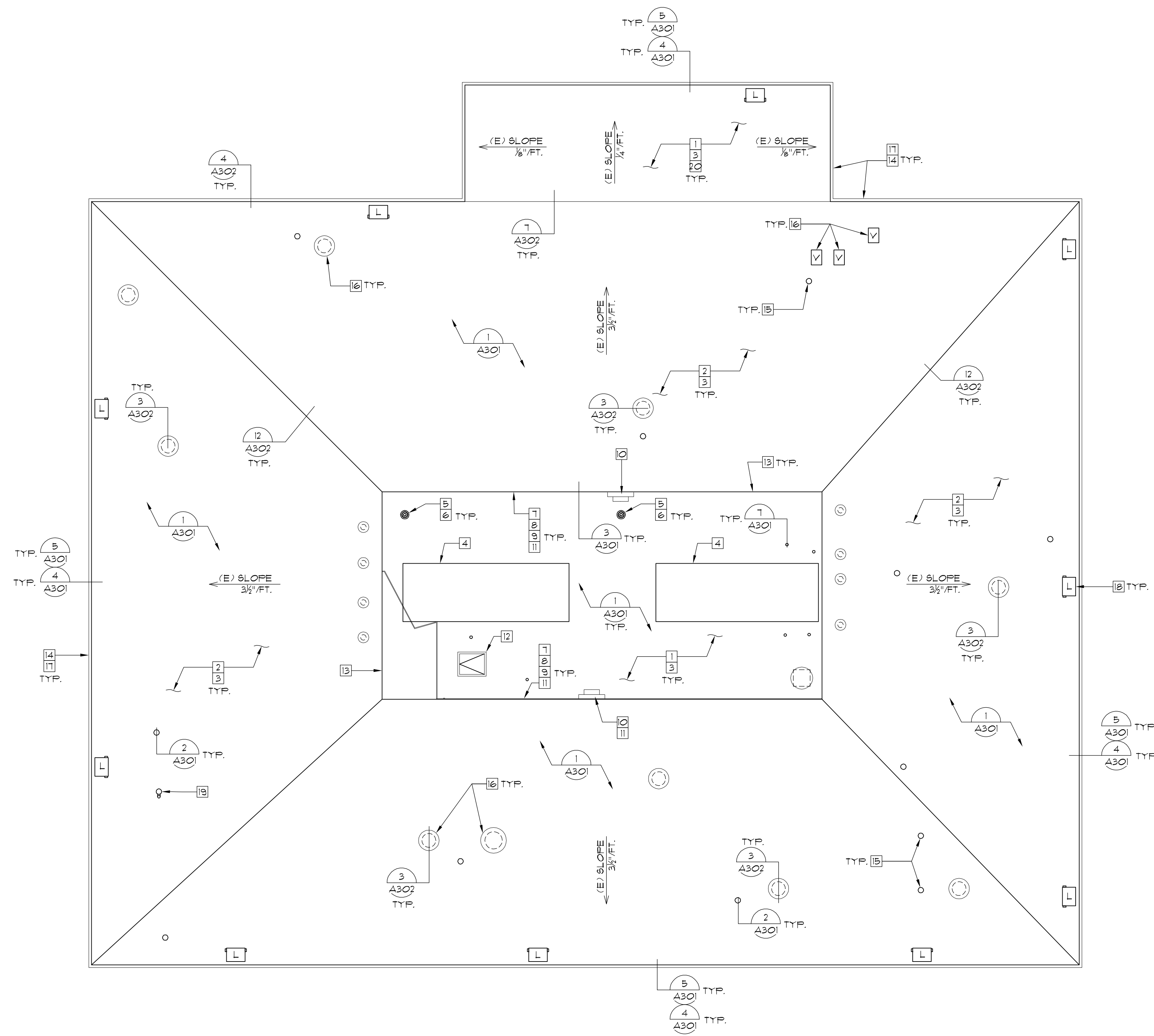
- (E) PLUMBING VENT STACK
- ∇ (E) G9M HOT VENT
- ⊙ (E) G9M VENT
- ⊙ RD (E) ROOF DRAIN
- ∇ (E) ROOF HATCH
- ⊞ (E) CURB
- ⊞ M (E) EQUIPMENT
- ← (E) SLOPE DIRECTION
- SHEET KEYED NOTE
- ⊞ (E) CONDUIT LINE
- L (E) LIGHT

**KEY NOTES**

- 1 PROVIDE BUILT-UP ROOF SYSTEM INCLUDING BUT NOT LIMITED TO: CAP SHEET, PLY SHEETS, COVERBOARD, INSULATION, BASE FLASHINGS, EMBEDDED METAL FLASHINGS, SEALANTS, AND ACCESSORIES.
- 2 PROVIDE ASPHALT SHINGLE ROOF SYSTEM INCLUDING BUT NOT LIMITED TO: SHINGLES, UNDERLAYMENT LAYERS, NAILABLE INSULATION, METAL FLASHINGS, SEALANTS, AND ACCESSORIES.
- 3 CONTRACTOR TO PROVIDE 800 SQUARE FEET OF PLYWOOD REPLACEMENT IN BASE BID. CONTRACTOR TO ALSO PROVIDE AN ADDITIVE DEDUCTIVE UNIT PRICE ITEM, PER SQUARE FOOT OF ADDITIONAL PLYWOOD REPLACEMENT.
- 4 PROVIDE CROSS FRAMING, PLYWOOD COVERING, HIGH-TEMPERATURE SELF-ADHERING UNDERLAYMENT AND SHEET METAL CAP AT ABANDONED HVAC CURBS. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
- 5 PROVIDE CAST-IRON STRAINER DOME, CLAMPING RING AND STAINLESS STEEL DRAIN BOLTS.
- 6 PROVIDE MID LINE Y-TYPE CONNECTION AT PRIMARY DRAIN LEADER LINE WITH NO-HUB CONNECTIONS. REROUTE CONDENSATE DRAIN LINES BELOW DECK TO Y-TYPE CONNECTION AND MAKE TRANSITIONS. SECURE PLASTIC CONDENSATE LINES WITH APPROPRIATE CLIPS THAT DO NOT RESTRICT WATERFLOW.
- 7 PROVIDE CONTINUOUS PLYWOOD SHEATHING AT VERTICAL BASE FLASHING LEVEL, TWELVE INCH HEIGHT.
- 8 PROVIDE BUILT-UP BASE FLASHING ASSEMBLY.
- 9 PROVIDE TWO-PIECE COUNTERFLASHING ASSEMBLY.
- 10 PROVIDE RE-SIZED FRESH AIR INTAKE LOUVER ASSEMBLY AND ASSOCIATED DUCT CONNECTIONS.
- 11 PROVIDE CEMENT PLASTER SYSTEM REPAIRS TO TIE INTO EXISTING SYSTEM. PROVIDE PATCHES TO EXISTING CEMENT PLASTER SYSTEM AT ALL HOLES/DAMAGE FROM ABANDONED CONDUIT PENETRATIONS.
- 12 PROVIDE ROOF HATCH LADDER EXTENSION AND FALL PROTECTION CAGE. PROVIDE NECESSARY WOOD NAILERS, LEVELED, AND OF APPROPRIATE HEIGHT TO LIFT HATCH FLANGE TO LEVEL OF INSULATION.
- 13 PROVIDE KYNAR COATED G9M COPING METAL ASSEMBLY INCLUDING BUT NOT LIMITED TO: GUTTER SUPPORT BRACKETS, STRAPS, DROP OUTLETS, FASTENERS, ETC.
- 14 PROVIDE KYNAR COATED G9M EAVENOSING METAL ASSEMBLY.
- 15 PROVIDE LEAD FLASHINGS AND PROPER STRIPPING FLIES AT PLUMBING PIPES.
- 16 PROVIDE G9M VENTS AND PROPER STRIPPING FLIES AT VENT LOCATIONS.
- 17 PROVIDE KYNAR COATED G9M GUTTER SYSTEM INCLUDING BUT NOT LIMITED TO: GUTTER SUPPORT BRACKETS, STRAPS, DROP OUTLETS, DOWNSPOUTS, DOWNSPOUTS STRAPS, ETC.
- 18 PROVIDE ROUND POSTS WITH BASE PLATES SECURED TO PLYWOOD SUBSTRATE. RELOCATE SECURITY FLOOD LIGHTS ONTO POSTS. RESECURE ELECTRICAL CONDUITS FOR SECURITY FLOOD LIGHTS TO GUTTER STRAPS. PROVIDE CABLE/CONDUIT EXTENSIONS AS REQUIRED.
- 19 PROVIDE SPECIAL PROVISIONS TO INSTALL FLASHING AT EXISTING PLUMBING PIPE IN THIS LOCATION. EXISTING ANTENNA ASSEMBLY MUST REMAIN OPERATIONAL FOR DURATION OF PROJECT.
- 20 PROVIDE 3/4" COVER BOARD IN THIS ROOF AREA IN LIEU OF 1" ELSEWHERE.

**GENERAL SHEET NOTES**

- A. BUILDING MATERIALS TO BE STORED IN APPROVED AREAS ONLY. REQUIRED TO COMPLETE THE WORK.
- B. CONTRACTORS, SETUP AND STORAGE AREAS SHALL BE IN LOCATIONS APPROVED BY OWNER.
- C. ROOF ACCESS SHALL BE FROM EXTERIOR ONLY. SUBMIT PLAN FOR APPROVAL BY OWNER.
- D. BUILDING AND SITE TO REMAIN IN-USE. DO NOT BLOCK ACCESS TO SITE OR BUILDING AT ANY TIME.
- E. CONTRACTOR TO ABIDE BY SITE PROTECTION AND SITE CLEANING REQUIREMENTS OUTLINED IN DIVISION 1 OF THE SPECIFICATIONS. CONSTRUCTION AND DEMOLITION DEBRIS TO BE CONFINED WITHIN DESIGNATED DISPOSAL AREAS.
- F. LANDSCAPING AND / OR SITE WORK DAMAGED BY DEMOLITION / CONSTRUCTION OPERATIONS, CONTRACTOR EMPLOYEES, SUB-CONSULTANTS OR CONTRACTORS SUPPLIERS SHALL BE REPLACED BY CONTRACTOR AT NO COST TO OWNER OR OWNER'S REPRESENTATIVES.
- G. ANY DAMAGE TO THE BUILDING EXTERIOR FINISHES, WINDOWS, DOORS, SIGNS OR APPURTANCES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- H. ANY DAMAGE TO (E) PAVED ROADS, WALKWAYS, OR SIDEWALKS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- J. WORK TO BE COMPLETED DURING SHUT DOWNS.
- K. DOOR ENTRANCE CANOPIES ARE REQUIRED BY CONTRACT. CONTRACTOR AT HIS OPTION MAY USE ADDITIONAL CANOPIES AS
- L. DOOR ENTRANCE CANOPIES SHALL BE FULL WIDTH OF OPENING, FULLY PROTECTED ENTRANCE AND EXIT PATH FOR OCCUPANTS.
- M. NO DEBRIS SHALL BE STOCK PILED ON ROOF SURFACE. IMMEDIATELY REMOVE TO TRASH / RECYCLE BIN.
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ROOF PLAN - BUILDING 14

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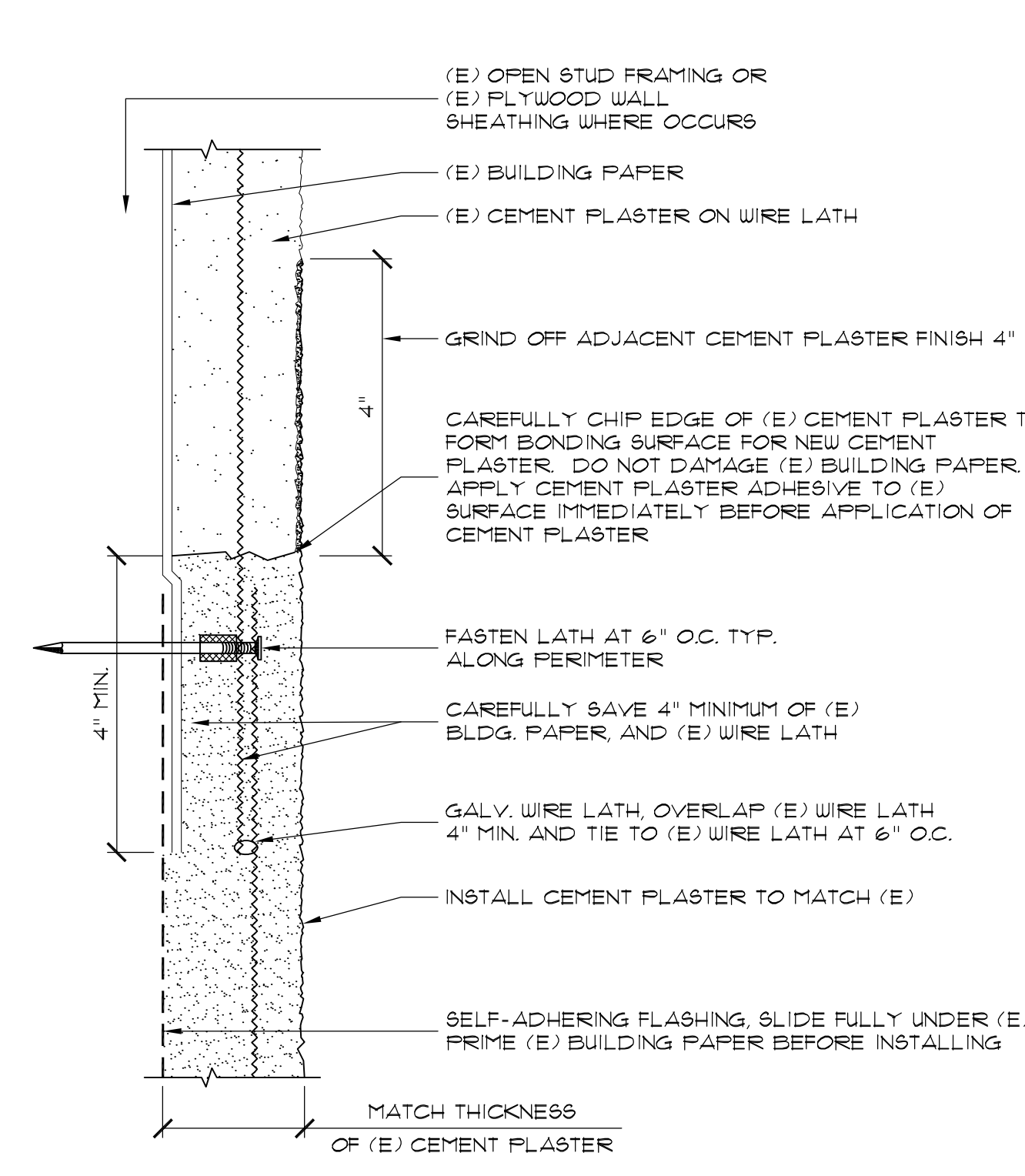
**ROOF PLAN - BUILDING 14**

SCALE: NOTED ON DRAWINGS

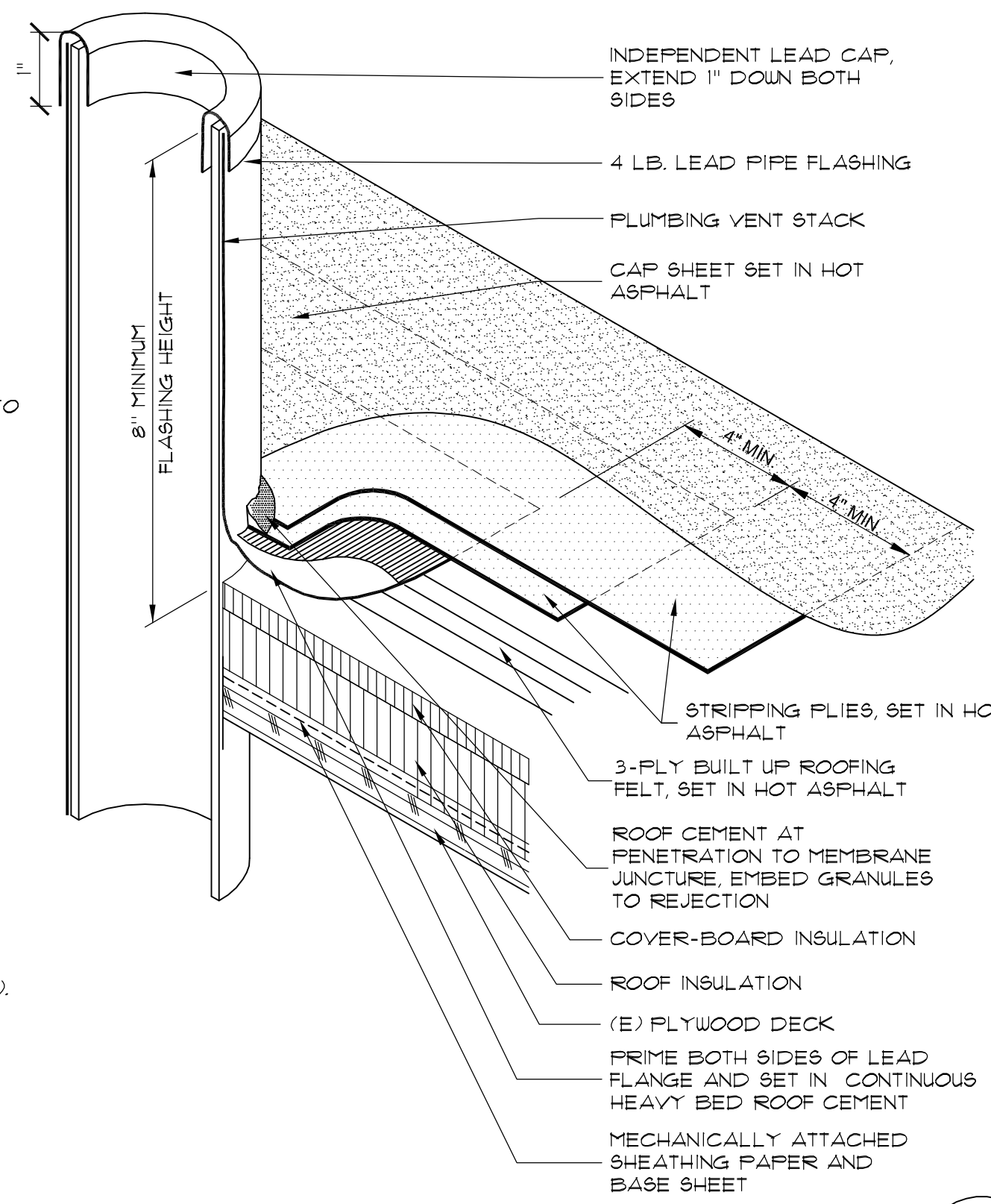
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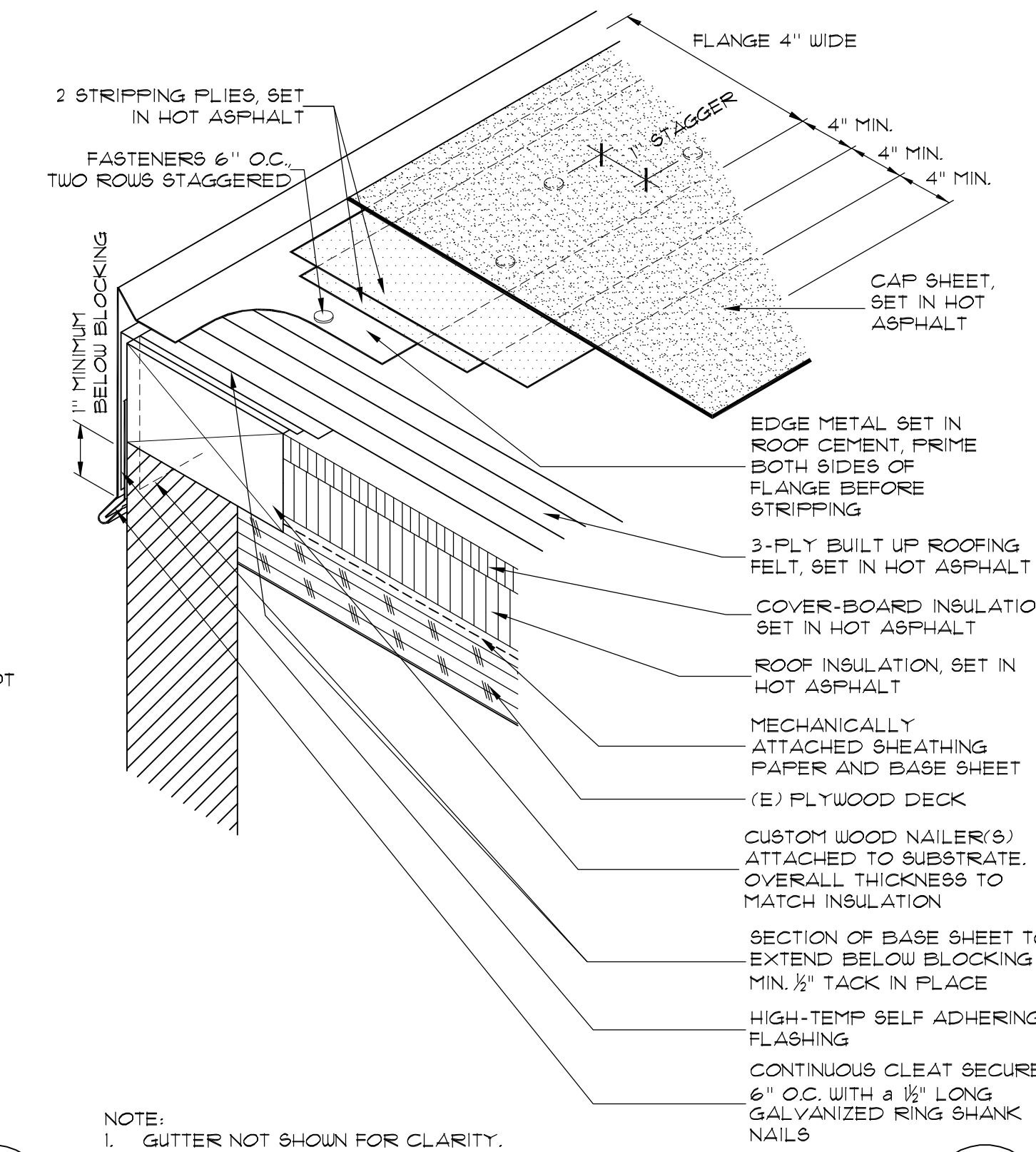
BID SET - 04/02/2015



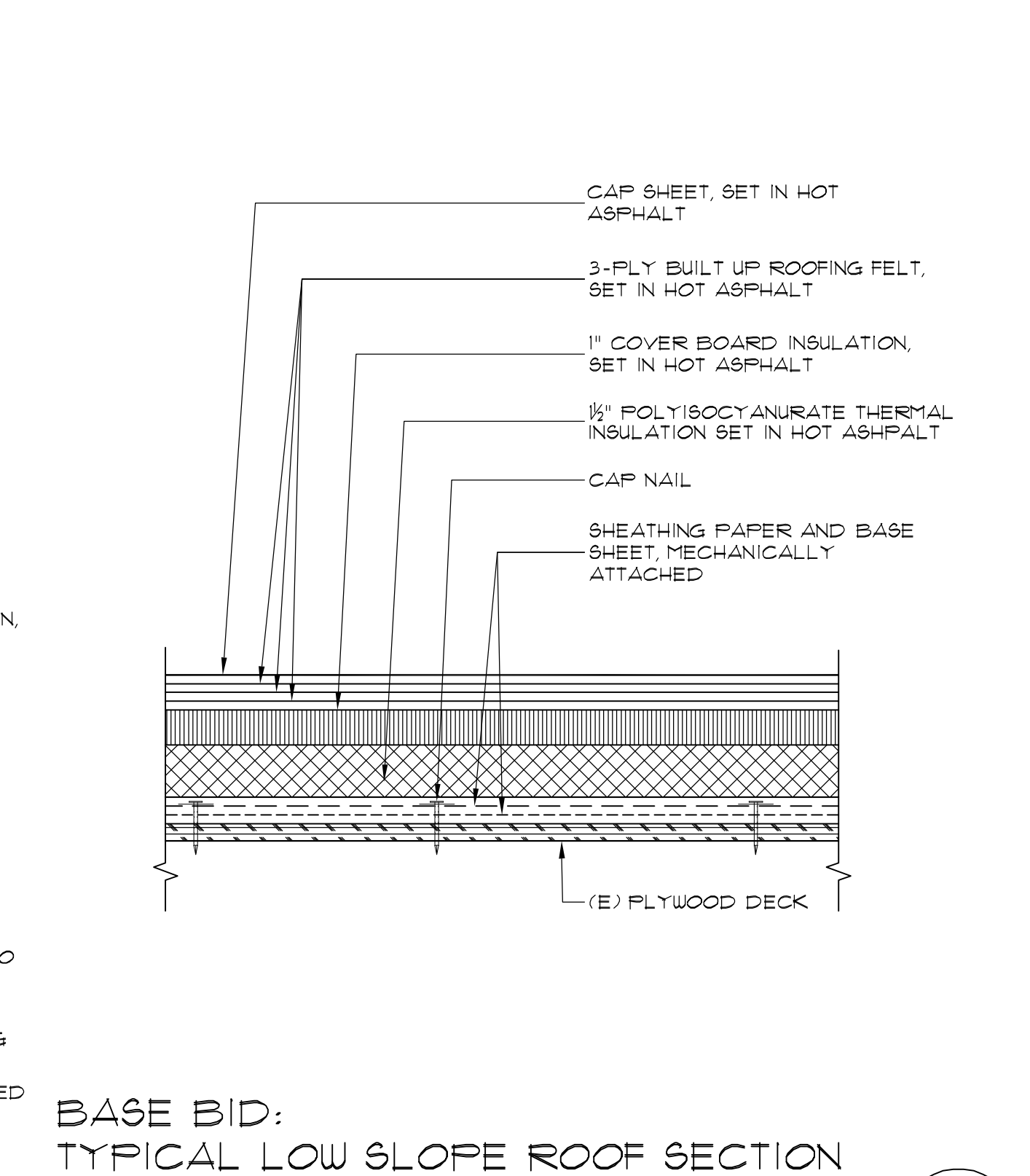
**CEMENT PLASTER TIE-IN TO (E) ABOVE** 10  
SCALE: N.T.S. FILE: A301



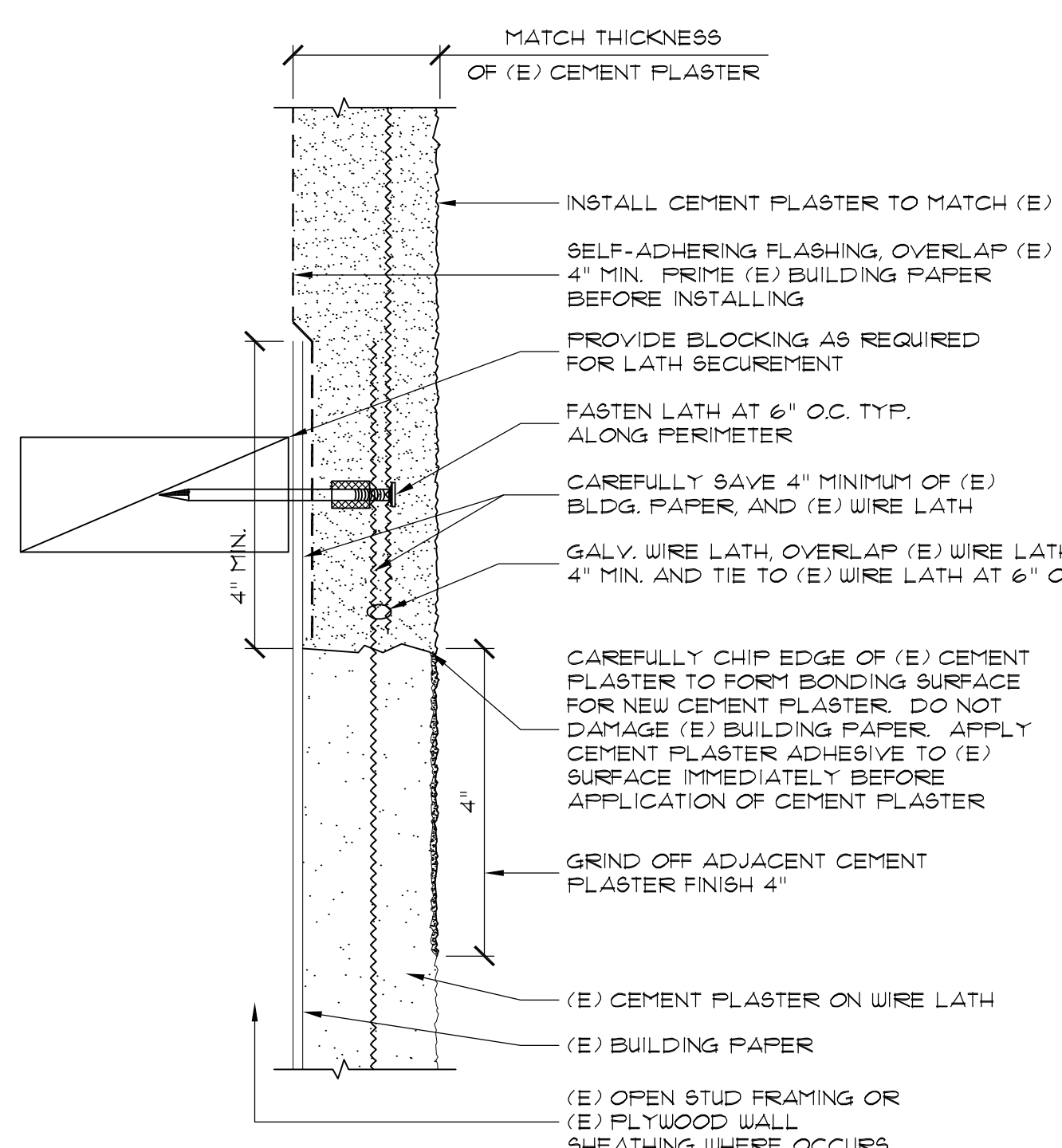
**PLUMBING PENETRATION** 7  
SCALE: 12" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS. FILE: A301



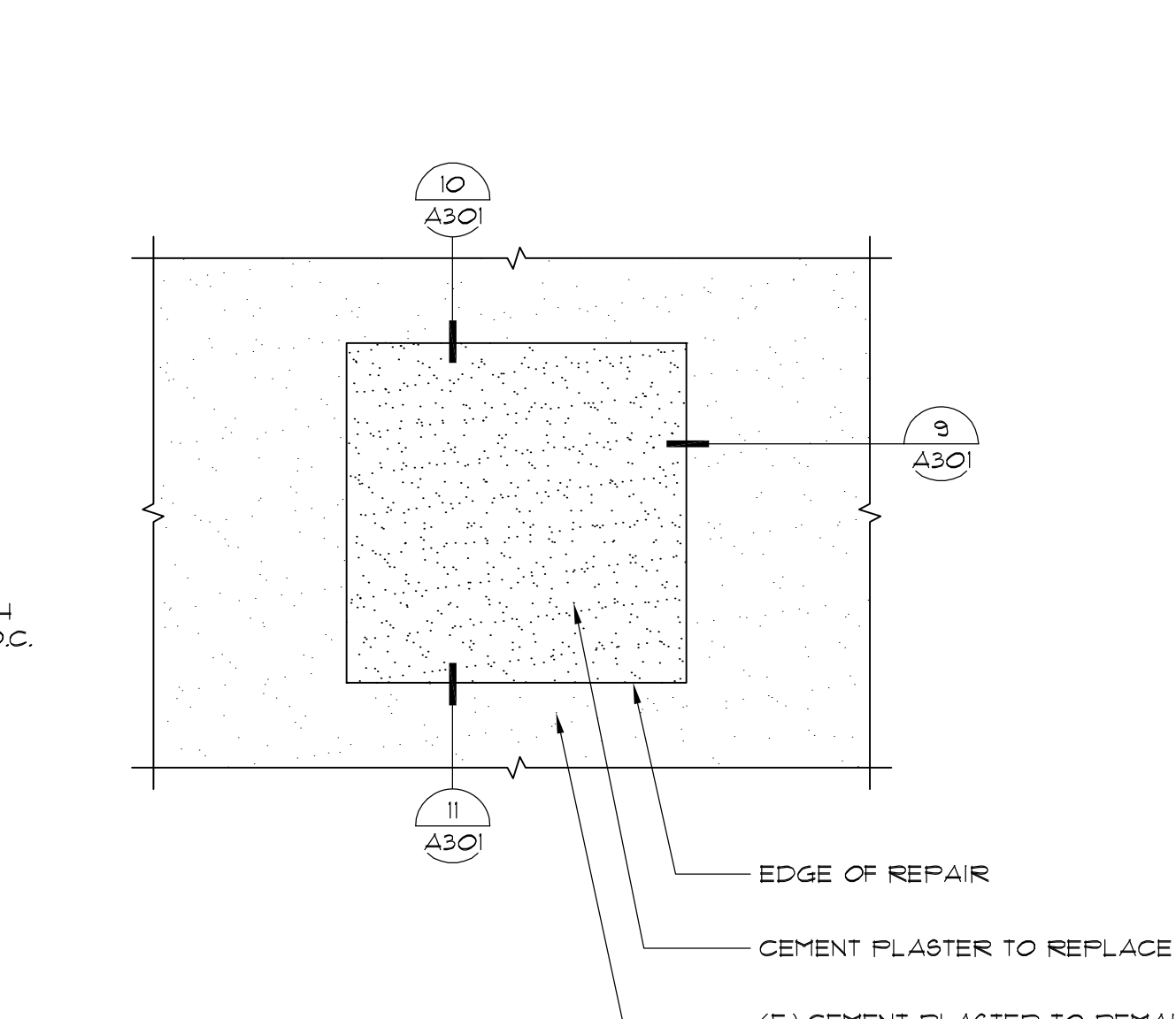
**EDGE METAL STRIPPING ISOMETRIC** 4  
SCALE: 12" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS. FILE: A301



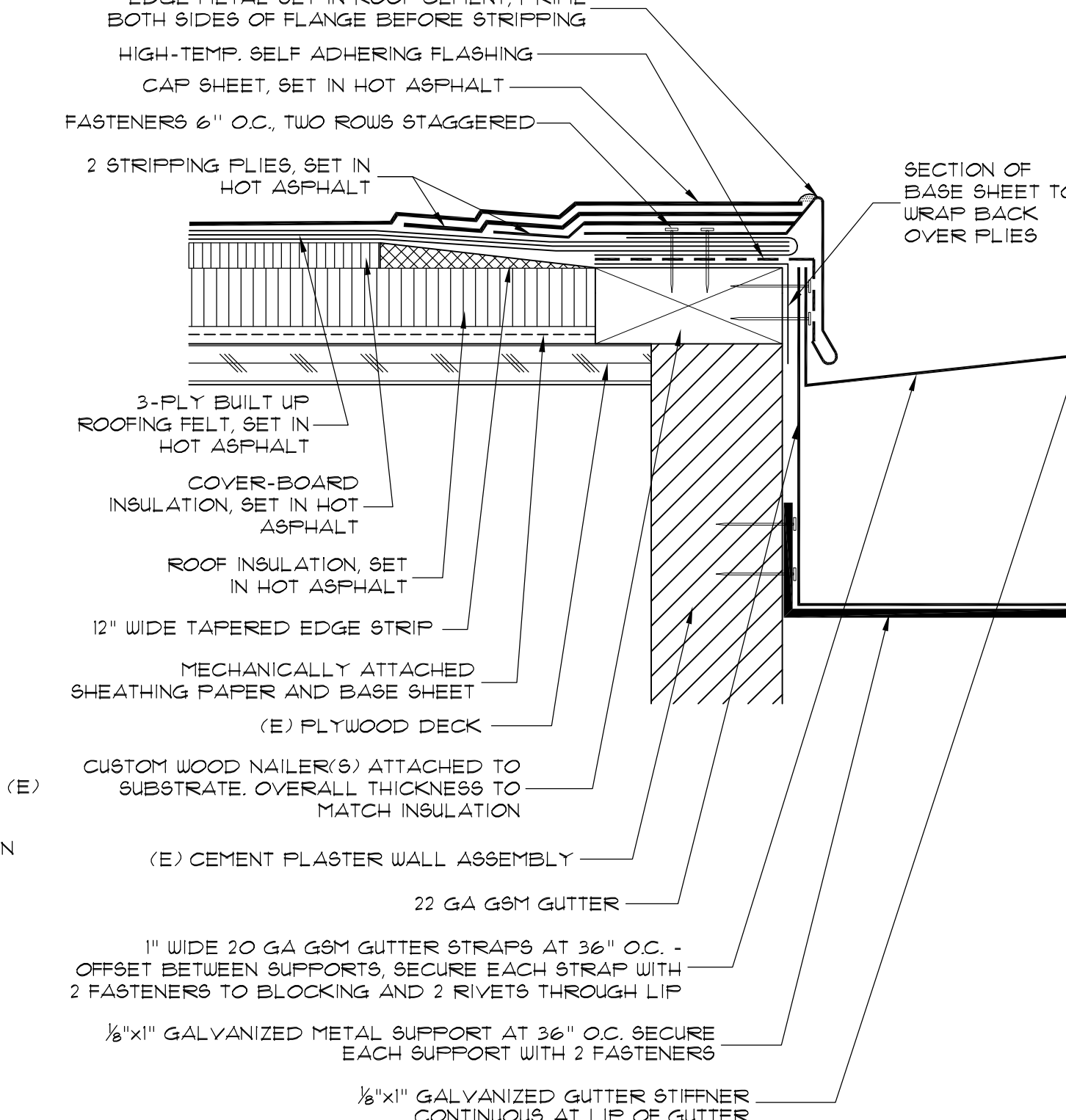
**BASE BID: TYPICAL LOW SLOPE ROOF SECTION IN MECHANICAL WELL** 1  
SCALE: 3" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS. FILE: A301



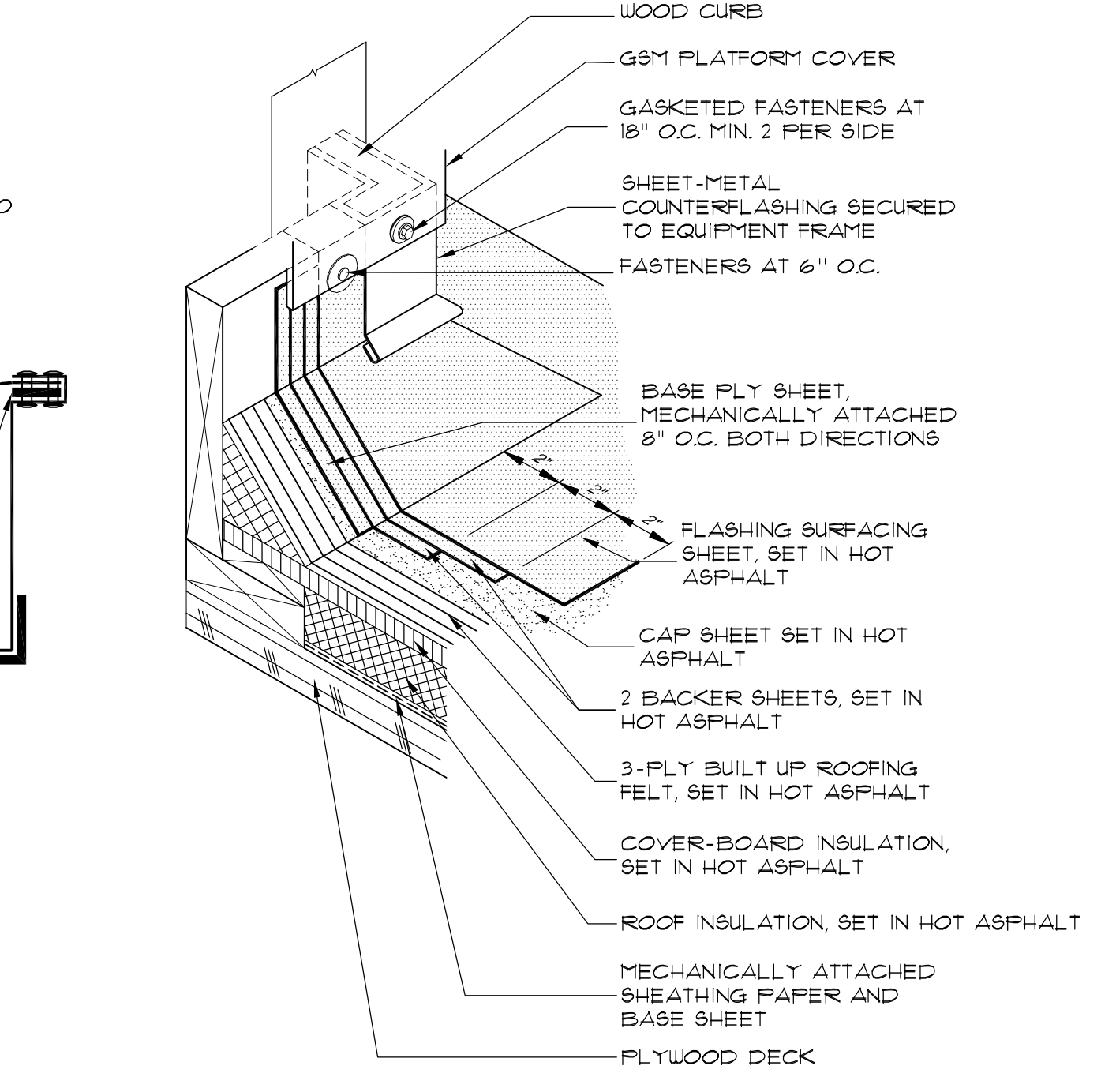
**CEMENT PLASTER TIE-IN TO (E) BELOW** 11  
SCALE: N.T.S. FILE: A301



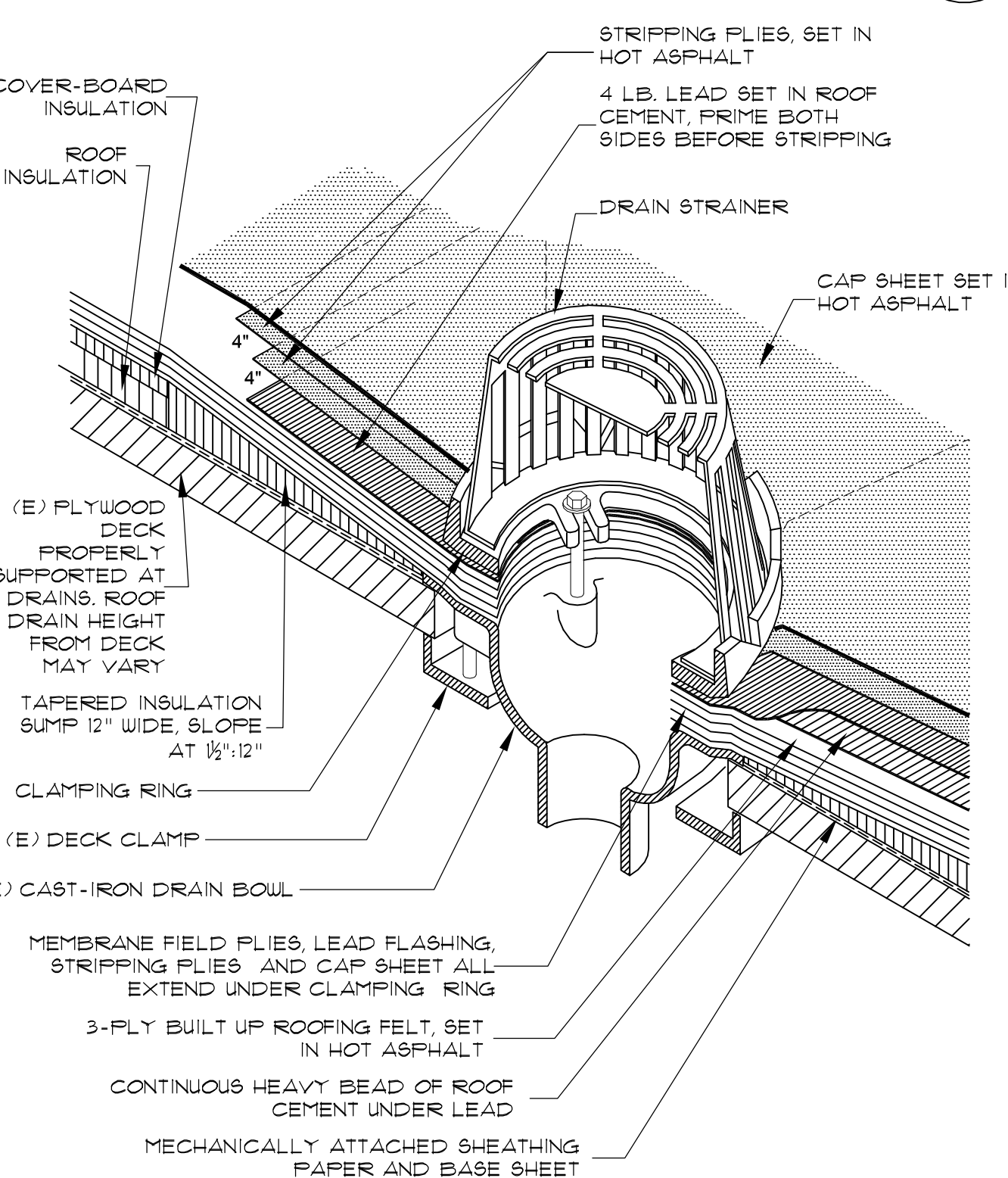
**SCHEMATIC CEMENT PLASTER REPAIR ELEVATION** 8  
SCALE: N.T.S. FILE: A301



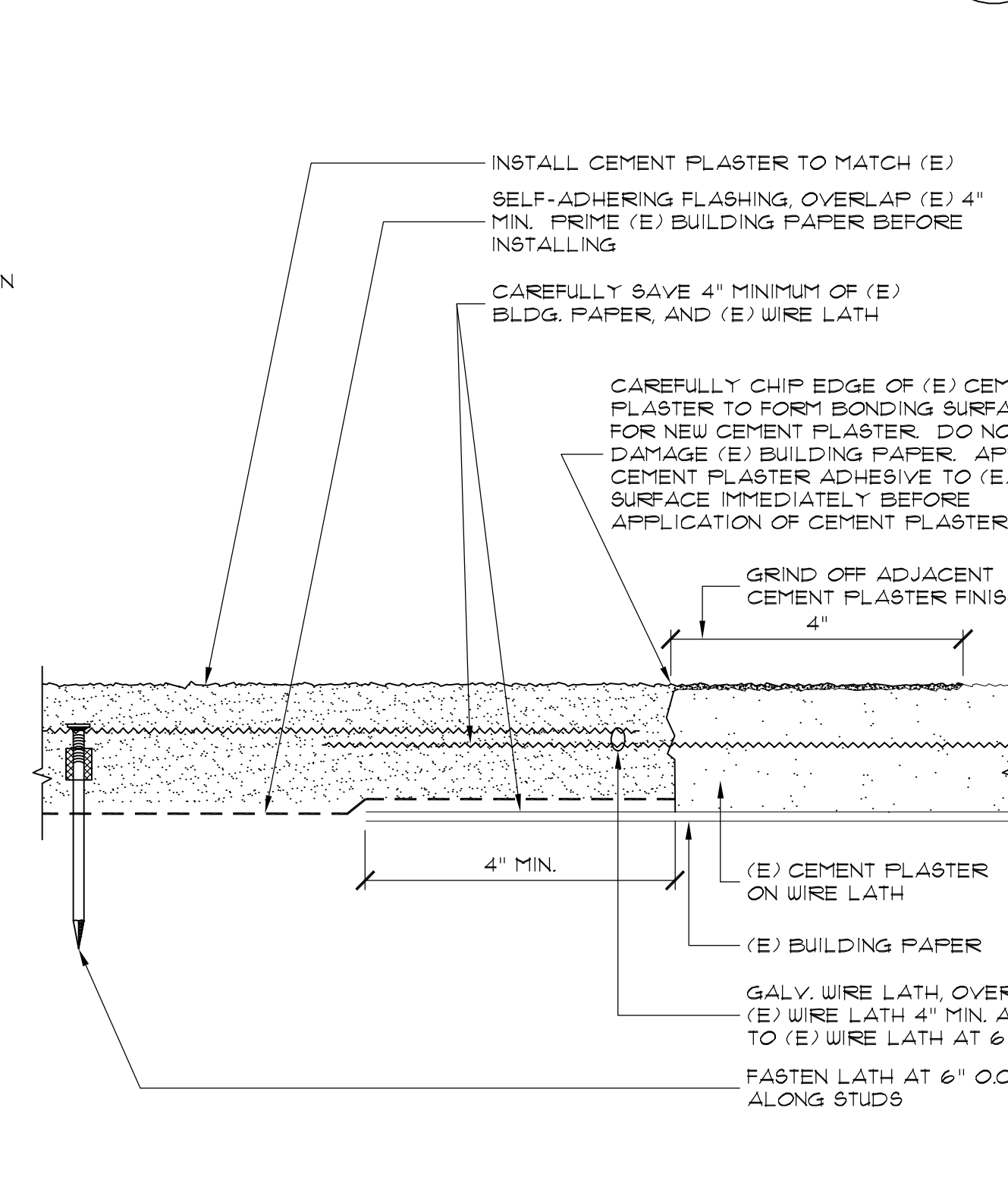
**EDGE METAL SECTION WITH GUTTER** 5  
SCALE: 12" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS. FILE: A301



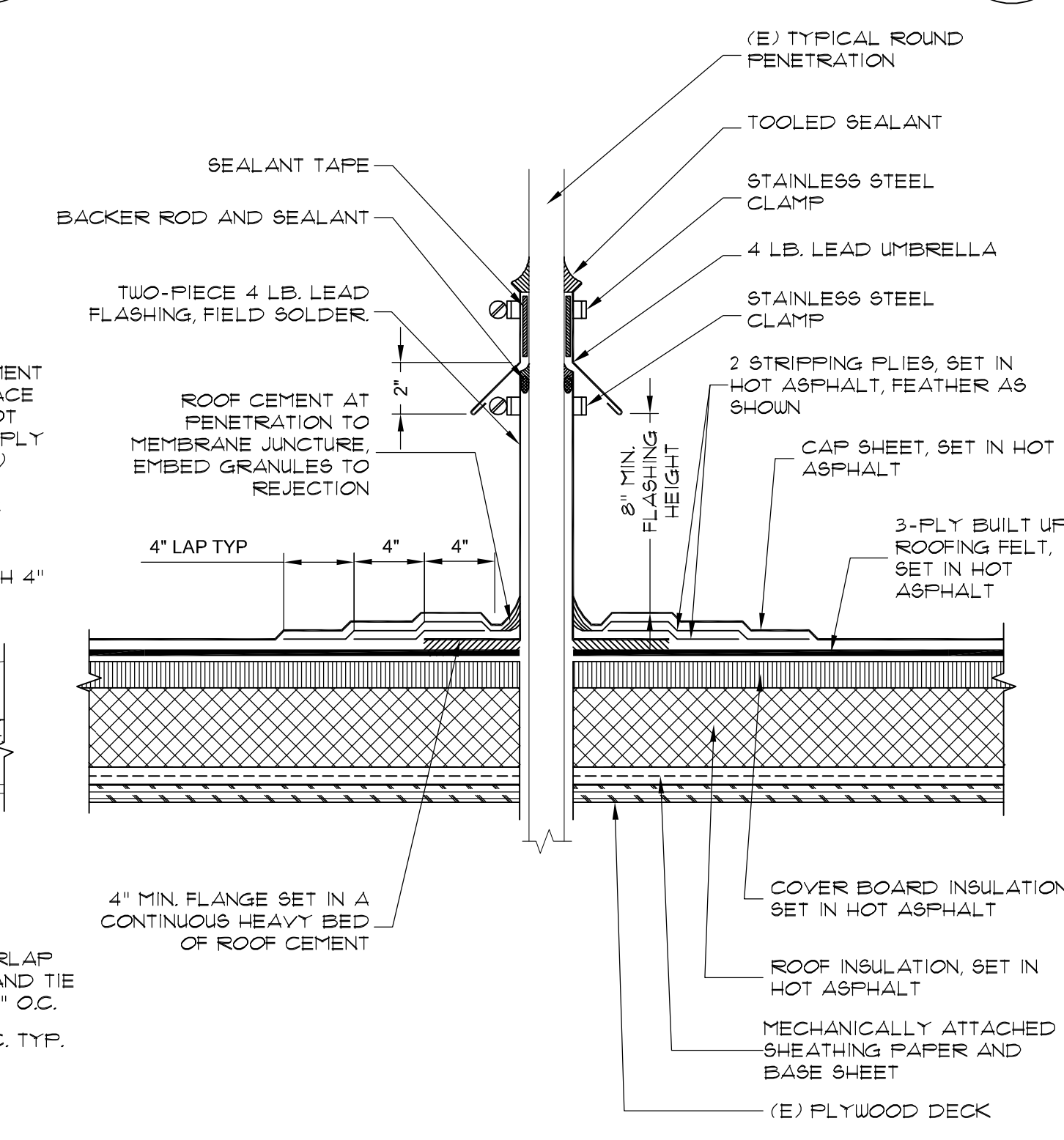
**FLASHING AT WOOD CURB** 2  
SCALE: 12" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS. FILE: A301



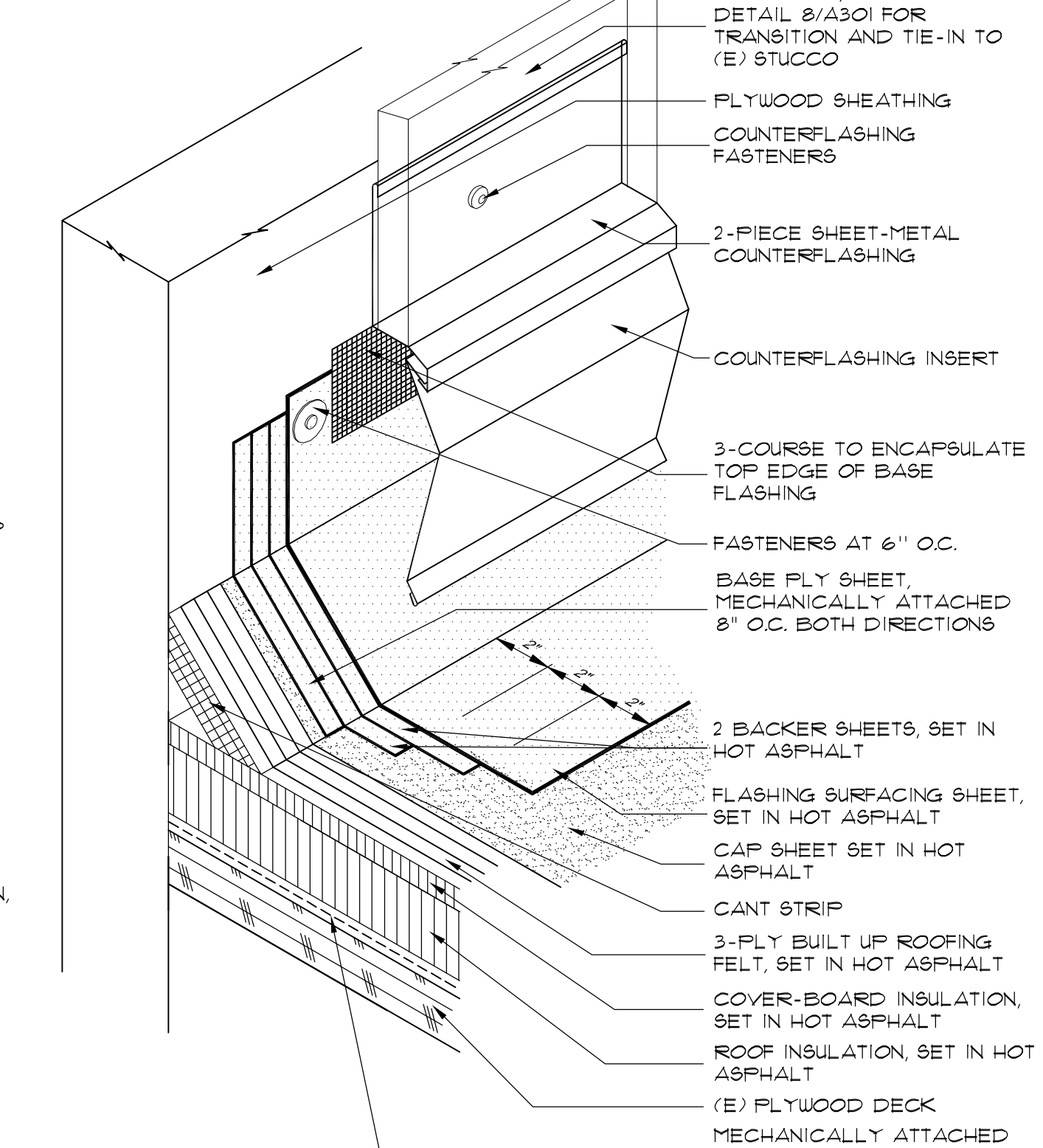
**ROOF DRAIN** 12  
SCALE: 12" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS. FILE: A301



**PLAN SECTION - VERTICAL CEMENT PLASTER TIE-IN TO (E)** 9  
SCALE: N.T.S. FILE: A301



**ROUND PENETRATION** 6  
SCALE: 3" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS. FILE: A301



**BASE FLASHING AT PLASTER WALL** 3  
SCALE: 12" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS. FILE: A301

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PROJECT NO.	15-3792	
CAD DWG FILE	3792_A301.dwg	
DRAWN BY	AC	
CHECKED BY	IRWAI	
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SHEET TITLE		
<b>BUILT-UP DETAILS</b>		
SCALE: NOTED ON DRAWINGS		

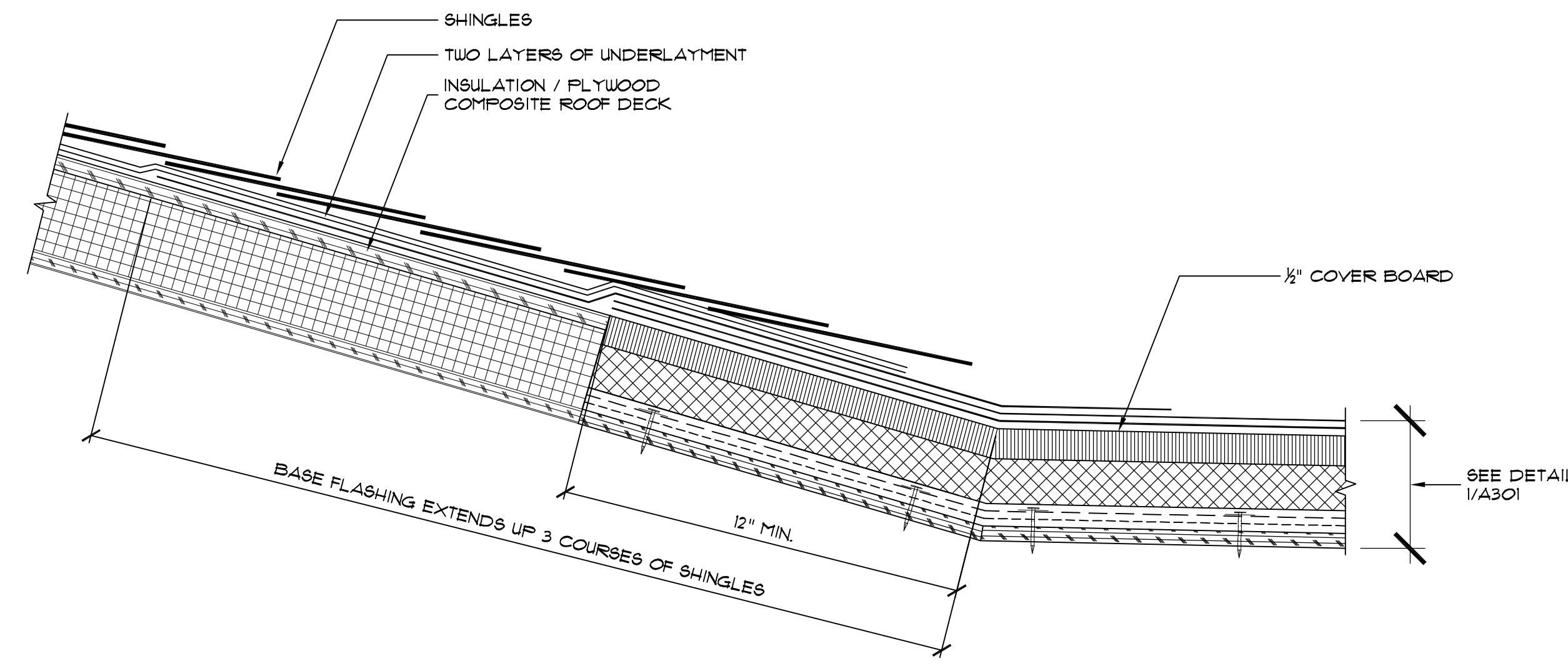
BID SET: 04/02/2015

**A301**

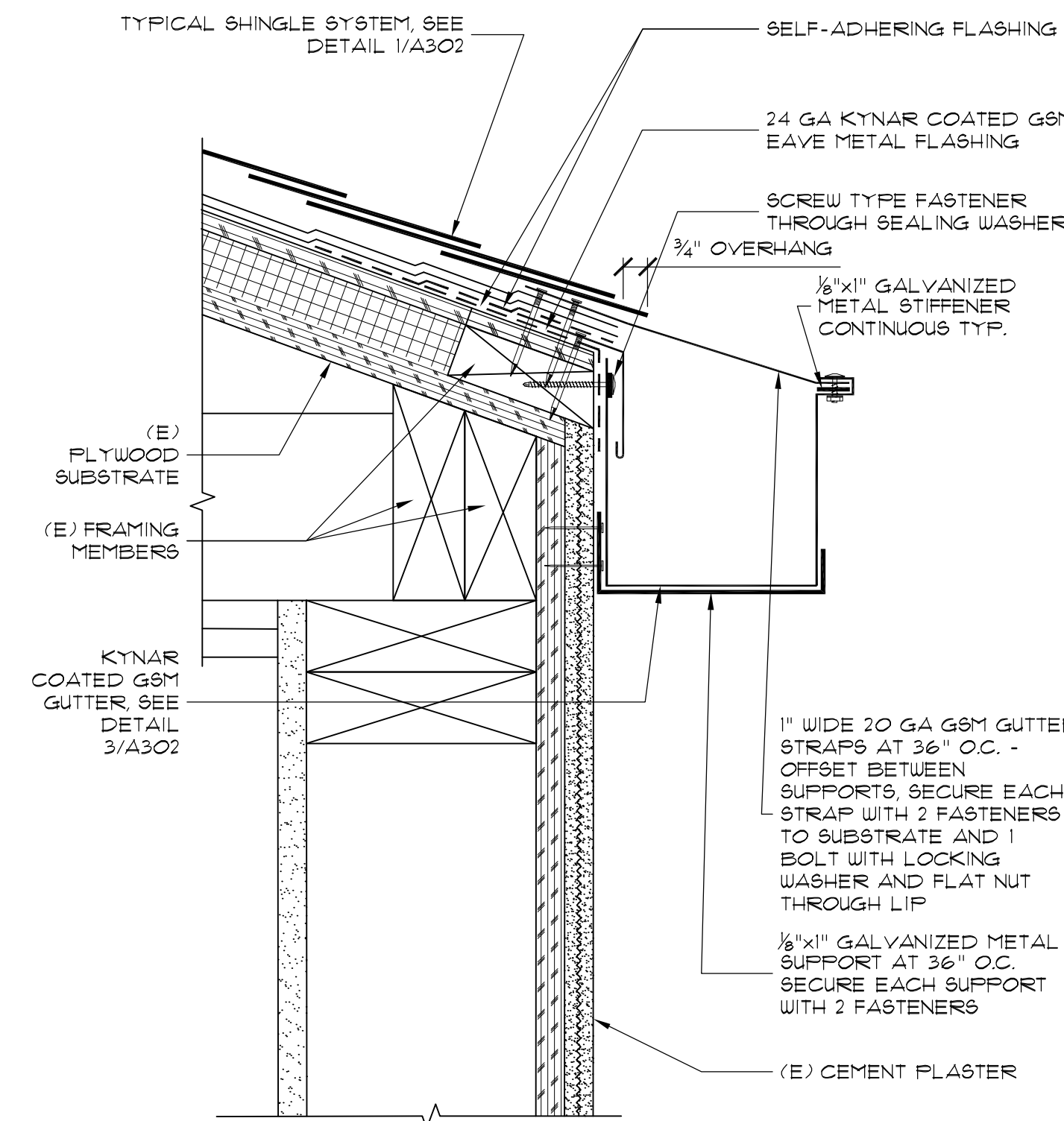
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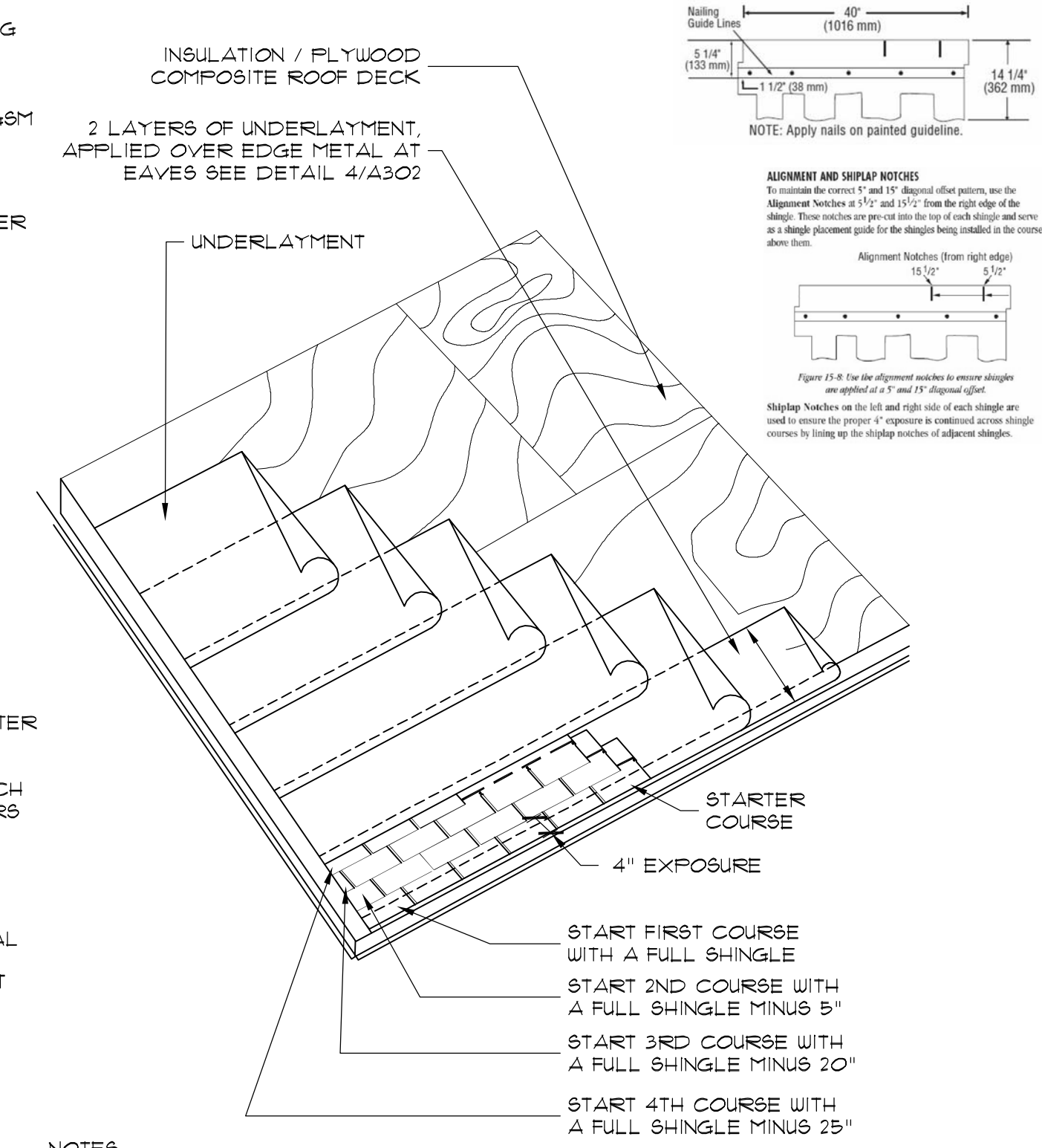
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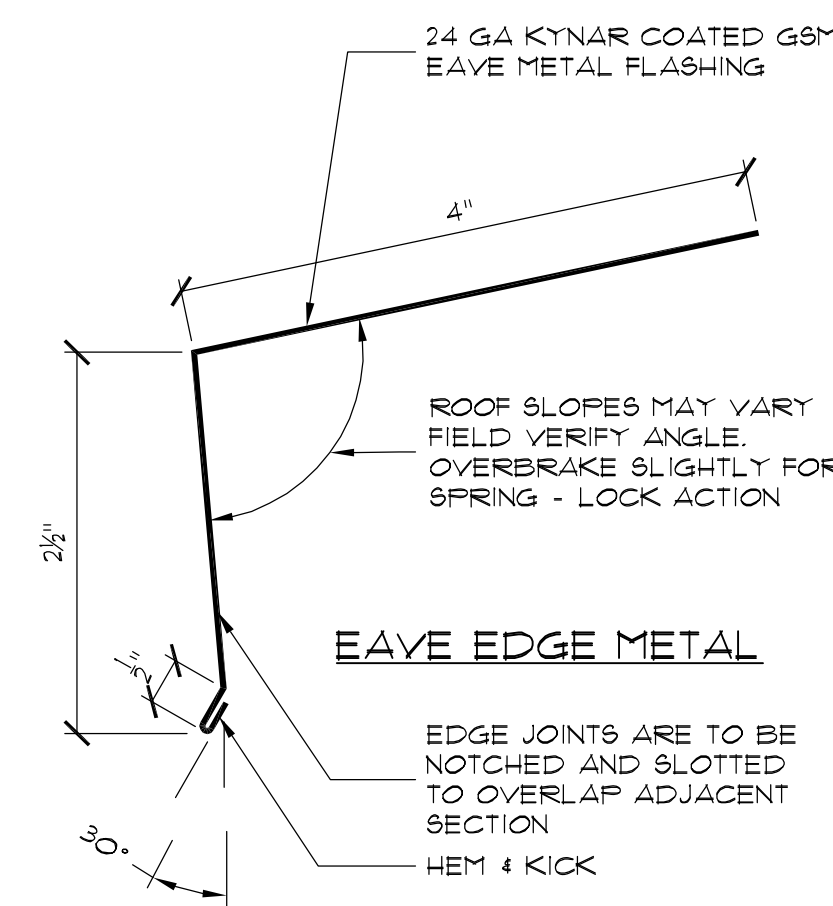
**FLAT ROOF / SHINGLE TIE-IN**  
SCALE: N.T.S.



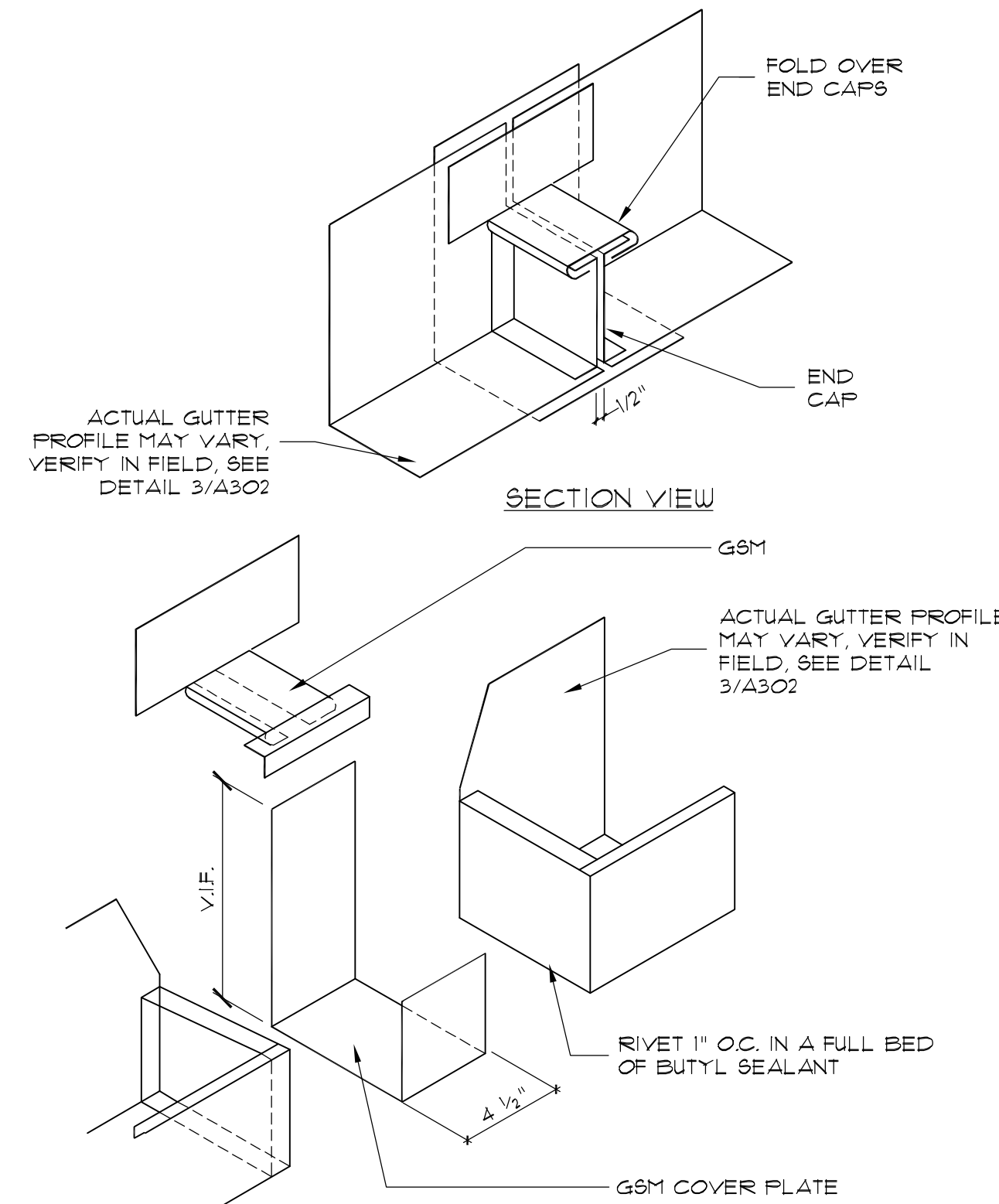
**TYPICAL EAVE AT GUTTER**  
SCALE: 3" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS.



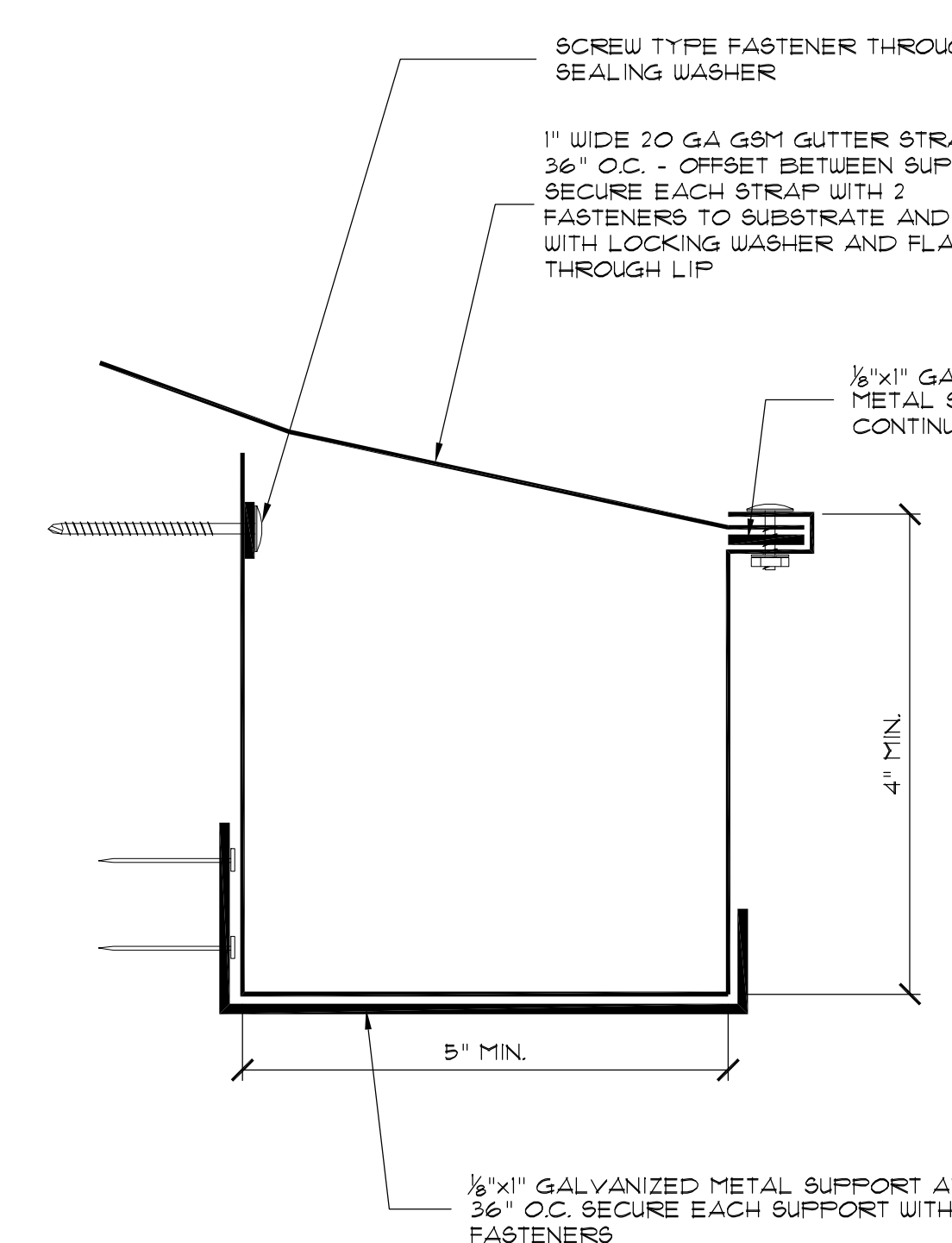
**SHINGLE FIELD**  
SCALE: 3/8" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS.



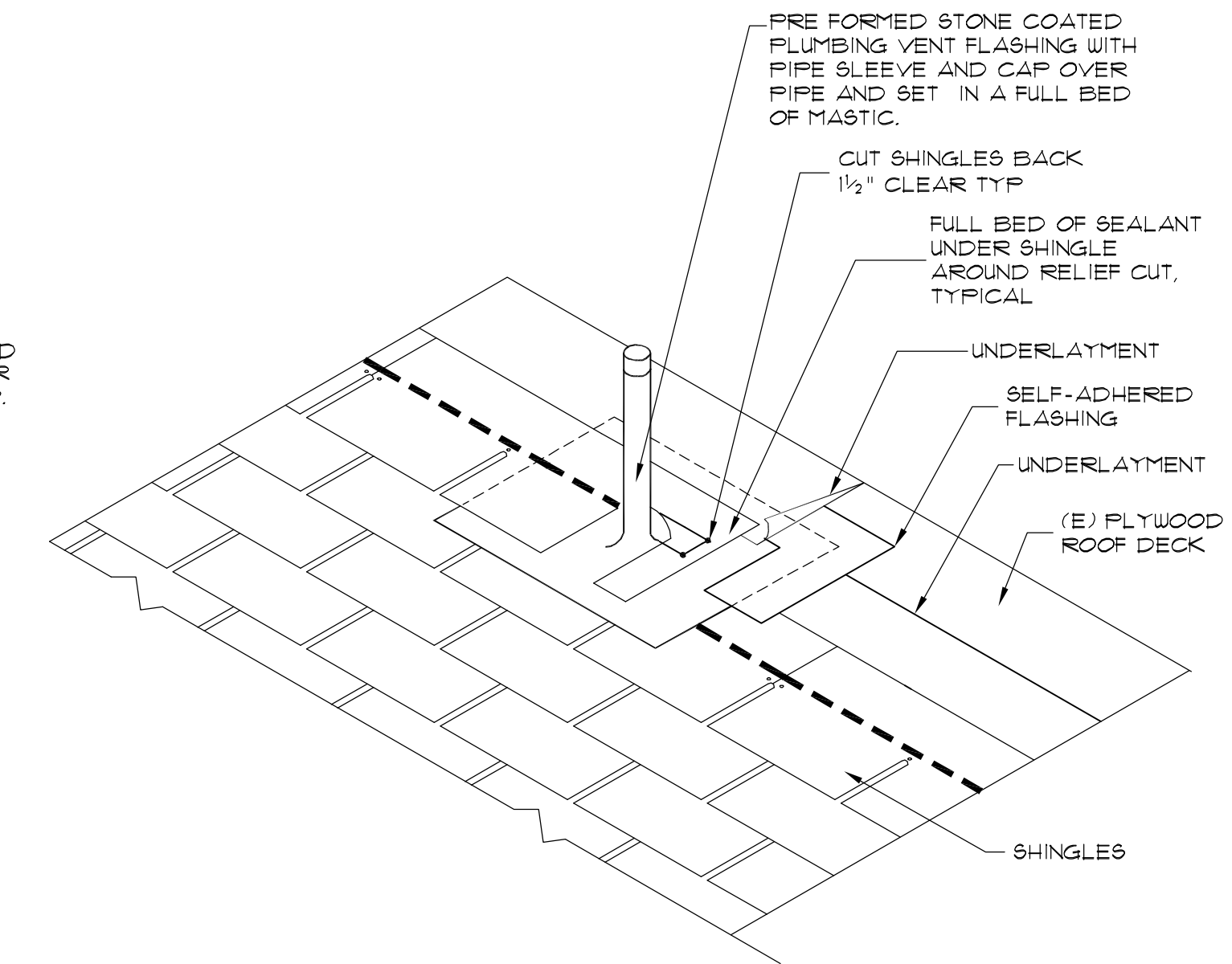
**EDGE METAL AT SHINGLE ROOFING**  
SCALE: 6" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS.



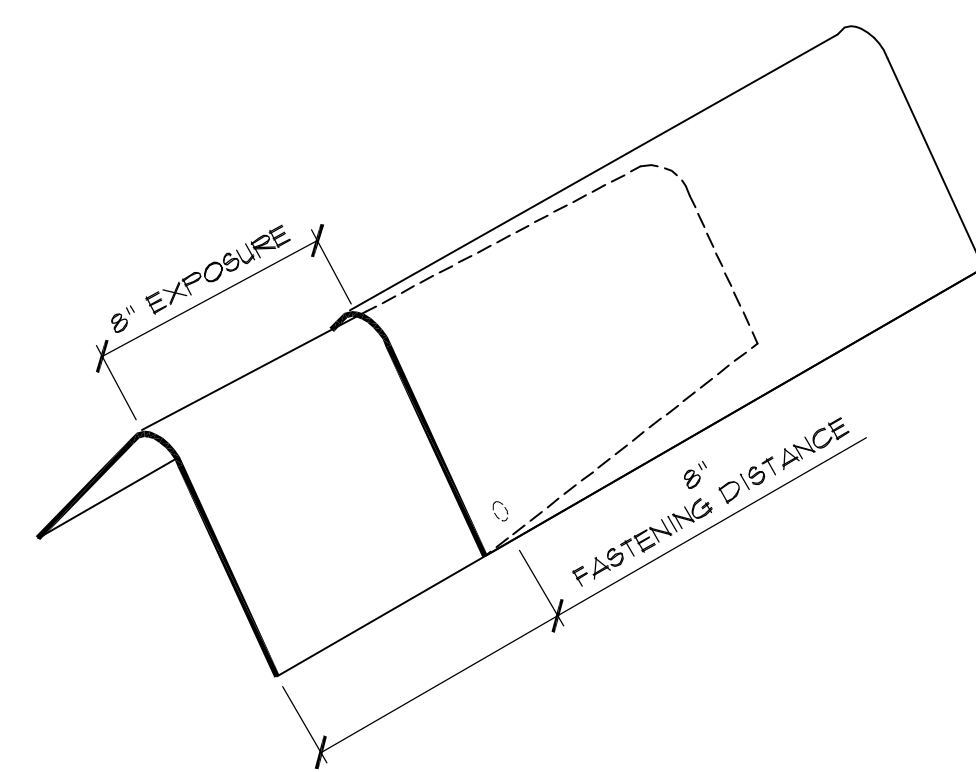
**GUTTER EXPANSION JOINT**  
SCALE: 3" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS.



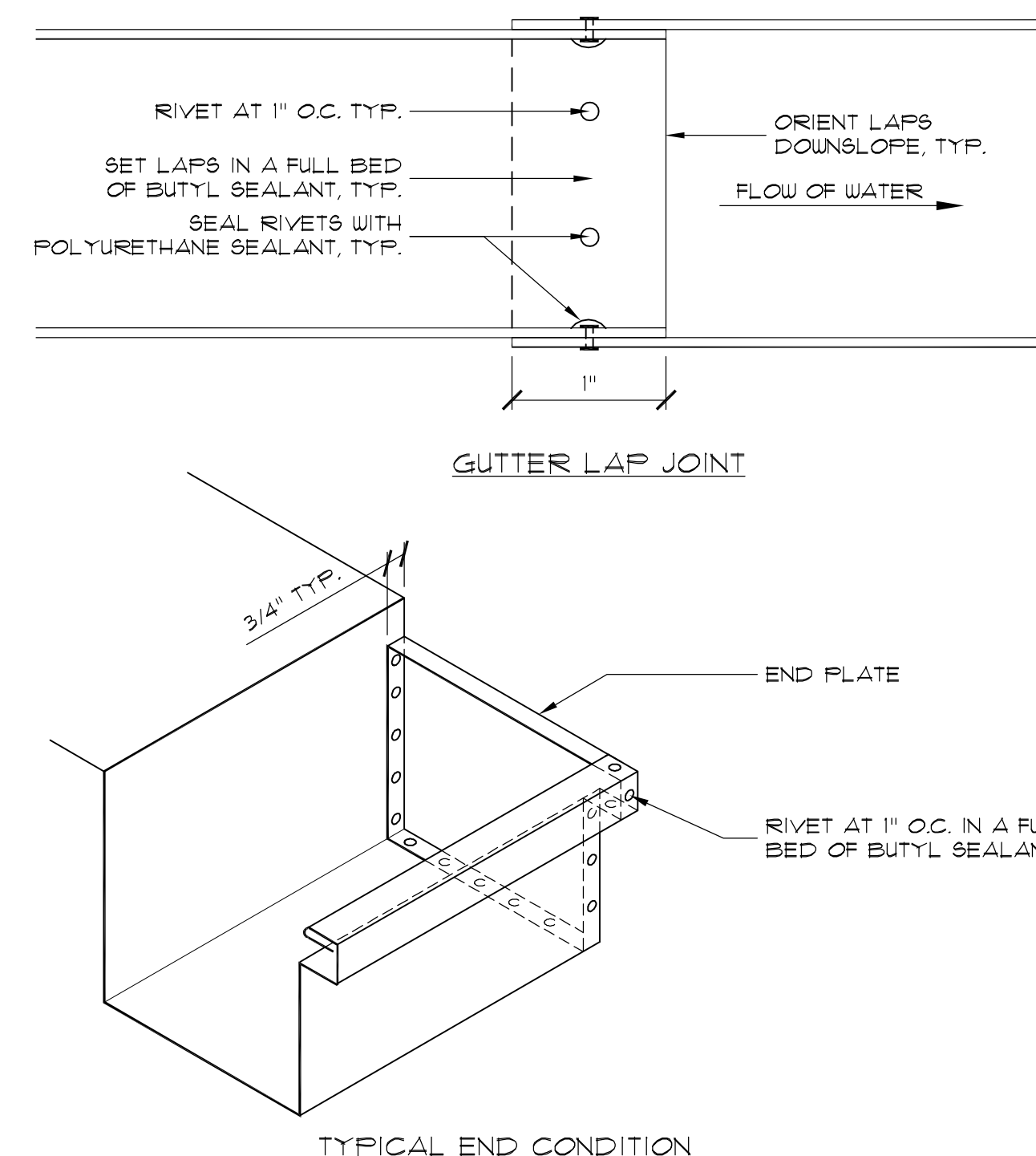
**GUTTER FABRICATION**  
SCALE: 6" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS.



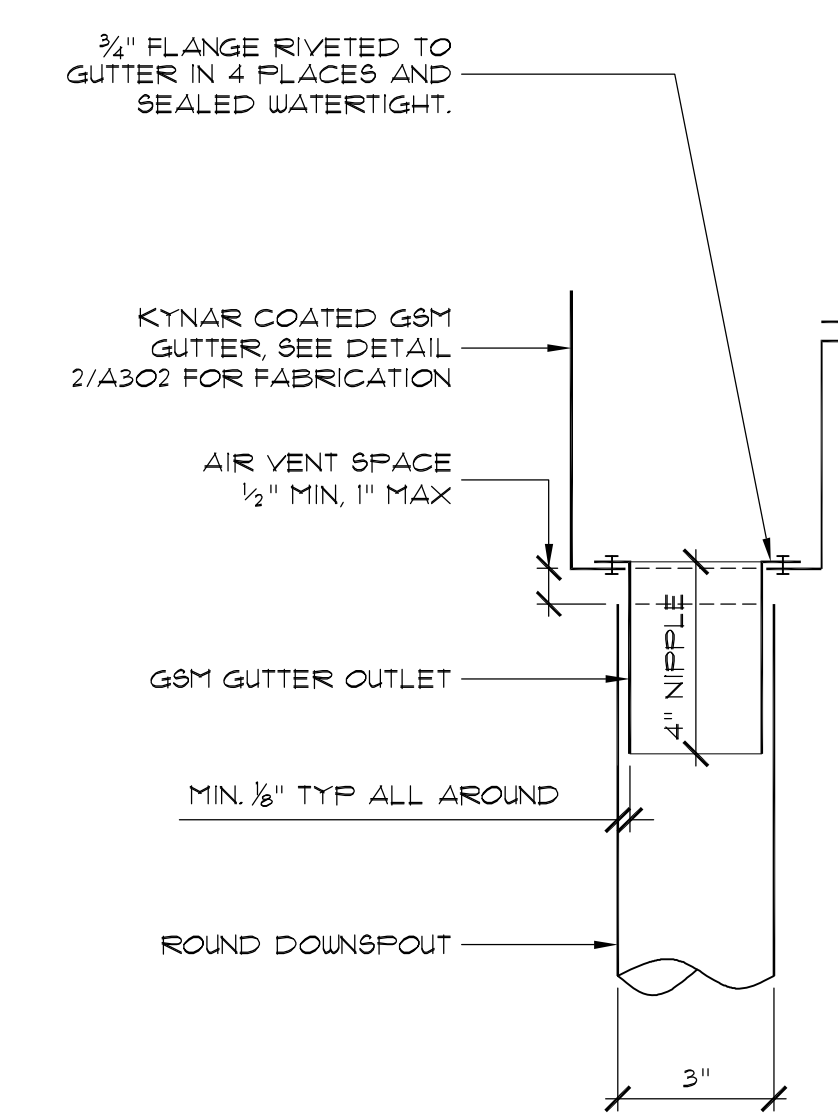
**TYPICAL PLUMBING STACK**  
SCALE: 1" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS.



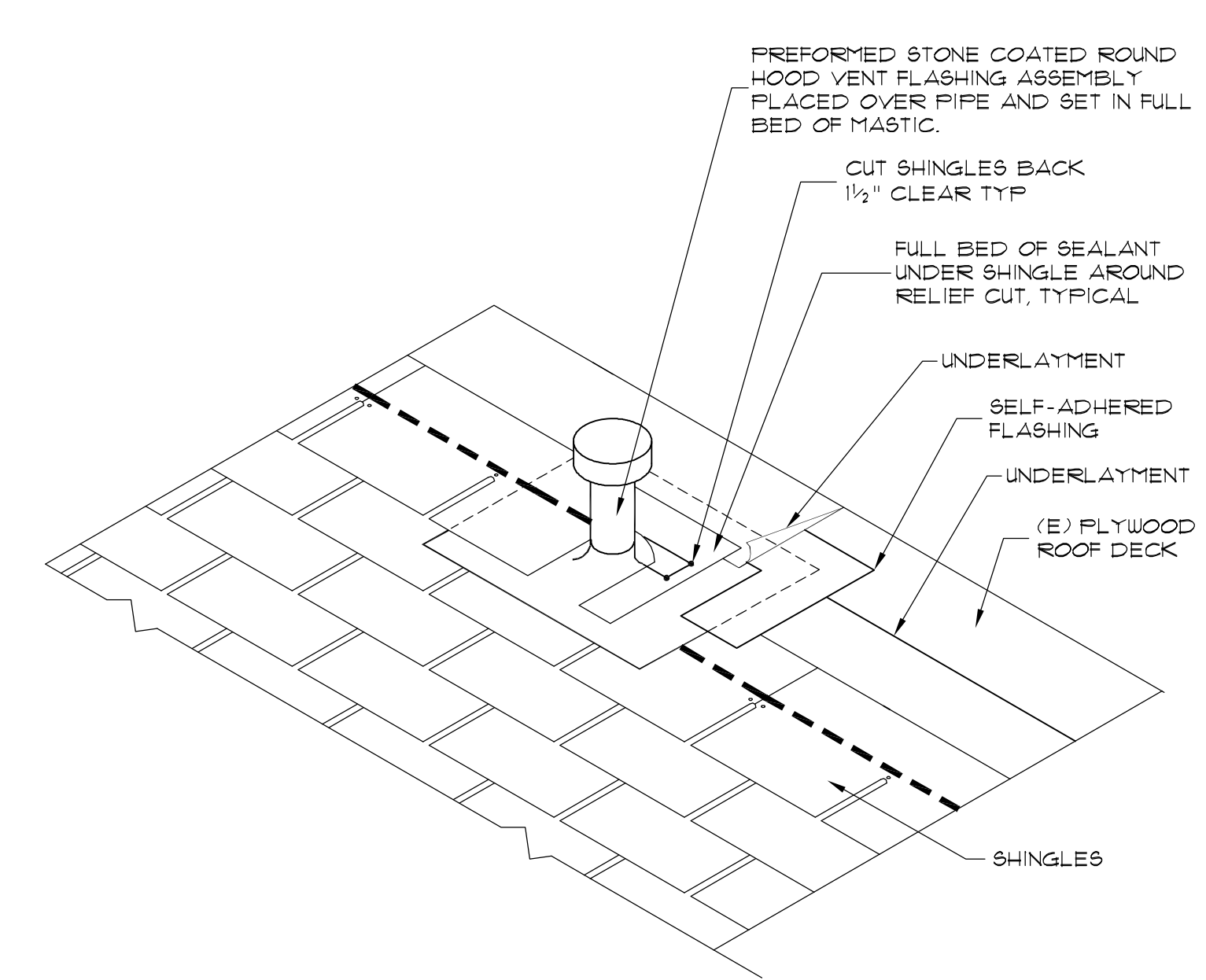
**TYPICAL SHINGLE HIP**  
SCALE: 3" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS.



**GUTTER JOINT AND END CONDITION**  
SCALE: 3" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS.



**GUTTER DOWNSPOUT SECTION**  
SCALE: 1/2" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS.



**TYPICAL VENT**  
SCALE: 1" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS.

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**SHINGLE DETAILS**

SCALE: NOTED ON DRAWINGS

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BID SET: 04/02/2015

