# **College of San Mateo and Skyline College Roof Replacement Project**

	;	ABBREV	∕∣Д⁼	TIONS			
L ANGLE CL CENTERLINE PIAMETER, ROUND PERPENDICULAR POUND, NUMBER AB. ANCHOR BOLT ABB. ALLANA, BUICK AND BERS AC. ASPHALTIC CONCRETE AC. ASPHALTIC CONCRETE AC. ASPHALTIC CONCRETE AC. ASPHALTIC CONCRETE AC. ASPHALTIC CONCRETE AC. ASPHALTIC CONCRETE AC. ASPHALTICAL AD. AREA DRAIN ADJ. ADJUSTABLE, ADJACENT AFF. ABOVE FINISH FLOOR ALUM. ALUMINUM ALT. ALTERNATE AP. ACCESS PANEL APPROX. APPROXIMATE ARCH. ARCHITECT BD. BOARD BITUM. BITUMINOUS BLDG. BUILDING BLC, BLOCK BLKG. BLOCK BLKG. BLOCK BLKG. BLOCK BLKG. BLOCK BLKG. BLOCK BLRG. CABINET CER. CEMENT CER. CEMENT CER. CEMENT CER. CEMENT CER. CEMENT CL. CLOSET CL. CLOSET CL. CLUMN COMP. COMPOSITION CONST. CONTROL JOINT CL. CLOSET CL. COLUMN COMP. COMPOSITION CONST. CONSTRUCTION CONST. CONSTRUCTION CONST. CONTROL JOINT CLR. CLEAR COL. COLUMN COMP. COMPOSITION CONST. CONSTRUCTION CONST. CONSTRUCTION CONST. CONSTRUCTION CONST. CONSTRUCTION CONST. CONTRER CPT. CARPET CTR. CENTER D. DEEP DBL. DOUBLE DEMO. DEMOLISH DET DETAIL DF. DOUGLAS FIR DT. DETAIL DF. DOUGLAS FIR DN. DOUN DR DOOR DS. DOUN SPOUT DUG. DRAWING DUR DORAWING DUR DRAWER	E. E. A. B. F. J. ELEMEND, GUILLER D. R. D. N. C. F. S. F.	EAST EXISTING EACH EXPANSION BOLT EXPANSION BOLT EXPANSION JOINT ELECTRICAL ELEVATION EMERGENCY ENCLOGURE ELECTRICAL PANEL EQUAL EQUIPMENT EACH WAY EXPANSION EXTERIOR FLOOR DRAIN FOUNDATION FIRE EXTINGUIGHER FIRE EXTINGUIGHER FIRE EXTINGUIGHER FINIGH FLOOR FINIGH FLOOR FINIGH FLOOR FINIGH FLOR SCENT FACE OF CONCRETE FACE OF STUDS FIREPROOF FRAMING FOOT, FEET FOOTING FOUNDATION FURRING GAUGE GALVANIZED IRON GROUND FAULT INTERRUPT GLASS GLUE-LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM HAND RAIL HOSE BIBB HOLLOW CORE HEADER HARDWARE HOLLOW METAL HOUR HEIGHT	P.T. PLAS. P	JANITOR JOIST JOINT LAMINATE LAVATORY LOCATION LONG LIGHT MAXIMUM MACHINE BOLT MECHANICAL MEMBRANE MANUFACTURER MINIMUM MIRROR MISCELLANEOUS MOUNTED METAL MULLION NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL OBSCURE ON CENTER OUNER FURNISHED AND CONTRACTOR INSTALLED OFFICE OVERALL OBSCURE ON CENTER OUNER FURNISHED AND CONTRACTOR INSTALLED OFFICE OVERHEAD OPPOSITE PARTITION PARTICLE BOARD PLANTER DRAIN PLUMBING PAINT PRE-FABRICATED PLASTIC LAMINATE PLASTIC LAMINATE PLASTIC LAMINATE PLASTER PLYWOOD POINT OF CONNECTION PAIR RADIUS REMOVE RESILIENT BASE ROOF DRAIN REMOVE DAMAGED MATERIAL REDWOOD REFERENCE REFIGERATOR REGISTER REINFORCED RESILIENT RETAINING REVISION, REVISED ROOM	ROUGH OPENING RISER RAIN WATER LEADER SUSPENDED ACOUSTICAL CEILING SELF ADHERED FLAGHING SOLID CORE SCHEDULE SOAP DISPENSER SEE DRAWINGS BY OTHERS SECTION SEE ELECTRICAL DWGS. SHELF SHEET SIMILAR SHEET METAL SEE MECH. DRAWINGS SPECIFICATION SQUARE STAINLESS STEEL SES STRUCTURAL DWGS. STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SHEET VINYL SYMMETRICAL TOWEL BAR TOP OF CURB TOP OF CORR TOP OF CORR TOP OF CORRETE TIE DOWN TELEPHONE TEMPERED THICK THRESHOLD TOP OF SLAB TYPICAL UNFINISHED UNLESS OTHERWISE NOTED URINAL VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD WIDE / WIDTH WITH WATER CLOSET WOOD SCREW WAINSCOT WEIGHT WELDED WIRE FABRIC	А. В. С. D. Е. F. G. J.	THESE DRAWINGS HAVE SITE AND PROJECT TO BIDDING. ANY EXISTIN SHALL BE BROUGHT TO START OF ANY WORK. NOTES, SECTIONS, AND THAT COMPONENT ARE SHALL APPLY AS IF C. DESIGN OF THE SPECIF EXISTING CONDITIONS CONTRACTOR MUST MA COMPATIBLE WITH THE FROM THE CONSULTANT CONFLICTS AND/OR PR FAILURE TO REPORT TO CONFLICTS AND/OR PR FAILURE TO REPORT TO CONFLICTS AND/OR PR FAILURE TO REPORT TO CONTRACTOR SHALL P CONTRACTOR SHALL P C CONTRACTOR SHALL P C CONTRACTOR SHALL P C C C C C C C C C C C C C C C C C C C
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Building

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# **College of San Mateo 1700 W. Hillside** San Mateo, CA.

GENERAL NOTES	SCOPE OF WORK
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LOCATION MAP	AERIAL MAP
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BUILDING 1-

OF WORK		DRAWING INDEX
DAMAGE TO BUILDING COMPONENTS AND GROUNDS AND SEGREGATE THE NMENT FOR ASBESTOS ABATEMENT. REFER TO ABATEMENT PROTOCOL. RETE SUBSTRATE INCLUDING (E) INSULATION, FLASHINGS AND ACCESSORIES	A101 A102 A103	COVER SHEET, GENERAL NOTES AND INDEX CAMPUS SITE MAP SITE LOGISTICS PLAN
RTS, ETC. ON BUILDING 1. ECTION 024122 "SELECTIVE DEMOLITION" AND THE CONTRACT DOCUMENTS. ) INCLUDED IN PROJECT. ACM IN EXISTING CAULKING AT METAL ROOF EDGE MED. REFER TO ABATEMENT PROTOCOL. BUILDINGS 14 AND 16 DO NOT	A201 A202 A201	DEMOLITION PLAN AND ROOF PLAN - BUILDING 14 DEMOLITION PLAN AND ROOF PLAN - BUILDING 16 DEMOLITION PLAN AND ROOF PLAN - BUILDING 1
BSTRATE BOARD ADHERED TO EXISTING CONCRETE DECK. PROVIDE FELT RD ADHERED TO INSULATION BOARD MECHANICALLY ATTACHED TO METAL D BUILDING 14.	ДЗ <i>О</i> І ДЗ <i>О</i> 2 ДЗІІ	ROOFING DETAILS ROOFING DETAILS SHEET METAL DETAILS
OOT SLOPE TO DRAINS, PROVIDE TAPERED POLYISO CRICKETS ADHERED	A401	PHOTOS
CLEAN EXISTING DRAIN BOWLS. AFTER DRAIN AND ROOFING IS COMPLETE, SUCH THAT THE SYSTEM IS FREE FLOWING. UTILIZE "ROTO-ROOTERS" TYPE ONS FOR EACH DRAIN. OWNER'S REPRESENTATIVE MUST BE PRESENT DURING		
OR WALK PAD PER LINEAR FOOT.		
E FLASHING HEIGHTS. Rovide Roof hatch ladder and large wood platform for hatch		

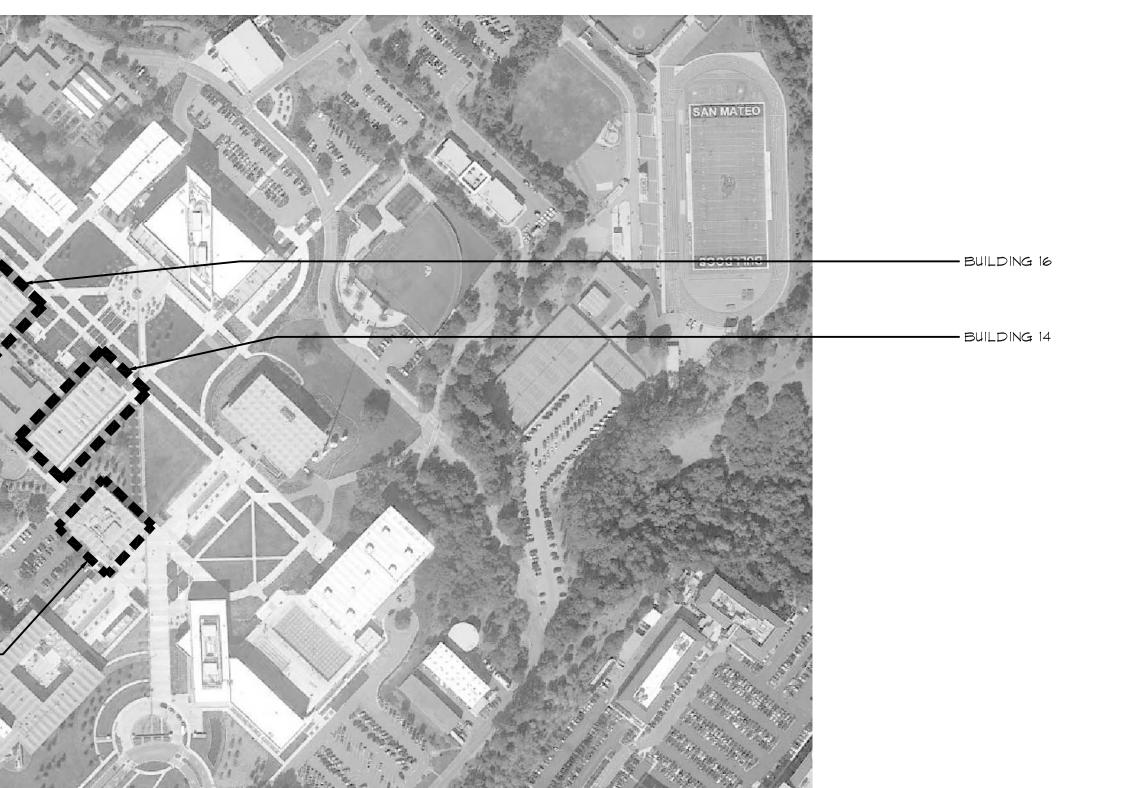
APPLICATION CODES

2013 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE (CAC) 2013 CALIFORNIA BUILDING CODE (CBC) VOLUME 1 AND 2 2013 CALIFORNIA ELECTRICAL CODE (CEC) 2013 CALIFORNIA MECHANICAL CODE (CMC) 2013 CALIFORNIA ENERGY CODE 2013 CALIFORNIA FIRE CODE (CFC) 2013 CALIFORNIA GREEN CODE

2013 CALIFORNIA REFERENCED STANDARDS CODE

TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.

# AERIAL MAP





# **BIDDING SET** NOT FOR CONSTRUCTION OR PERMITTING

College of San Mateo 1700 W. Hillsdale San Mateo, CA

College of San Mateo and Skyline **College Roof** Replacement Project

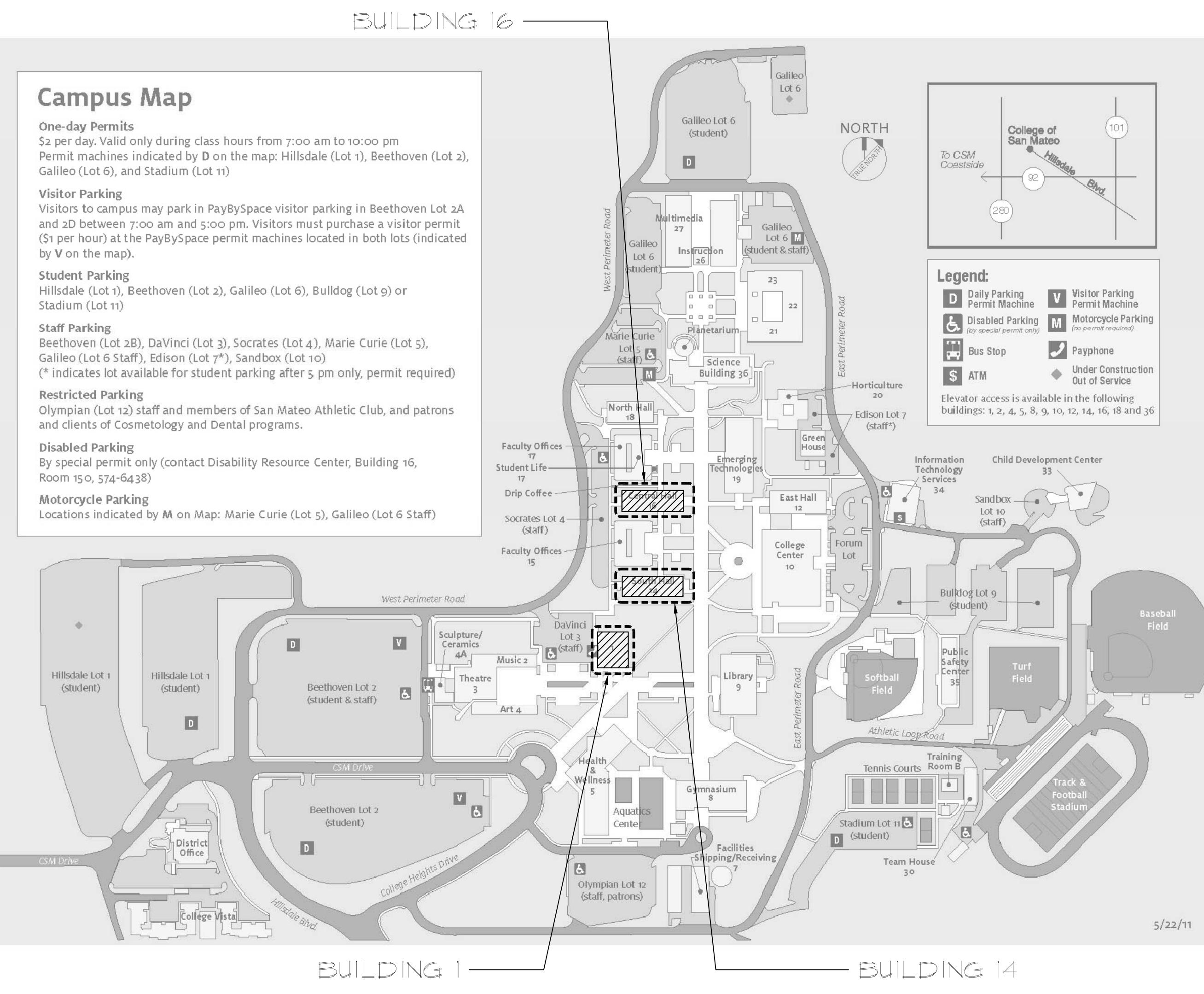
San Mateo County **Community College** 3401 CSM Drive San Mateo, CA 94402

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	Bid	Set	04/02/2015
Mark	Desci	ription	Date
DAT	E	03/13/15	
PRO	JECT NO.	15-3791	
CAD	DWG FILE	3791_A101.dwg	
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CAMPUS SITE MAP



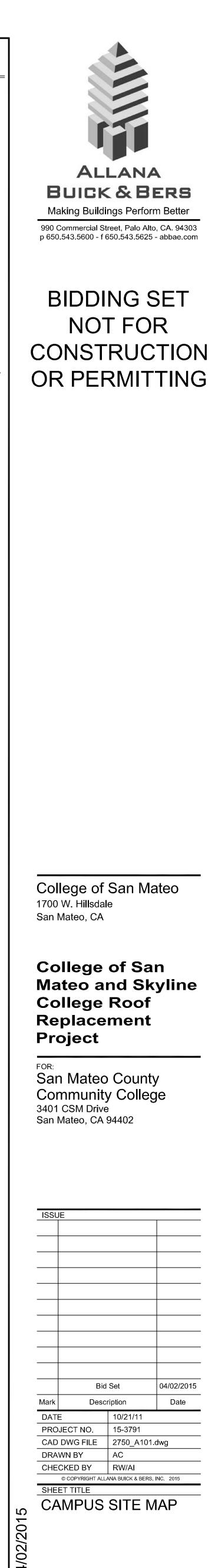


- A. NO MATERIAL SHALL BE STOCK PILED ON ROOF SURFACE, BEYOND THAT REQUIRED FOR IMMEDIATE USE.
- B. REFER TO SITE LOGISTICS PLAN FOR ALL STAGING, STORAGE, PARKING, ACCESS, FENCING SIGNAGE, ETC DIRECTION.
- C. BUILDING AND SITE TO REMAIN IN-USE. DO NOT BLOCK ACCESS TO SITE OR BUILDING AT ANY
- D. CONTRACTOR TO ABIDE BY SITE PROTECTION AND SITE CLEANING REQUIREMENTS OUTLINED I DIVISION 1 OF THE SPECIFICATIONS. CONSTRUCTION AND DEMOLITION DEBRIS TO BE CONFINED WITHIN BARRIER FENCING, EXCEPT AT DESIGNATED DISPOSAL AREAS.
- LANDSCAPING AND / OR SITE WORK DAMAGED BY DEMOLITION / CONSTRUCTION OPERATIONS, CONTRACTOR EMPLOYEES, SUB-CONSULATANTS OR CONTRACTOR'S SUPPLIERS SHALL BE REPLACED BY CONTRACTOR AT NO COST TO OWNER OR OWNER'S REPRESENTATIVES.
- ANY DAMAGE TO THE BUILDING EXTERIOR FINISHES, WINDOWS, DOORS, SIGNS OR APPURTANCES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- ANY DAMAGE TO (E) PAVED ROADS, WALKWAYS OR SIDEWALKS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- H. COORDINATE WORK SCHEDULE WITH FACILITIES. DOOR ENTRANCE CANOPIES SHALL BE FULL WIDTH OF OPENING. FULLY PROTECT ENTRANCE AND EXIT PATH FOR OCCUPANTS.
- K. CONTRACTOR SETUP AND STORAGE AREA. JALKWAYS ADJACENT TO SETUP AND STORAGE AREAS TO BE MAINTAINED AT WIDTHS IN COMPLIANCE WITH ADA REQUIREMENTS.

LEGEND

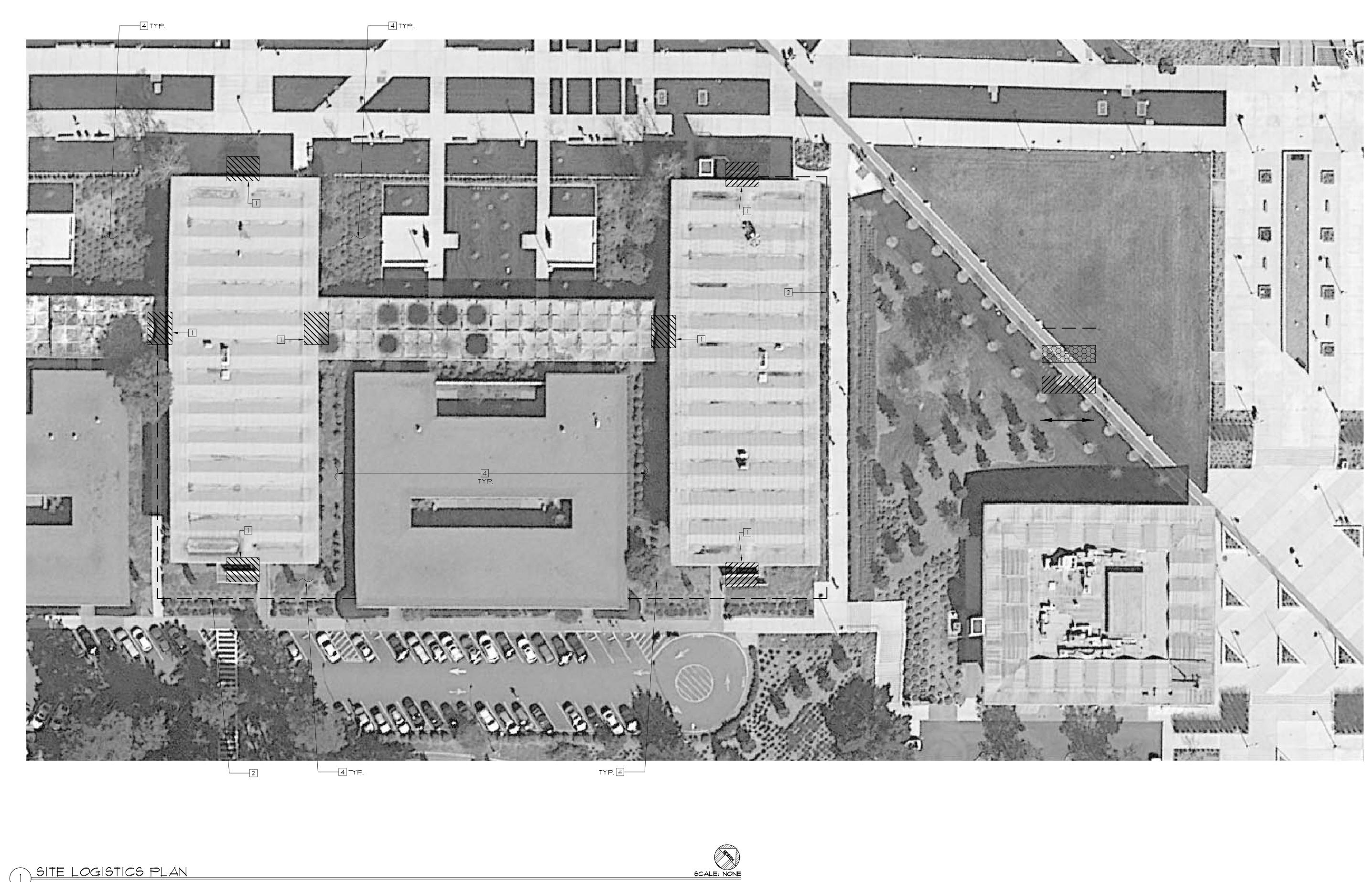
SCOPE OF WORK





SCALE: NOTED ON DRAWINGS





# GENERAL SHEET NOTES

- A. THE TEMPORARY MEASURES AND REQUIREMENTS INDICATED ON THIS SITE LOGISTICS PLAN ILLUSTRATE ONLY A PORTION OF THE CONTRACTOR'S RESPONSIBILITY FOR STORAGE, SAFETY, AND PROTECTION UNDER THE CONTRACT. REFER TO DIVISION O & 1.
- B. BUILDING MATERIALS TO BE STORED IN INDICATED AREAS ONLY. VEHICLES WILL BE ALLOWED IN DESIGNATED LOCATIONS ONLY.
- C. CONTRACTORS, SETUP AND STORAGE AREAS SHALL BE WHERE INDICATED ONLY.
- D. ROOF ACCESS SHALL BE FROM EXTERIOR ONLY. SUBMIT PLAN FOR APPROVAL BY OWNER.
- E. BUILDING AND SITE TO REMAIN IN-USE. DO NOT BLOCK ACCESS TO SITE OR BUILDING AT ANY TIME.
- F. CONTRACTOR TO ABIDE BY SITE PROTECTION AND SITE CLEANING REQUIREMENTS OUTLINED IN DIVISION I OF THE SPECIFICATIONS. CONSTRUCTION AND DEMOLITION DEBRIS TO BE CONFINED WITHIN BARRIER FENCING, EXCEPT AT DESIGNATED DISPOSAL AREAS.
- G. LANDSCAPING AND / OR SITE WORK DAMAGED BY DEMO / CONSTRUCTION OPERATIONS, CONTRACTOR EMPLOYEES, SUB-CONSULATANTS OR CONTRACTORS SUPPLIERS SHALL BE REPLACED BY CONTRACTOR AT NO COST TO OWNER OR OWNER'S REPRESENTATIVES.
- H. ANY DAMAGE TO THE BUILDING EXTERIOR FINISHES, WINDOWS, DOORS, SIGNS OR APPURTANCES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- J. ANY DAMAGE TO (E) PAVED ROADS, WALKWAYS, OR SIDEWALKS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- K. CONTRACTOR SHALL PROVIDE BARRIER FENCING CONTINUOUS AROUND THE AREA OF CONSTRUCTION AS INDICATED, INCLUDING GATES AND LOCKS.
- L. DOOR ENTRANCE CANOPIES SHOWN ARE THE MIN. REQUIRED BY CONTRACT. CONTRACTOR AT HIS OPTION MAY USE ADDITIONAL CANOPIES AS REQUIRED TO COMPLETE THE WORK.
- M. DOOR ENTRANCE CANOPIES SHALL BE FULL WIDTH OF OPENING. FULLY PROTECTED ENTRANCE AND EXIT PATH FOR OCCUPANTS.
- N. CONTRACTOR SETUP AND STORAGE AREA. WALKWAYS ADJACENT TO SETUP AND STORAGE AREAS TO BE MAINTAINED AT WIDTHS IN COMPLIANCE WITH ADA REQUIREMENTS.
- P. PROVIDE DETOUR SIGNAGE WHERE DIRECTED BY THE OWNER, INCLUDING FENCE-MOUNTED SIGNAGE NECESSARY TO RE-DIRECT TO AVAILABLE ENTRANCES.
- Q. NO MATERIAL SHALL BE STOCK PILED ON ROOF SURFACE BEYOND THAT REQUIRED FOR IMMEDIATE USE.
- R. REMOVAL OF DEBRIG FROM ROOF TO GROUND LEVEL SHALL BE BY ENCLOSED CHUTE OR DEBRIS BOX AND CRANE PICKS. CONTRACTOR TO CONSOLIDATE MATERIALS TO MINIMIZE PICKS.
- 5. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

KEY NOTES

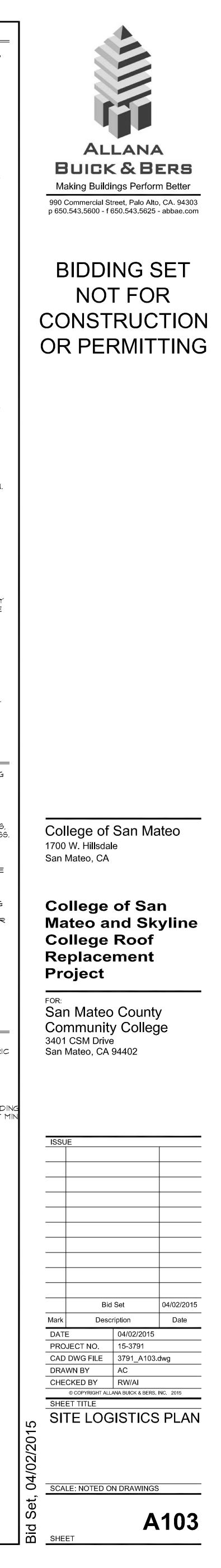
- PROVIDE PROTECTIVE CANOPIES OVER BUILDING DRAWINGS OF EACH CANOPY FOR APPROVAL PRIOR TO ERECTION.
- 2 BARRIER FENCING WITH MESH FABRIC AND LOCKS, WHERE POSSIBLE WHILE MAINTAINING ADA ACCESS.
- 3 AREA FOR CONTRACTOR SETUP AND STORAGE. PROVIDE FENCING AND GATES AS REQ'D, 4' MIN. FROM EDGE OF BUILDING, WHERE POSSIBLE WHILE MAINTAINING ADA ACCESS. CONTRACTOR RESPONSIBLE FOR PROTECTION OF (E) LANDSCAPING OR (E) HARDSCAPING, INCLUDING GRASS TURF. ANY DAMAGE TO (E) LANDSCAPING OR (E) HARDSCAPING SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- 4 TYPICAL ALL LANDSCAPING AREAS TO BE PROTECTED FROM FALLING DEBRIS/SCRAP.
- 5 LOCATION FOR EXTENSION LADDER. ANCHOR PER OSHA REQUIREMENTS.

LEGEND

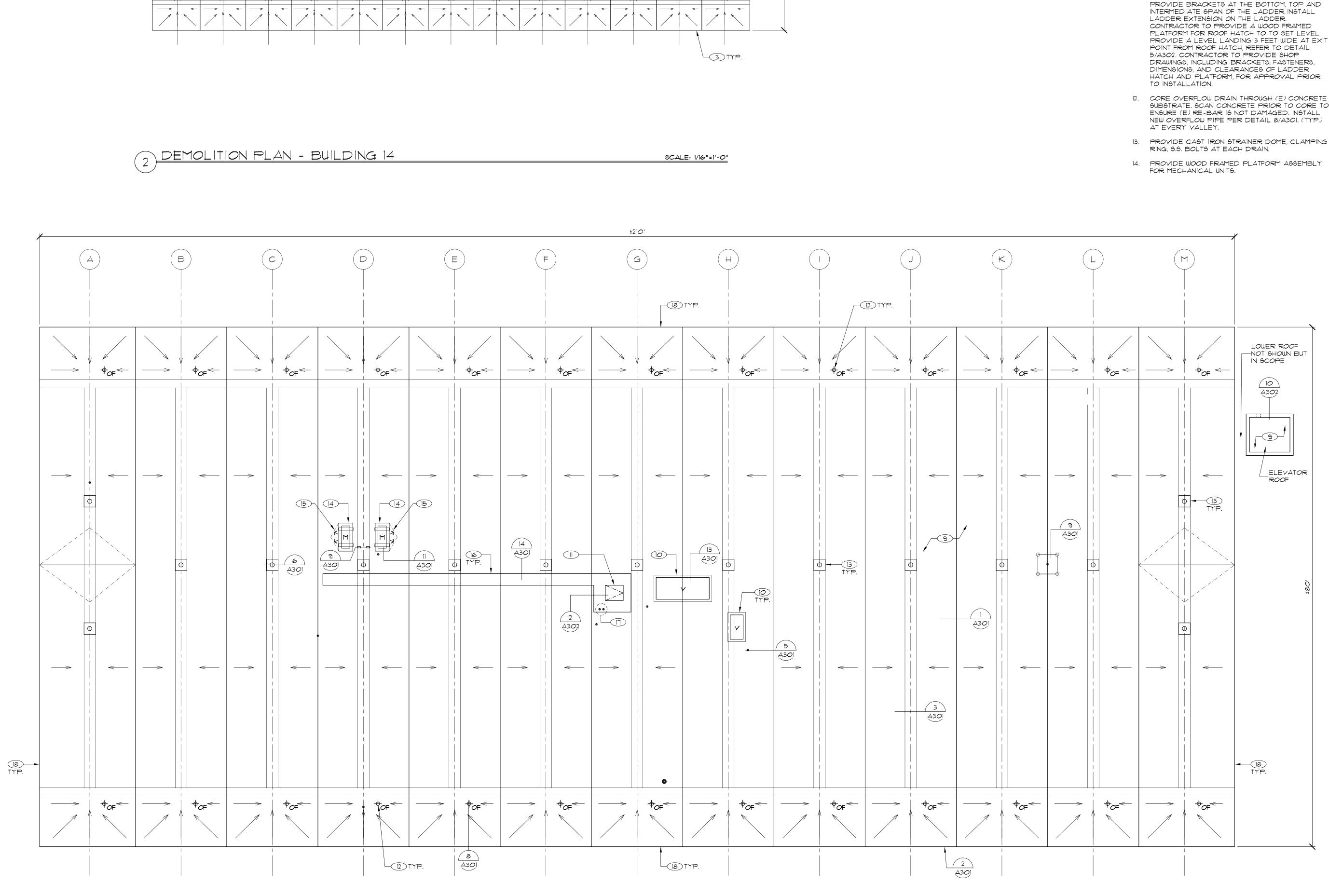
	BARRIER FENCING WITH MEGH FABRIC
	AUTHORIZED CONTRACTOR SETUP AND STORAGE AREA IF FIELD CONDITIONS ALLOW
	PROTECTIVE CANOPIES OVER BUILDIN ENTRANCES AND WALKWAYS & FEET MI TWICE THAT OF SCAFFOLDING
<b></b>	PATH OF TRAVEL

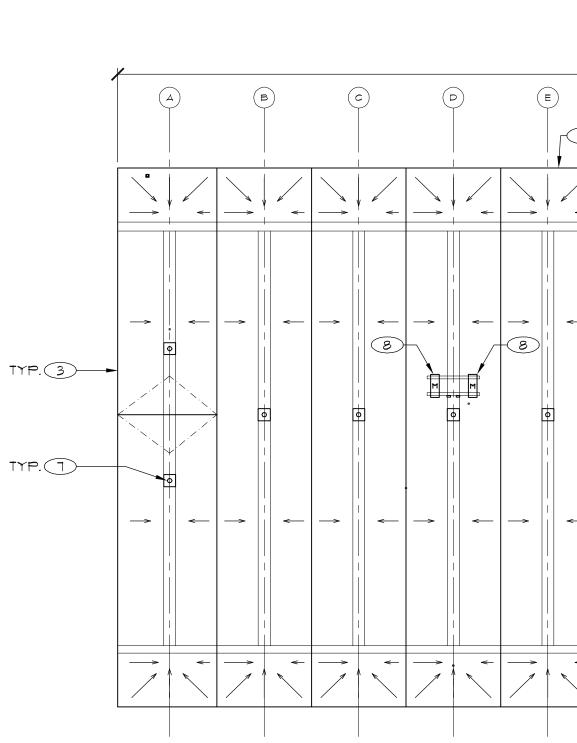
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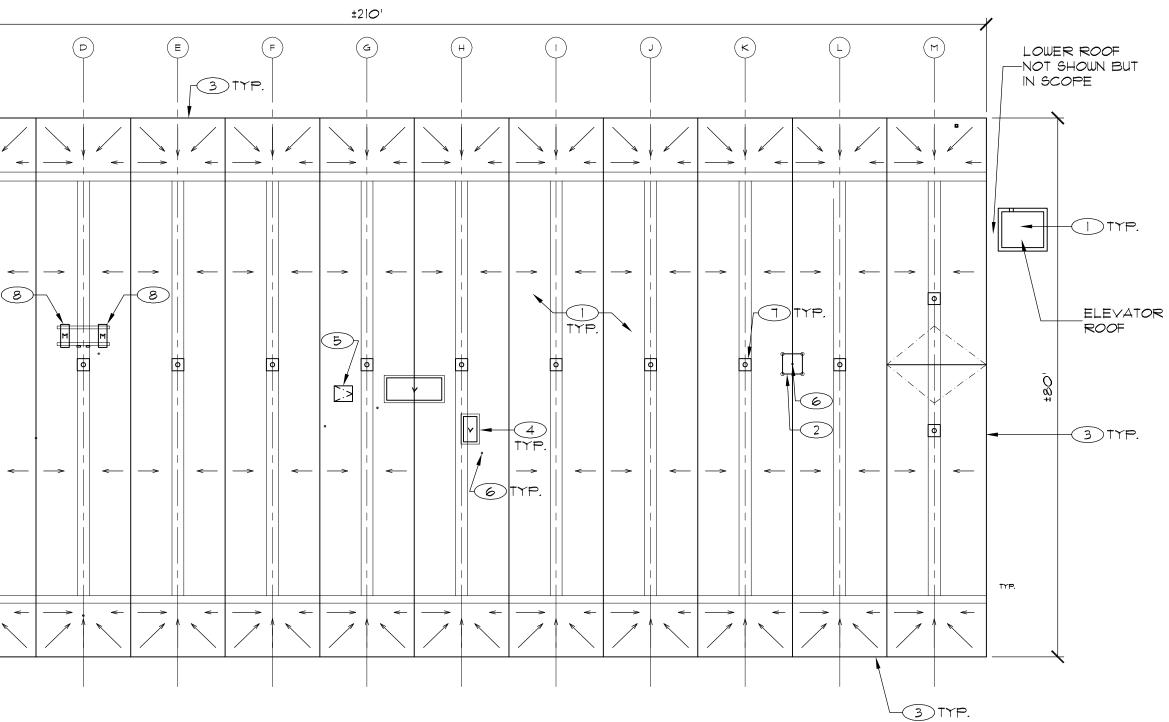












ROOF PLAN - BUILDING 14

SYSTEM.

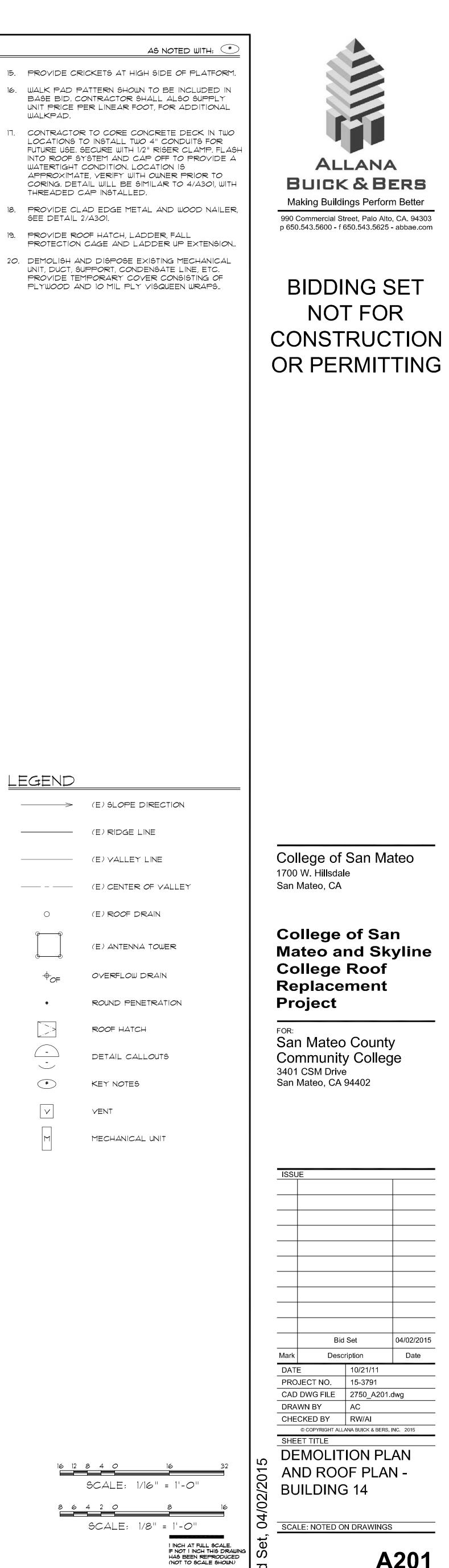
ASSEMBLY.

- 1. DEMOLISH AND DISPOSE EXISTING GRANULAR SURFACED ASPHALT CAP SHEET BUILT UP ROOF
- 2. DISCONNECT EXISTING SUPPORT ASSEMBLY FRAME WORK AND RAISE TO ACCOMPLISH INSTALLATION OF ENCAPSULATED SLEEPERS.
- RESET IN PLACE OVER SLEEPER AND RESECURE. 3. DEMOLISH AND DISPOSE EXISTING EDGE METAL. DO NOT DAMAGE EXISTING CONCRETE
- SUBSTRATE. 4. DEMOLISH AND DISPOSE EXISTING VENT
- 5. DEMOLISH AND DISPOSE EXISTING ROOF HATCH ASSEMBLY AND LADDER.
- 6. DEMOLISH AND DISPOSE EXISTING FLASHING, DO NOT DAMAGE EXISTING PENETRATIONS.
- 1. DEMOLISH AND DISPOSE EXISTING STRAINER DOME, CLAMPING RING, AND BOLTS.
- 8. DEMOLISH AND DISPOSE EXISTING WOOD SLEEPERS AND ASSOCIATED EQUIPMENT
- PROVISIONS. 9. PROVIDE 60 MIL FELT BACKED THERMOPLASTIC SINGLE PLY ROOF SYSTEM OVER 1/2" THICK SUBSTRATE BOARD, PRE-PRIMED.

SUPPORTS. PROVIDE TEMPORARY SUPPORT

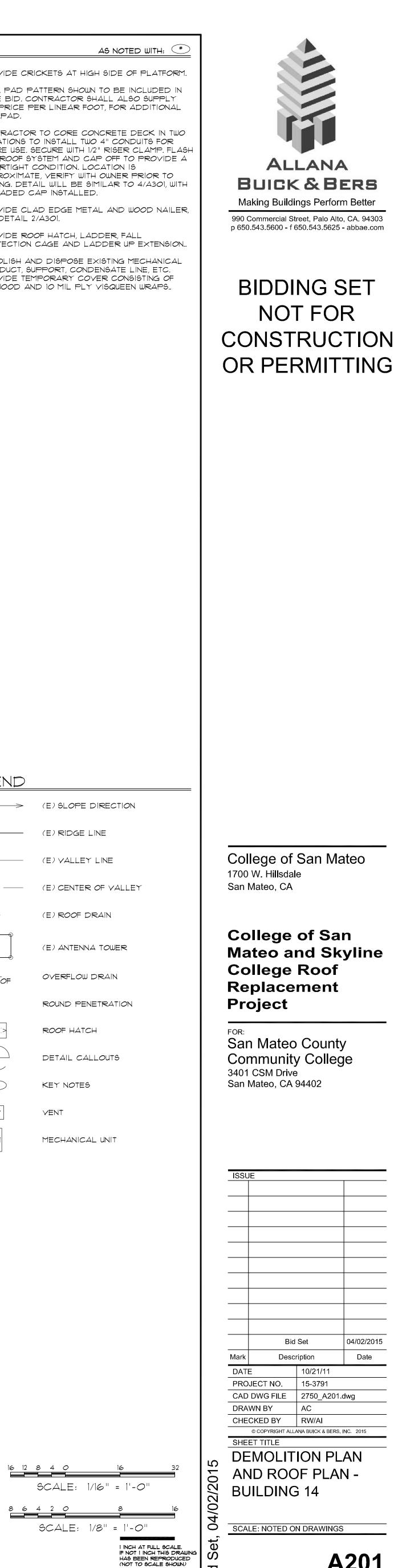
- 10. PROVIDE VENT CURB ASSEMBLY WITH ROOFING AND INTEGRATED ARCHITECTURAL HOOD ASSEMBLY.
- 11. PROVIDE CAL OSHA APPROVED ROOF HATCH AND LADDER. INSTALL ACCESS LADDER IN THE CUSTODIAL CLOSET ON THE WEST ELEVATION WALL, PROVIDE BRACKETS THAT WILL ACCOMPLISH A 19 INCH STANDOFF THE WALL. PROVIDE BRACKETS AT THE BOTTOM, TOP AND INTERMEDIATE SPAN OF THE LADDER. INSTALL CONTRACTOR TO PROVIDE A WOOD FRAMED PLATFORM FOR ROOF HATCH TO TO SET LEVEL PROVIDE A LEVEL LANDING 3 FEET WIDE AT EXIT POINT FROM ROOF HATCH, REFER TO DETAIL DRAWINGS, INCLUDING BRACKETS, FASTENERS, DIMENSIONS, AND CLEARANCES OF LADDER HATCH AND PLATFORM, FOR APPROVAL PRIOR
- SUBSTRATE. SCAN CONCRETE PRIOR TO CORE TO ENSURE (E) RE-BAR IS NOT DAMAGED, INSTALL NEW OVERFLOW PIPE PER DETAIL 8/A301. (TYP.)
- 13. PROVIDE CAST IRON STRAINER DOME, CLAMPING
- 14. PROVIDE WOOD FRAMED PLATFORM ASSEMBLY

SCALE: 1/8"=1'-0"



- 17
- 18

(E) RIDGE LINE
(E) VALLEY LII
(E) CENTER OF
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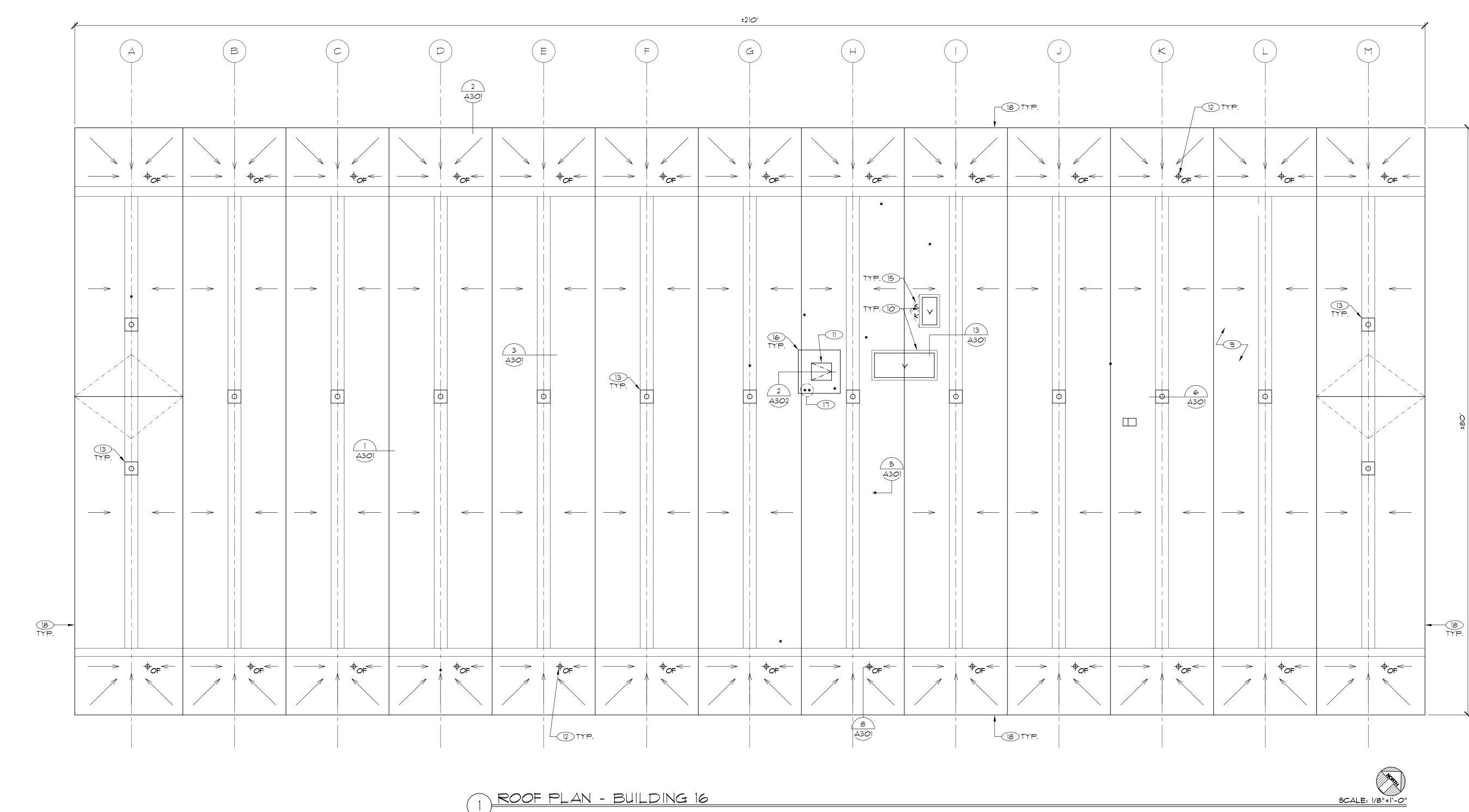


SHEET

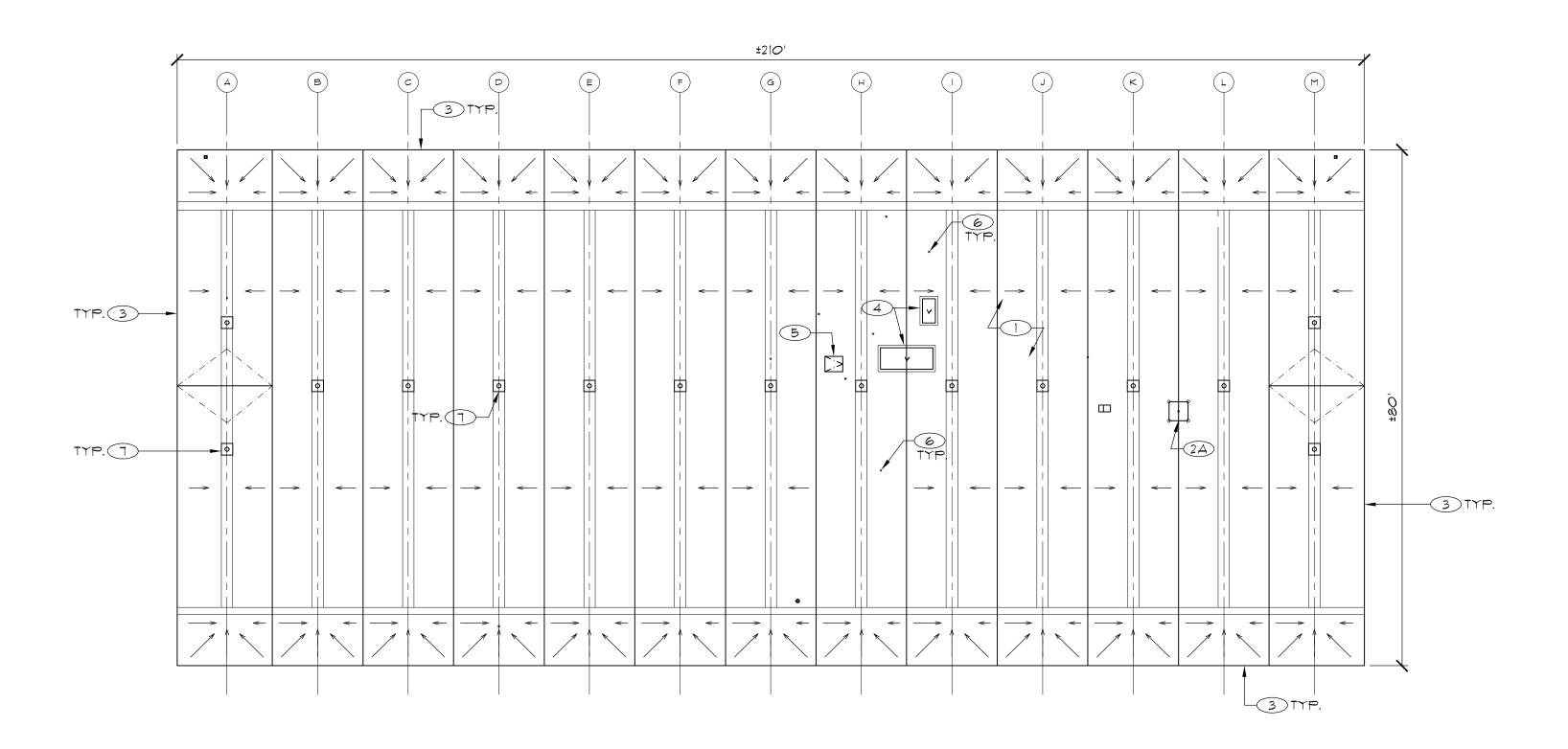
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2 DEMOLITION PLAN - BUILDING 16



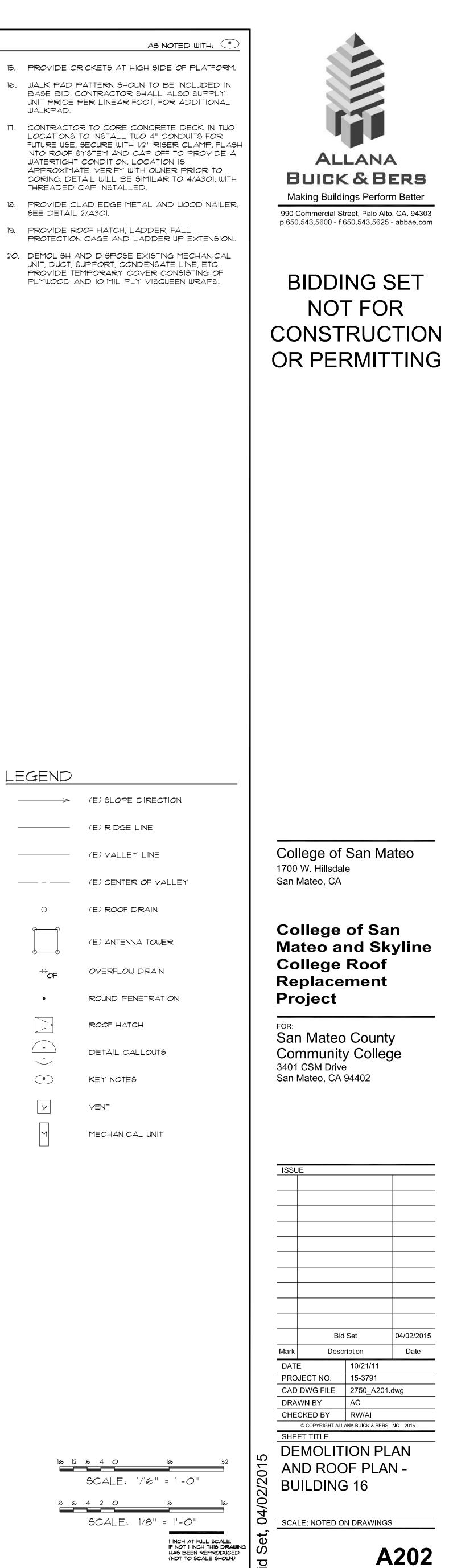
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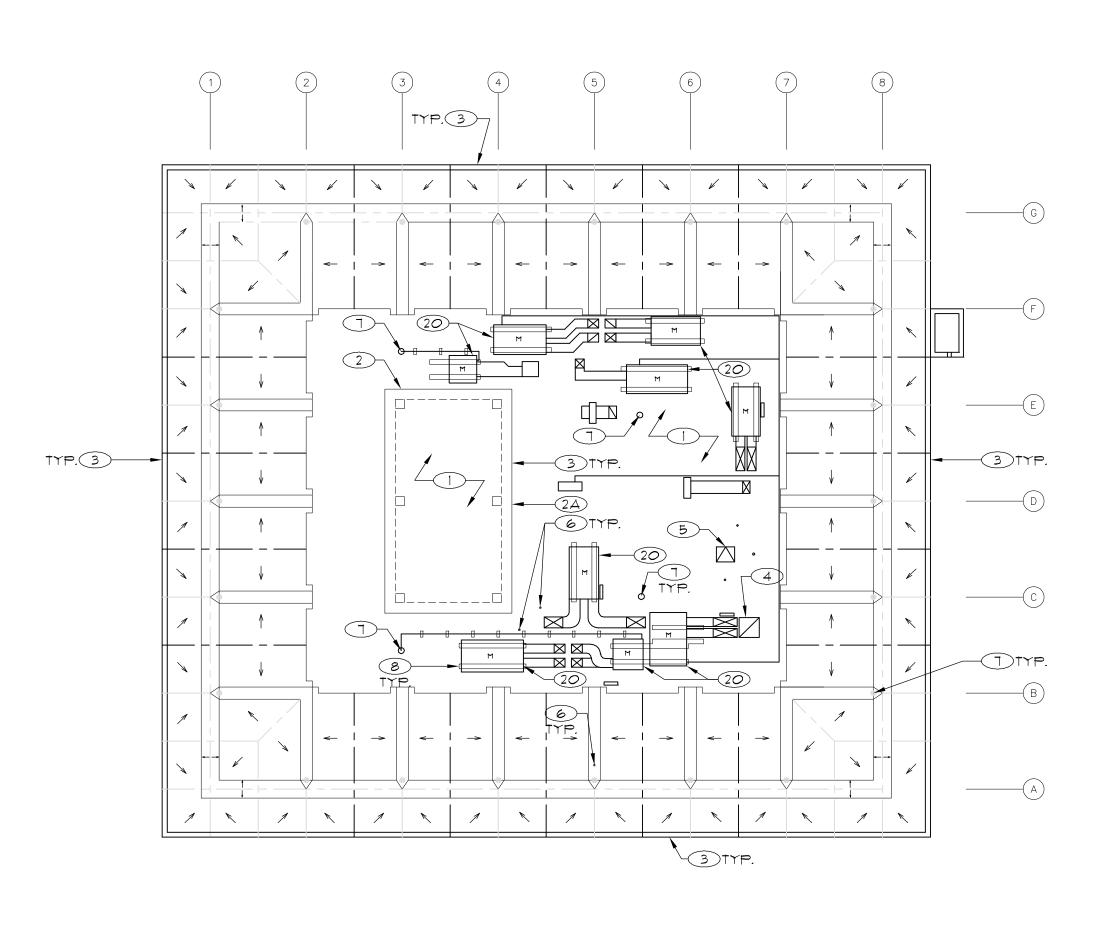
SYSTEM.

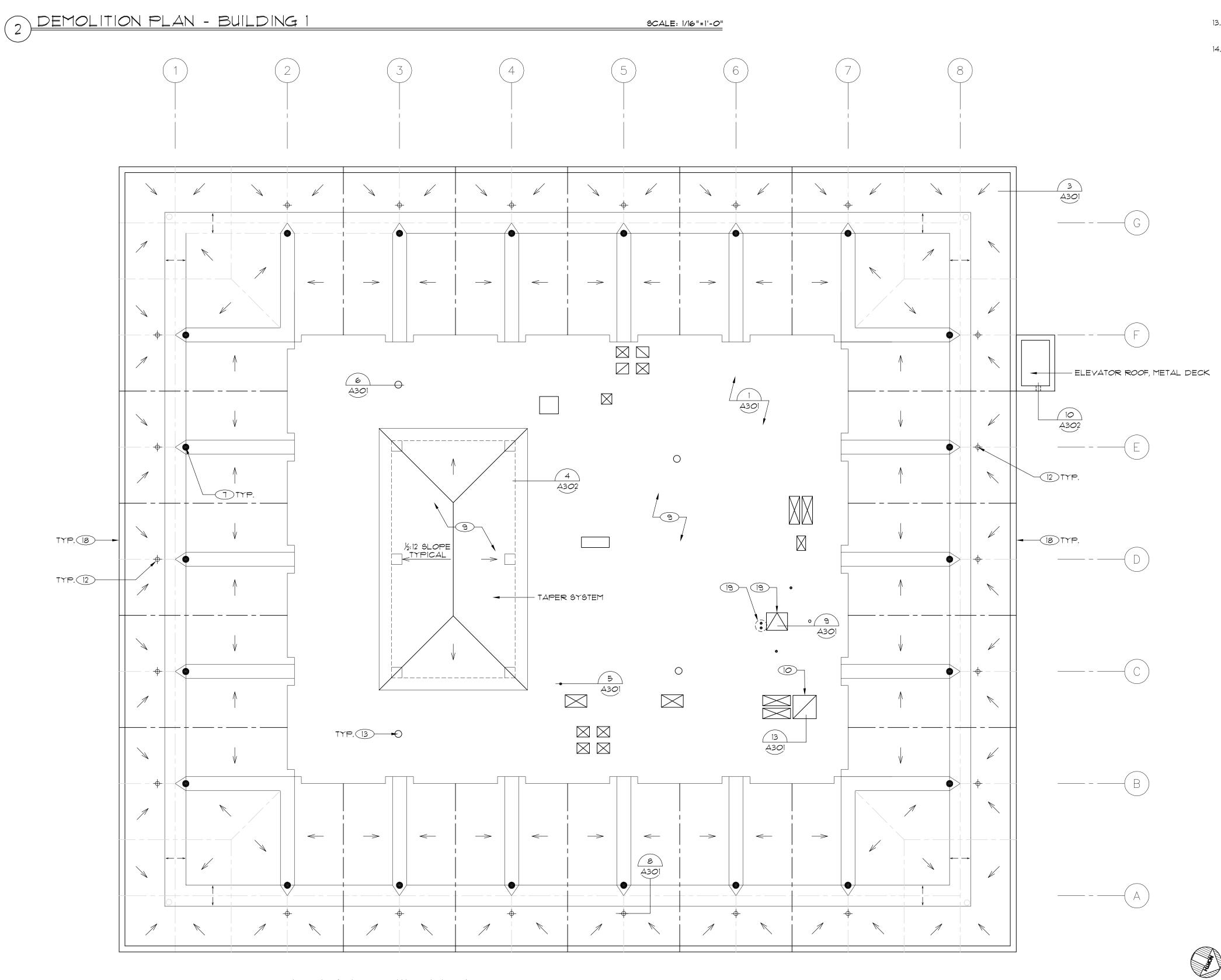
- 1. DEMOLISH AND DISPOSE EXISTING GRANULAR SURFACED ASPHALT CAP SHEET BUILT UP ROOF
- 2. DISCONNECT EXISTING SUPPORT ASSEMBLY FRAME WORK AND RAISE TO ACCOMPLISH INSTALLATION OF ENCAPSULATED SLEEPERS. RESET IN PLACE OVER SLEEPER AND RESECURE.
- 2A. DEMOLISH AND DISPOSE OF EXISTING SUPPORT/FRAMEWORK, SALVAGE EXISTING SATELLITE AND DELIVER TO OWNER.
- 3. DEMOLISH AND DISPOSE EXISTING EDGE METAL. DO NOT DAMAGE EXISTING CONCRETE SUBSTRATE.
- 4. DEMOLISH AND DISPOSE EXISTING VENT ASSEMBLY.
- 5. DEMOLISH AND DISPOSE EXISTING ROOF HATCH ASSEMBLY AND LADDER.
- 6. DEMOLISH AND DISPOSE EXISTING FLASHING, DO NOT DAMAGE EXISTING PENETRATIONS.
- 7. DEMOLISH AND DISPOSE EXISTING STRAINER DOME, CLAMPING RING, AND BOLTS.
- 8. DEMOLISH AND DISPOSE EXISTING WOOD SLEEPERS AND ASSOCIATED EQUIPMENT SUPPORTS. PROVIDE TEMPORARY SUPPORT PROVISIONS.
- 9. PROVIDE 60 MIL FELT BACKED THERMOPLASTIC SINGLE PLY ROOF SYSTEM OVER 1/2" THICK SUBSTRATE BOARD, PRE-PRIMED.
- 10. PROVIDE VENT CURB ASSEMBLY WITH ROOFING AND INTEGRATED ARCHITECTURAL HOOD ASSEMBLY.
- II. PROVIDE CAL OSHA APPROVED ROOF HATCH AND LADDER. INSTALL ACCESS LADDER IN THE CUSTODIAL CLOSET ON THE WEST ELEVATION WALL. PROVIDE BRACKETS THAT WILL ACCOMPLISH A 19 INCH STANDOFF THE WALL. PROVIDE BRACKETS AT THE BOTTOM, TOP AND INTERMEDIATE SPAN OF THE LADDER INSTALL LADDER EXTENSION ON THE LADDER. CONTRACTOR TO PROVIDE A WOOD FRAMED PLATFORM FOR ROOF HATCH TO TO SET LEVEL PROVIDE A LEVEL LANDING 3 FEET WIDE AT EXIT POINT FROM ROOF HATCH, REFER TO DETAIL 5/A302. CONTRACTOR TO PROVIDE SHOP DRAWINGS, INCLUDING BRACKETS, FASTENERS, DIMENSIONS, AND CLEARANCES OF LADDER HATCH AND PLATFORM, FOR APPROVAL PRIOR TO INSTALLATION.
- 12. CORE OVERFLOW DRAIN THROUGH (E) CONCRETE SUBSTRATE, SCAN CONCRETE PRIOR TO CORE TO ENSURE (E) RE-BAR IS NOT DAMAGED. INSTALL NEW OVERFLOW PIPE PER DETAIL 8/A301. (TYP.) AT EVERY VALLEY.
- 13. PROVIDE CAST IRON STRAINER DOME, CLAMPING RING, S.S. BOLTS AT EACH DRAIN.
- 14. PROVIDE WOOD FRAMED PLATFORM ASSEMBLY FOR MECHANICAL UNITS.

- 16. WALK PAD PATTERN SHOWN TO BE INCLUDED IN BASE BID. CONTRACTOR SHALL ALSO SUPPLY UNIT PRICE PER LINEAR FOOT, FOR ADDITIONAL WALKPAD.
- 17. CONTRACTOR TO CORE CONCRETE DECK IN TWO LOCATIONS TO INSTALL TWO 4" CONDUITS FOR FUTURE USE. SECURE WITH 1/2" RISER CLAMP. FLASH INTO ROOF SYSTEM AND CAP OFF TO PROVIDE A WATERTIGHT CONDITION, LOCATION IS APPROXIMATE, VERIFY WITH OWNER PRIOR TO CORING. DETAIL WILL BE SIMILAR TO 4/A301, WITH THREADED CAP INSTALLED.
- 18. PROVIDE CLAD EDGE METAL AND WOOD NAILER, SEE DETAIL 2/A3OI.
- 20. DEMOLISH AND DISPOSE EXISTING MECHANICAL UNIT, DUCT, SUPPORT, CONDENSATE LINE, ETC. PROVIDE TEMPORARY COVER CONSISTING OF

EGEND	
>	(E) SLOPE DIRECTION
	(E) RIDGE LINE
	(E) VALLEY LINE
	(E) CENTER OF VALLEY
0	(E) ROOF DRAIN
	(E) ANTENNA TOWER
-∲_OF	OVERFLOW DRAIN
e	ROUND PENETRATION
	ROOF HATCH
	DETAIL CALLOUTS
#	KEY NOTES
V	VENT
Μ	MECHANICAL UNIT







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ROOF PLAN - BUILDING

SYSTEM.

ASSEMBLY.

PROVISIONS.

- 1. DEMOLISH AND DISPOSE EXISTING GRANULAR SURFACED ASPHALT CAP SHEET BUILT UP ROOF
- 2. DISCONNECT EXISTING SUPPORT ASSEMBLY FRAME WORK AND RAISE TO ACCOMPLISH INSTALLATION OF ENCAPSULATED SLEEPERS.
- RESET IN PLACE OVER SLEEPER AND RESECURE. 3. DEMOLISH AND DISPOSE EXISTING EDGE METAL. DO NOT DAMAGE EXISTING CONCRETE
- SUBSTRATE. 4. DEMOLISH AND DISPOSE EXISTING VENT
- 5. DEMOLISH AND DISPOSE EXISTING ROOF HATCH ASSEMBLY AND LADDER.
- 6. DEMOLISH AND DISPOSE EXISTING FLASHING. DO NOT DAMAGE EXISTING PENETRATIONS.
- 7. DEMOLISH AND DISPOSE EXISTING STRAINER DOME, CLAMPING RING, AND BOLTS.
- 8. DEMOLISH AND DISPOSE EXISTING WOOD SLEEPERS AND ASSOCIATED EQUIPMENT SUPPORTS. PROVIDE TEMPORARY SUPPORT
- 9. PROVIDE 60 MIL FELT BACKED THERMOPLASTIC SINGLE PLY ROOF SYSTEM OVER 1/2" THICK SUBSTRATE BOARD, PRE-PRIMED.
- 10. PROVIDE VENT CURB ASSEMBLY WITH ROOFING AND INTEGRATED ARCHITECTURAL HOOD ASSEMBLY.
- 11. PROVIDE CAL OSHA APPROVED ROOF HATCH AND LADDER. INSTALL ACCESS LADDER IN THE CUSTODIAL CLOSET ON THE WEST ELEVATION WALL. PROVIDE BRACKETS THAT WILL ACCOMPLISH A 19 INCH STANDOFF THE WALL. PROVIDE BRACKETS AT THE BOTTOM, TOP AND INTERMEDIATE SPAN OF THE LADDER INSTALL LADDER EXTENSION ON THE LADDER. CONTRACTOR TO PROVIDE A WOOD FRAMED PLATFORM FOR ROOF HATCH TO TO SET LEVEL PROVIDE A LEVEL LANDING 3 FEET WIDE AT EXIT POINT FROM ROOF HATCH, REFER TO DETAIL 5/A302. CONTRACTOR TO PROVIDE SHOP DRAWINGS, INCLUDING BRACKETS, FASTENERS, DIMENSIONS, AND CLEARANCES OF LADDER HATCH AND PLATFORM, FOR APPROVAL PRIOR to Installation.
- 12. CORE OVERFLOW DRAIN THROUGH (E) CONCRETE SUBSTRATE, SCAN CONCRETE PRIOR TO CORE TO ENSURE (E) RE-BAR IS NOT DAMAGED, INSTALL NEW OVERFLOW PIPE PER DETAIL 8/A301. (TYP.) AT EVERY VALLEY.
- 13. PROVIDE CAST IRON STRAINER DOME, CLAMPING RING, S.S. BOLTS AT EACH DRAIN.
- 14. PROVIDE WOOD FRAMED PLATFORM ASSEMBLY FOR MECHANICAL UNITS.

SCALE: 1/8"=1'-0"

AS NOTED WITH:

- 15. PROVIDE CRICKETS AT HIGH SIDE OF PLATFORM. 16. WALK PAD PATTERN SHOWN TO BE INCLUDED IN BASE BID. CONTRACTOR SHALL ALSO SUPPLY UNIT PRICE PER LINEAR FOOT, FOR ADDITIONAL WALKPAD.
- CONTRACTOR TO CORE CONCRETE DECK IN TWO 17. LOCATIONS TO INSTALL TWO 4" CONDUITS FOR FUTURE USE. SECURE WITH 1/2" RISER CLAMP. FLASH INTO ROOF SYSTEM AND CAP OFF TO PROVIDE A WATERTIGHT CONDITION, LOCATION IS APPROXIMATE, VERIFY WITH OWNER PRIOR TO CORING. DETAIL WILL BE SIMILAR TO 4/A301, WITH THREADED CAP INSTALLED.
- PROVIDE CLAD EDGE METAL AND WOOD NAILER, 18 SEE DETAIL 2/A3OI.

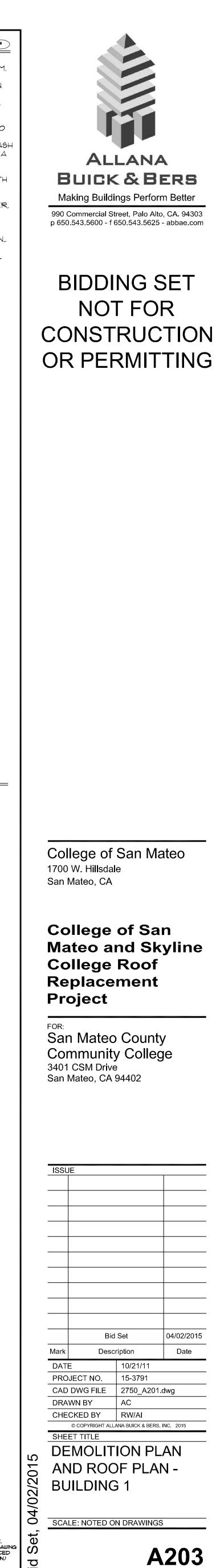
PROVIDE ROOF HATCH, LADDER, FALL

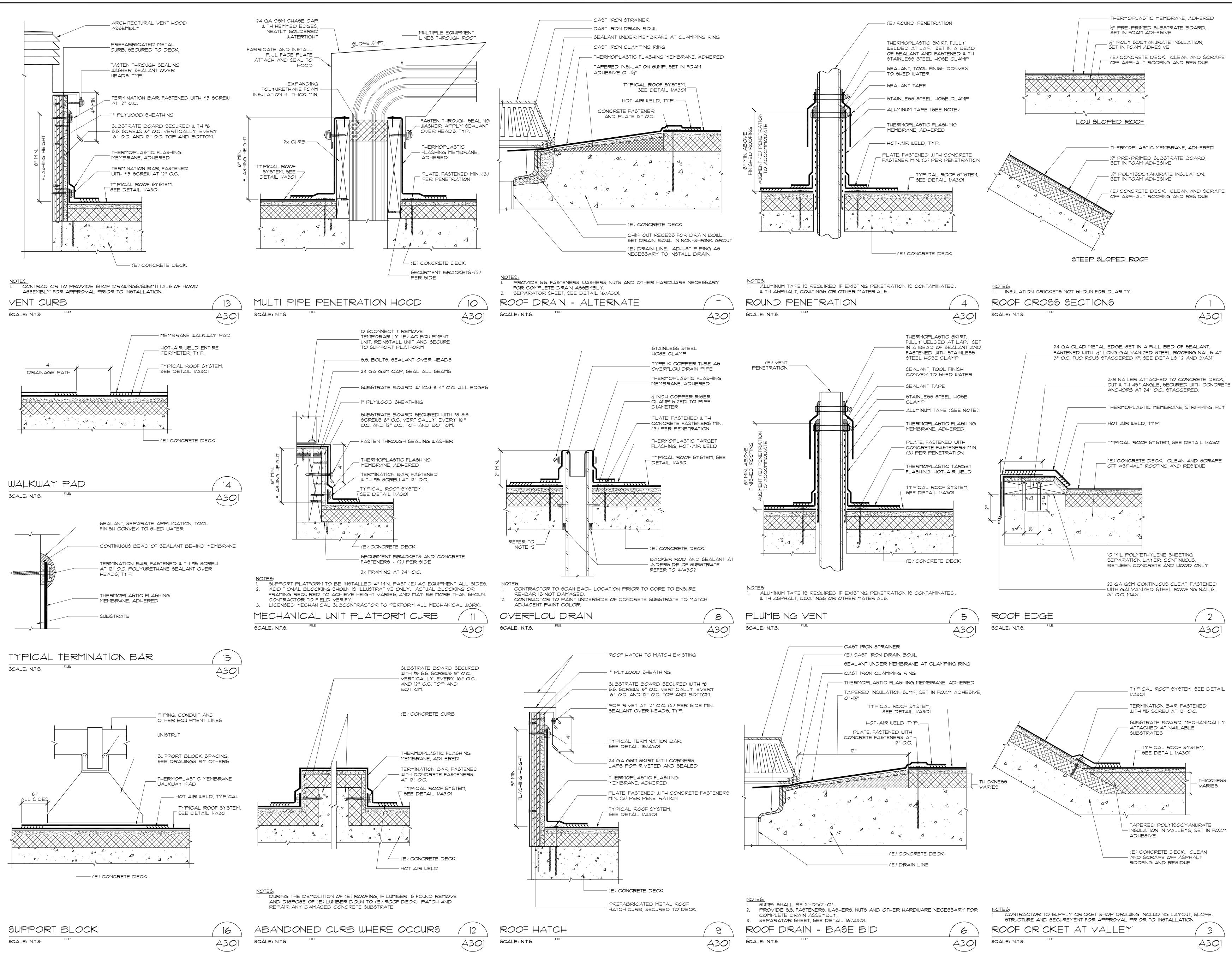
19,

PROTECTION CAGE AND LADDER UP EXTENSION .. 20. DEMOLISH AND DISPOSE EXISTING MECHANICAL UNIT, DUCT, SUPPORT, CONDENSATE LINE, ETC. PROVIDE TEMPORARY COVER CONSISTING OF PLYWOOD AND 10 MIL PLY VISQUEEN WRAPS ..

	LEGEND	
	>	(E) SLOPE DIRECTION
		(E) RIDGE LINE
		(E) VALLEY LINE
		(E) CENTER OF VALLEY
	0	(E) ROOF DRAIN
1ETAL DECK		(E) ANTENNA TOWER
		OVERFLOW DRAIN
	ø	ROUND PENETRATION
		ROOF HATCH
	 	DETAIL CALLOUTS
	#	KEY NOTES
	V	VENT
	Μ	MECHANICAL UNIT

16 12	840	16	32
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86	4 2 0	8	16
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College of San Mateo 1700 W. Hillsdale San Mateo, CA

College of San Mateo and Skyline College Roof Replacement Project

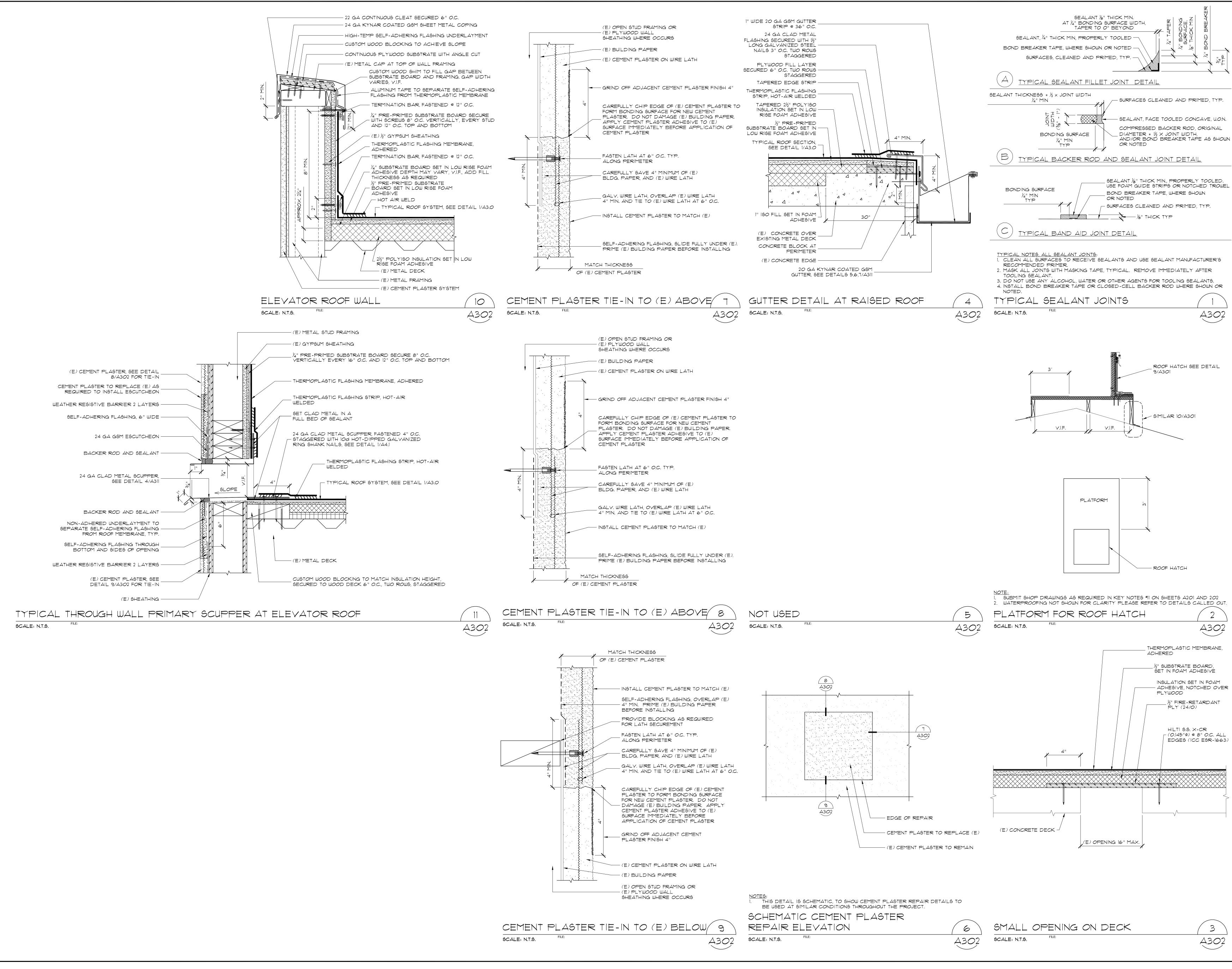
San Mateo County Community College 3401 CSM Drive San Mateo, CA 94402

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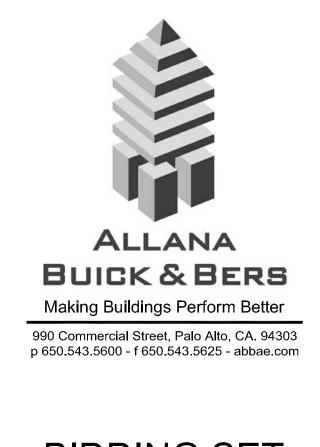


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College of San Mateo 1700 W. Hillsdale San Mateo, CA

College of San Mateo and Skyline **College Roof** Replacement Project

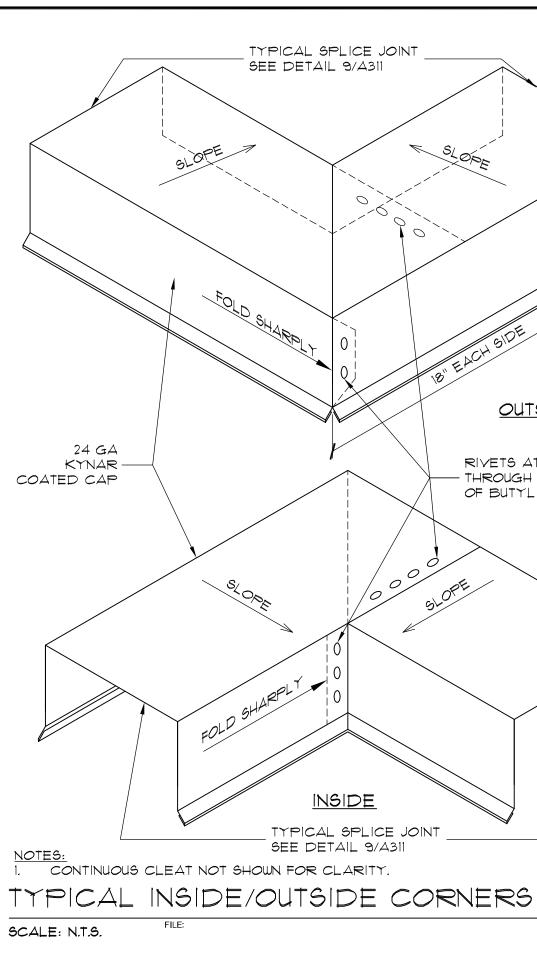
San Mateo County **Community College** 3401 CSM Drive San Mateo, CA 94402

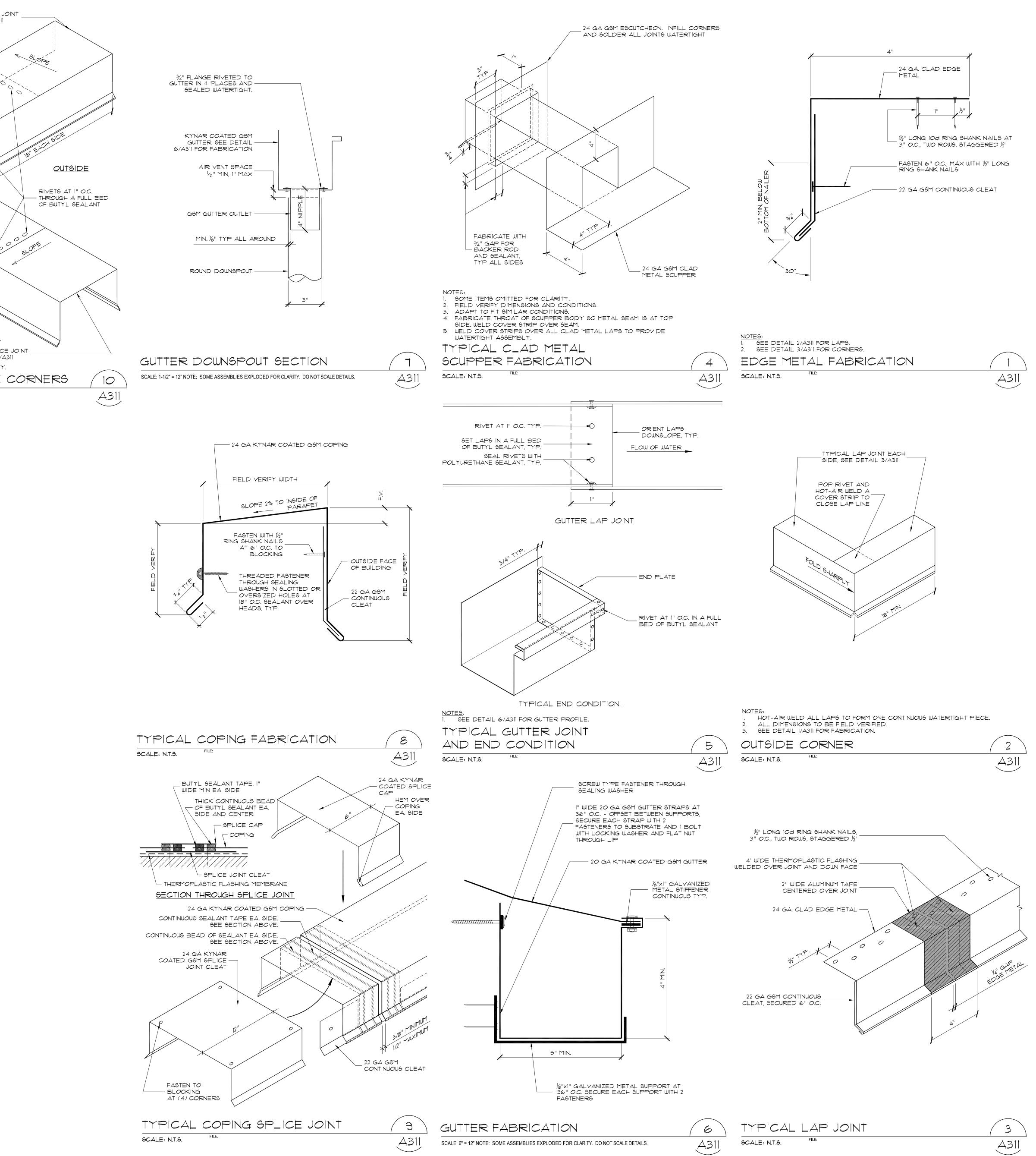
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College of San Mateo and Skyline College Roof Replacement Project

FOR: San Mateo County Community College 3401 CSM Drive San Mateo, CA 94402

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PHOTO SCALE: N.T.S.





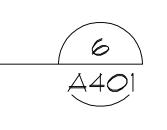




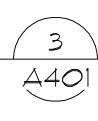














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College of San Mateo 1700 W. Hillsdale San Mateo, CA

College of San Mateo and Skyline College Roof Replacement Project

FOR: San Mateo County Community College 3401 CSM Drive San Mateo, CA 94402

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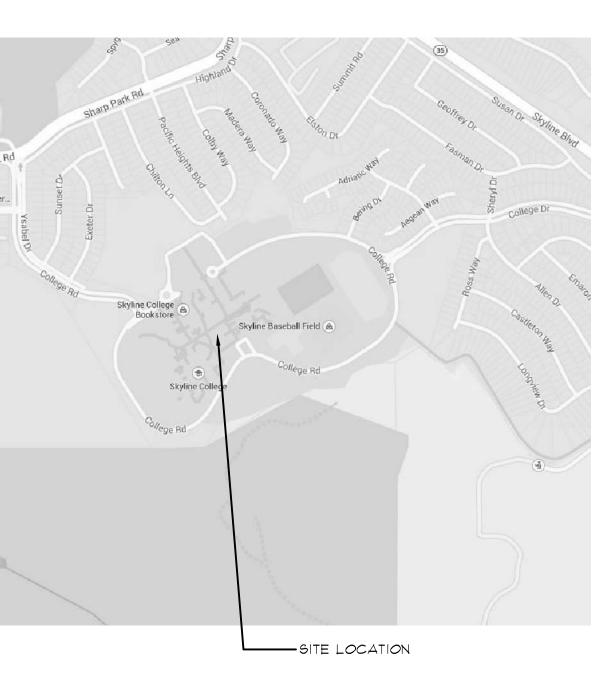


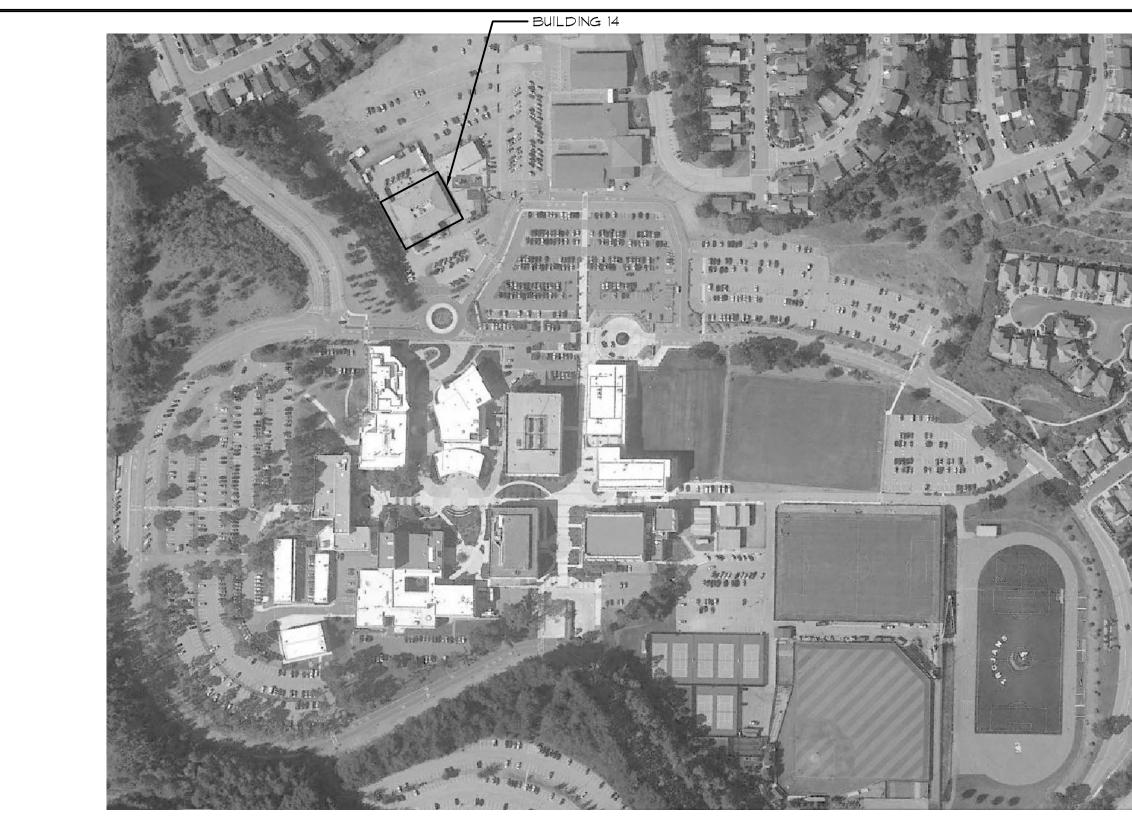
# College of San Mateo and Skyline College Roof Replacement Project

ABBREVIATIONS FOR REFERENCE - USE AS NECESSARY	GENERAL NOTES	SCOF
I         ANK_E         E         EAT         AN         APTOR         RO         BOLDER         BOLDER           L         CAPEER RNE         E         EXAL         JI         JORT         RR         BOLDER         BOLDER           L         PERFENCILAR         EB         EXALSTEN         JI         JORT         RR         BUERDED 2002           AB         AVECREDIT         EB         EXALSTEN         JA         LANDER         BL         BUERDED 2002           AB         AVECREDIT         ELC         ESECTION         JA         LANDER         BL         BUERDED 2002           AC         AARALING CONVERTE         BL         ESECTION         JA         LANDER         BL         BUERDED 2002           AC         AARALING CONVERTE         BL         ESAL         MA         LANDER         BL         BUELDEN         LI         LANDER         BL         BUELDEN         ANA           AC         AARALING CONVERTE         BL         ESAL         MA         MACON MARCH         BL         ESAL         MA         BUELDEN         BL         BUELDEN         BUELDEN         BUELDEN         BUELDEN         BUELDEN         BUELDEN         BUELDEN         BUELDEN	<ul> <li>BLDING OR START OF ANY USEK.</li> <li>NOTES SECTIONS, AND DETAILS DESCRIBING THE TYPE OF COMPONENT OR NECESSARY LORK TO THAT COMPONENT ARE TYPE/CLIFOR ALL SMILLAR TEXTS, AND THE NOTE SECTION OR DETAILS BALL APPLY A BIT CALLED OUT SERVARIATELY AT BLACK TEXTS, AND THE NOTE SECTION OR DETAILS BALL BALL APPLY A BIT CALLED OUT SERVARIATELY AT BLACK TEXTS, AND THE NOTE SECTION OR DETAILS BALL BALL APPLY AN BIT CALLED OUT SERVARIATELY AT BLACK THE PROCEEDS OF THE LOCK LASTER CONTINNE SPECIFIC CONDITIONS TO THE LIP IN THE CONTRACT DRIVEN THE CONTRACT ON THE CONTRACT</li></ul>	<ol> <li>PROTECTION: INSTALL ALL PROTECTION NECESSART SEGREGATE THE WORKSITE FROM THE GENERAL C ABATEMENT PROTOCOL.</li> <li>DEMOLISH (E) ROOFING AND/OR COATING DOWN TO (E)</li> <li>DEMOLITION: REFER TO SELECTIVE DEMOLITION SCHE DOCUMENTS: SELECTIVE ABATEMENT OF ASBESTOS CALLKING AT METAL ROOF EDGE AND ALL LAYERS PROTOCOL. COLONNADE 14-16 DOES NOT CONTAIN AS</li> <li>PROVIDE CAST IRON STRAINER, CLAMPING RING, AI ROOFING IS COMPLETE CLEAN ALL DRAINS AND OV FLOWING. UTILIZE "ROTO-ROOTERS" TYPE EQUIPMENT I DRAIN. OWNER'S REPRESENTATIVE MUST BE PRESENT</li> <li>PROVIDE UNIT PRICE TO DEMOLISH AND PROVIDE S STRAINER, CLAMPING RING, AND ASSOCIATED COMPO</li> <li>PROVIDE FLUID APPLIED ROOFING INDICATED IN CON 1. PROVIDE FLUID APPLIED ROOFING AT COLONNADES DRAWINGS.</li> <li>PROVIDE FLUID-APPLIED ROOFING AT COLONNADES DRAWINGS.</li> <li>PROVIDE PAINT AT CONCRETE UNDER EDGE METAL, E</li> <li>PROVIDE SHEET METAL FLASHING AND TRIM, JOINT S COMPLETE THE WORK.</li> <li>PROVIDE OTHER WORK SHOWN OR NOTED IN THE CON 1. REMOVE ALL CONSTRUCTION DEBRIS, TOOLS, EQ LANDSCAPING TO PRE-CONSTRUCTION CONDITION.</li> <li>CONCRETE REINFORCEMENT IS NOT SHOUNT IN DETAILS OF FASTENER'S RELOCATE FASTENER'S TO ADJACENT L</li> <li>PROVIDE SCHEDULE OF SEQUENCE FOR COLONNADE WORK.</li> <li>CORE DRILL EXISTING CONCRETE AND PROVIDE O SECURE PIPE TO SUBSTRATE. SCAN EXISTING CONC THROUGH CONCRETE. DRILLING THROUGH EXISTING F THAT EXPOSE EXISTING REINFORCING SHALL BE PATC</li> <li>RE-ROUTE/LIFT (E) ELECTRICAL CONDUITS AND JUNCTI 10. PROVIDE COMPLETE SET OF AS-BUILT RECORD DRAW</li> <li>PROVIDE COMPLETE SET OF AS-BUILT RECORD DRAW</li> </ol>
VICINITY MAP	LOCATION MAP	
Pacifica Browney More Hore	Page 200 etc.	

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# Skyline College **3300 College Drive** San Bruno, CA 94066





PE OF WORK	DRAWING INDEX
Y TO PREVENT DAMAGE TO BUILDING COMPONENTS AND GROUNDS AND CAMPUS, INCLUDE REQUIRED FOR ASBESTOS ABATEMENT, REFER TO	A101 COVER SHEET, ABBREVIATIONS, GENERAL NOTES, INDEX, LOCATION AND VICINITY MAP
(E) CONCRETE SUBSTRATE DEMOLISH (E) FLASHING AND ACCESSORIES.	A2010 ROOF PLAN DEMO - BUILDING 14 A201 ROOF PLAN - BUILDING 14
HEDULE IN SECTION 024122 "SELECTIVE DEMOLITION" AND THE CONTRACT 05 CONTAINING MATERIALS (ACM) INCLUDE IN PROJECT. ACM IN (E) 26 OF ROOFING MATERIAL 15 TO BE REMOVED. REFER TO ABATEMENT ASBESTOS.	A301 BUILT-UP DETAILS A302 SHINGLE DETAILS
AND HARDWARE, CLEAN EXISTING DRAIN BOWLS, AFTER DRAIN AND OVERFLOW PIPING DEBRIS AND CLOGS SUCH THAT THE SYSTEM IS FREE TOOWN FROM THE ROOF TO THE STORM SEWER CONNECTIONS FOR EACH TOURING CLEANING.	A401 PHOTOS
SINGLE DRAIN IN CONCRETE DECK. DEMOLITION AND PROVISION OF ONENTS ARE IN BASE BID.	
NTRACT DOCUMENTS. PROVIDE WOOD NAILERS, METAL FLASHINGS, ETC.	
6 AND DISTRICT OFFICE BALCONY DECKS INDICATED IN THE CONTRACT	
EXPOSED METAL IN PROJECT, AND WHERE INDICATED.	
SEALANTS, ROUGH CARPENTRY AS INDICATED AND AS REQUIRED TO	
NTRACT DOCUMENTS.	
QUIPMENT AND CONSTRUCTION FENCING FROM SITE AND RESTORE	
S FOR CLARITY. IF REINFORCING IS ENCOUNTERED DURING INSTALLATION UNOBSTRUCTED PERCHES.	
ES AND DISTRICT OFFICE DECKS FOR APPROVAL PRIOR TO START OF	
OVERFLOW DRAINS, OVERFLOW PIPING (COPPER), AND HARDWARE TO CRETE TO LOCATE EXISTING STEEL REINFORCING PRIOR TO DRILLING	APPLICATION CODES
REINFORCING IS NOT PERMITTED. CORES TAKEN THROUGH CONCRETE TCHED AT NO COST TO THE OWNER.	
TION BOXES TO PROVIDE MINIMUM 8" FLASHING HEIGHT.	2013 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE (CAC)
LIMIT ACCESS TO WORK AREAS. REFER TO SITE LOGISTICS PLAN FOR	2013 CALIFORNIA BUILDING CODE (CBC) VOLUME 1 AND 2
	2013 CALIFORNIA ELECTRICAL CODE (CEC)
AWINGS AT PROJECT CLOSE OUT.	2013 CALIFORNIA MECHANICAL CODE (CMC) 2013 CALIFORNIA ENERGY CODE
	2013 CALIFORNIA FIRE CODE (CFC)
	2013 CALIFORNIA GREEN CODE
	2013 CALIFORNIA REFERENCED STANDARDS CODE

# TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.

# AERIAL MAP



Skyline College 3300 College Drive, San Bruno, CA 94066

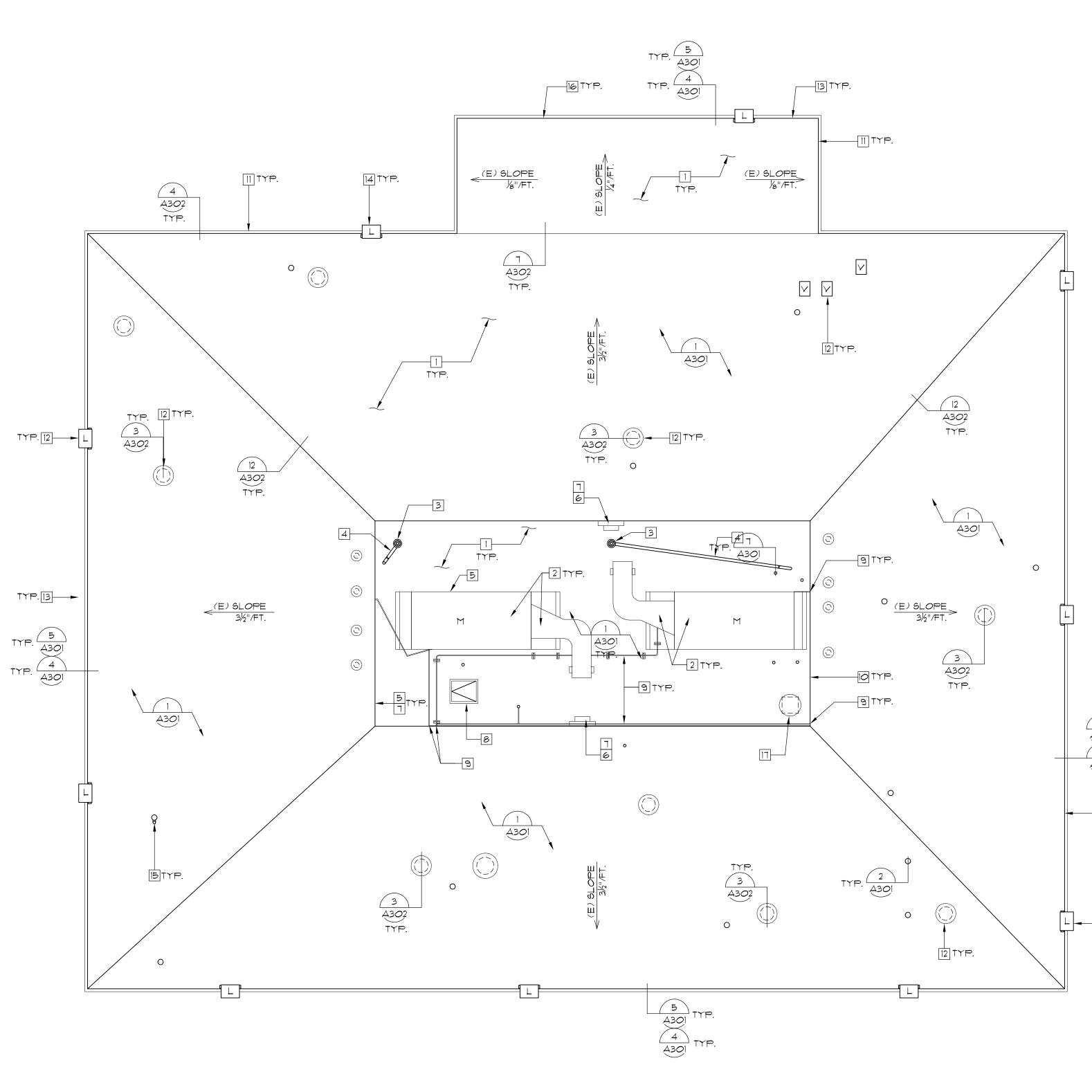
College of San Mateo and Skyline College **Roof Replacement** Project

FOR: San Mateo County Community College 3401 CSM Drive San Mateo, CA 94402

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	BID	SET	04/02/15	
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	CATION		IITV &	
LOCATION, VICINITY &				
CA	MPUS	MAP		
SCA	LE: NOTED OI	N DRAWINGS		
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# LEGEND

0	(E) PLUMBING VENT STACK
$\checkmark$	(E) GSM HOT VENT
	(E) GSM VENT
	(E) ROOF DRAIN
	(E) ROOF HATCH
F	(E) CURB
M	(E) EQUIPMENT
<	(E) SLOPE DIRECTION
#	SHEET KEYED NOTE
	(E) CONDUIT LINE
Ĺ	(E) LIGHT



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# KEY NOTES

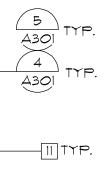
- DEMOLISH AND DISPOSE EXISTING ROOFING SYSTEM INCLUDING, BUT NOT NECESSARILY LIMITED TO: GRAVEL AGGREGATE, ROOFING MEMBRANES, BASE FLASHINGS, CANT STRIPS, INSULATION, SEALANTS, ETC. DOWN TO EXISTING PLYWOOD ROOF DECK. INSPECT EXISTING PLYWOOD DECK FOR DAMAGE. REPORT DAMAGE TO ENGINEER.
- 2 DEMOLISH AND DISPOSE EXISTING HVAC UNITS INCLUDING BUT NOT NECESSARILY LIMITED TO: MECHANICAL UNIT, DUCT ASSEMBLIES, DUCT SUPPORTS, ELECTRICAL CONDUITS, ABANDONED GAS LINES, SEISMIC TIE-DOWNS, ETC. DOWN TO EXISTING CURBED OPENING. PROVIDE TEMPORARY PROTECTION OF OPENING UNTIL FINAL CONSTRUCTION IS IN PLACE, COORDINATE CRANE PICKS DURING OFF-HOURS.
- 3 DEMOLISH AND DISPOSE EXISTING CAST-IRON STRAINER DOME, CLAMPING RING AND DRAIN BOLTS. INSPECT EXISTING DRAIN BOWLS FOR DAMAGE, REPORT DAMAGE TO ENGINEER.
- 4 DEMOLIGH AND DISPOSE OF EXISTING PLASTIC CONDENSATE DRAIN LINES AND ROOF LEVEL PENETRATION. REWORK EXISTING PRIMARY ROOF DRAIN LEADER LINE TO ACCEPT REROUTED CONDENSATE DRAIN LINES BELOW DECK.
- 5 DEMOLISH AND DISPOSE OF EXISTING BASE FLASHING ASSEMBLIES. INSPECT VERTICAL SUBSTRATE FOR DAMAGE, REPORT ALL DAMAGE TO ENGINEER.
- 6 DEMOLISH AND DISPOSE EXISTING FRESH AIR INTAKE LOUVER ASSEMBLY.
- DEMOLISH AND DISPOSE PORTION OF EXISTING CEMENT PLASTER SYSTEM AS REQUIRED TO INSTALL BASE FLASHINGS, TWO-PIECE COUNTERFLASHING ASSEMBLIES AND FRESH AIR INTAKE LOUVER ASSEMBLY.
- DEMOLISH AND DISPOSE EXISTING ROOF HATCH.

- 9 DEMOLISH AND DISPOSE EXISTING ELECTRICAL CONDUITS, ELECTRICAL DUPLEX BOXES, ASSOCIATED SUPPORT BLOCKS, CONDUIT RISERS, ETC. DOWN BELOW ROOF DECK LEVEL OR BEHIND CEMENT PLASTER SYSTEM. PROVIDE TEMPORARY PROTECTION PATCHES AT CEMENT PLASTER SYSTEM, PATCH/INFILL PLYWOOD SUBSTRATE WHERE REMOVAL OCCURS.
- O DEMOLISH AND DISPOSE EXISTING COPING METAL ASSEMBLY.
- DEMOLISH AND DISPOSE EXISTING EAVE/NOSING METAL ASSEMBLY.
- 12 DEMOLISH AND DISPOSE EXISTING PLUMBING PIPE FLASHINGS AND GSM VENT FLASHING MATERIALS.
- 13 DEMOLISH AND DISPOSE EXISTING GUTTERS, PROVIDE TEMPORARY SUPPORTS AS REQUIRED TO AVOID DAMAGE TO SUPPORTED ELECTRICAL CONDUITS FOR SECURITY/FLOOD LIGHTS.
- 14 TEMPORARILY DISCONNECT SECURITY/FLOOD LIGHTS AND SAFELY STORE FOR REINSTALLATION. COORDINATE WITH CAMPUS SECURITY AND FACILITIES MANAGEMENT BEFORE DISCONNECTION.
- 15 PROVIDE SPECIAL PROVISIONS TO DEMOLISH AND DISPOSE EXISTING PLUMBING PIPE FLASHING IN THIS LOCATION, EXISTING ANTENNA ASSEMBLY MUST REMAIN OPERATIONAL FOR DURATION OF PROJECT.
- 6 PROVIDE PROTECTION CANOPY OVER MAIN ENTRANCE AREA EXTENDING EIGHT FEET OUT FROM BUILDING.
- T DEMOLISH AND DISPOSE EXISTING EXHAUST FAN UNIT INCLUDING CURB. PATCH/INFILL PLYWOOD SUBSTRATE.

# GENERAL SHEET NOTES

- A. BUILDING MATERIALS TO BE STORED IN APPROVED AREAS ONLY.
- B. CONTRACTORS, SETUP AND STORAGE AREAS SHALL BE IN LOCATIONS APPROVED BY OWNER.
- C. ROOF ACCESS SHALL BE FROM EXTERIOR ONLY. SUBMIT PLAN FOR M. NO DEBRIS SHALL BE STOCK PILED ON ROOF SURFACE. APPROVAL BY OWNER.
- SITE OR BUILDING AT ANY TIME.
- E. CONTRACTOR TO ABIDE BY SITE PROTECTION AND SITE CLEANING REQUIREMENTS OUTLINED IN DIVISION 1 OF THE SPECIFICATIONS. CONSTRUCTION AND DEMOLITION DEBRIS TO BE CONFINED WITHIN DESIGNATED DISPOSAL AREAS.
- F. LANDSCAPING AND / OR SITE WORK DAMAGED BY DEMOLITION / CONSTRUCTION OPERATIONS, CONTRACTOR EMPLOYEES, SUB-CONSULATANTS OR CONTRACTORS SUPPLIERS SHALL BE REPLACED BY CONTRACTOR AT NO COST TO OWNER OR OWNER'S REPRESENTATIVES.
- G. ANY DAMAGE TO THE BUILDING EXTERIOR FINISHES, WINDOWS, DOORS, SIGNS OR APPURTANCES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- H. ANY DAMAGE TO (E) PAVED ROADS, WALKWAYS, OR SIDEWALKS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- J. WORK TO BE COMPLETED DURING SHUT DOWNS ..
- K. DOOR ENTRANCE CANOPIES ARE REQUIRED BY CONTRACT. CONTRACTOR AT HIS OPTION MAY USE ADDITIONAL CANOPIES AS

- REQUIRED TO COMPLETE THE WORK.
- L. DOOR ENTRANCE CANOPIES SHALL BE FULL WIDTH OF OPENING. FULLY PROTECTED ENTRANCE AND EXIT PATH FOR OCCUPANTS.
- IMMEDIATELY REMOVE TO TRASH / RECYCLE BIN.
- D. BUILDING AND SITE TO REMAIN IN-USE. DO NOT BLOCK ACCESS TO N. CONTRACTOR TO FIELD VERIFY DIMENSIONS PRIOR TO BIDDING.
  - Q. SAFETY IS SOLE RESPONSIBILITY OF THE CONTRACTOR.







Skyline College 3300 College Drive, San Bruno, CA 94066

College of San Mateo and Skyline College **Roof Replacement** Project

FOR: San Mateo County Community College 3401 CSM Drive San Mateo, CA 94402

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ROOF PLAN DEMO -						
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SCALE: NOTED ON DRAWINGS

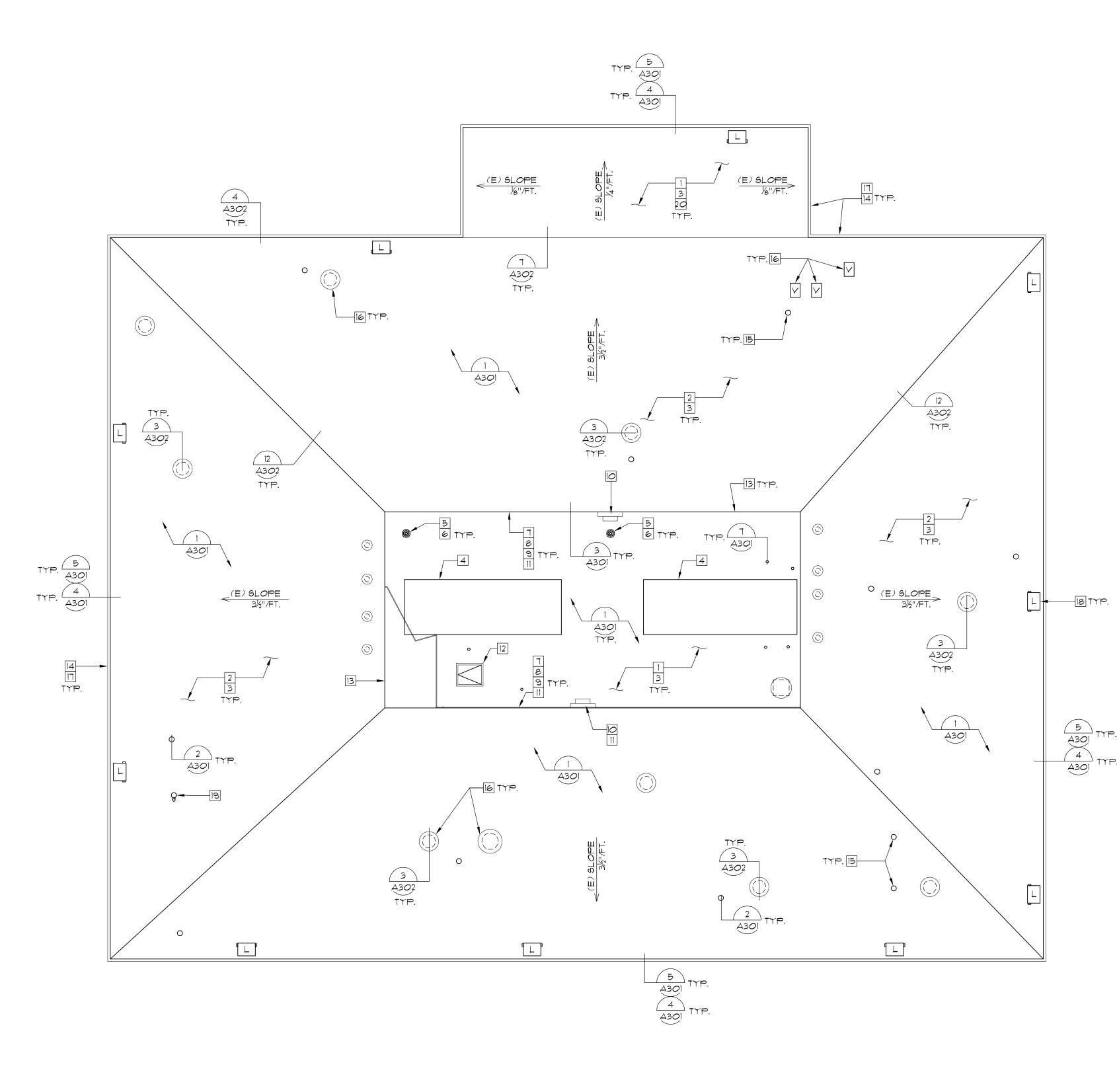
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SHEET

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# LEGEND

0	(E) PLUMBING VENT STACK
$\checkmark$	(E) GSM HOT VENT
	(E) GGM VENT
	(E) ROOF DRAIN
	(E) ROOF HATCH
F	(E) CURB
M	(E) EQUIPMENT
<	(E) SLOPE DIRECTION
#	SHEET KEYED NOTE
	(E) CONDUIT LINE
Ĺ	(E) LIGHT



ROOF PLAN - BUILDING 14

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# KEY NOTES

- PROVIDE BUILT-UP ROOF SYSTEM INCLUDING BUT NOT LIMITED TO: CAP SHEET, PLY SHEETS, COVERBOARD, INSULATION, BASE FLASHINGS, EMBEDDED METAL FLASHINGS, SEALANTS, AND ACCESSORIES.
- 2 PROVIDE ASPHALT SHINGLE ROOF SYSTEM INCLUDING BUT NOT LIMITED TO: SHINGLES, UNDERLAYMENT LAYERS, NAILABLE INSULATION, METAL FLASHINGS, SEALANTS, AND ACCESSORIES.
- 3 CONTRACTOR TO PROVIDE 500 SQUARE FEET OF PLYWOOD REPLACEMENT IN BASE BID. CONTRACTOR TO ALSO PROVIDE AN ADDITIVE/DEDUCTIVE UNIT PRICE ITEM, PER SQUARE FOOT OF ADDITIONAL PLYWOOD REPLACEMENT.
- 4 PROVIDE CROSS FRAMING, PLYWOOD COVERING, HIGH-TEMPERATURE SELF-ADHERING UNDERLAYMENT AND SHEET METAL CAP AT ABANDONED HVAC CURBS. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
- 5 PROVIDE CAST-IRON STRAINER DOME, CLAMPING RING AND STAINLESS STEEL DRAIN BOLTS.
- 6 PROVIDE MID LINE Y-TYPE CONNECTION AT PRIMARY DRAIN LEADER LINE WITH NO-HUB CONNECTIONS, REROUTE CONDENSATE DRAIN LINES BELOW DECK TO Y-TYPE CONNECTION AND MAKE TRANSITIONS, SECURE PLASTIC CONDENSATE LINES WITH APPROPRIATE CLIPS THAT DO NOT RESTRICT WATERFLOW.
- PROVIDE CONTINUOUS PLYWOOD SHEATHING AT VERTICAL BASE FLASHING LEVEL, TWELVE INCH HEIGHT.
- 8 PROVIDE BUILT-UP BASE FLASHING ASSEMBLY.
- 9 PROVIDE TWO-PIECE COUNTERFLASHING ASSEMBLY.
- PROVIDE RE-SIZED FRESH AIR INTAKE LOUVER ASSEMBLY AND ASSOCIATED DUCT CONNECTIONS.

- PROVIDE CEMENT PLASTER SYSTEM REPAIRS TO THE INTO EXISTING SYSTEM, PROVIDE PATCHES TO EXISTING CEMENT PLASTER SYSTEM AT ALL HOLES/DAMAGE FROM ABANDONED CONDUIT PENETRATIONS.
- 12 PROVIDE ROOF HATCH, LADDER EXTENSION AND FALL PROTECTION CAGE. PROVIDE NECESSARY WOOD NAILERS, LEVELED, AND OF APPROPRIATE HEIGHT TO LIFT HATCH FLANGE TO LEVEL OF INSULATION.
- PROVIDE KYNAR COATED GSM COPING METAL ASSEMBLY INCLUDING BUT NOT LIMITED TO: CUSTOM CLEATS FOR SLOPE, BUTT PLATES, FASTENERS, ETC.
- 14 PROVIDE KYNAR COATED GSM EAVE/NOSING METAL ASSEMBLY.
- 15 PROVIDE LEAD FLASHINGS AND PROPER STRIPPING PLIES AT PLUMBING PIPES.
- 6 PROVIDE GSM VENTS AND PROPER STRIPPING PLIES AT VENT LOCATIONS.
- PROVIDE KYNAR COATED GSM GUTTER SYSTEM INCLUDING BUT NOT LIMITED TO: GUTTER, SUPPORT BRACKETS, STRAPS, DROP OUTLETS, DOWNSPOUTS, DOWNSPOUTS STRAPS, ETC.
- B PROVIDE ROUND POSTS WITH BASE PLATES SECURED TO PLYWOOD SUBSTRATE, RELOCATE SECURITY/FLOOD LIGHTS ONTO POSTS. RESECURE ELECTRICAL CONDUITS FOR SECURITY/FLOOD LIGHTS TO GUTTER STRAPS. PROVIDE CABLE/CONDUIT EXTENSIONS AS REQUIRED.
- 19 PROVIDE SPECIAL PROVISIONS TO INSTALL FLASHING AT EXISTING PLUMBING PIPE IN THIS LOCATION, EXISTING ANTENNA ASSEMBLY MUST REMAIN OPERATIONAL FOR DURATION OF PROJECT.
- PROVIDE ½" COVER BOARD IN THIS ROOF AREA IN LIEU OF 1" ELSEWHERE.

# GENERAL SHEET NOTES

- A. BUILDING MATERIALS TO BE STORED IN APPROVED AREAS ONLY.
- B. CONTRACTORS, SETUP AND STORAGE AREAS SHALL BE IN LOCATIONS APPROVED BY OWNER.
- C. ROOF ACCESS SHALL BE FROM EXTERIOR ONLY. SUBMIT PLAN FOR M. NO DEBRIS SHALL BE STOCK PILED ON ROOF SURFACE. APPROVAL BY OWNER.
- SITE OR BUILDING AT ANY TIME.
- CONTRACTOR TO ABIDE BY SITE PROTECTION AND SITE CLEANING E. REQUIREMENTS OUTLINED IN DIVISION 1 OF THE SPECIFICATIONS. CONSTRUCTION AND DEMOLITION DEBRIS TO BE CONFINED WITHIN DESIGNATED DISPOSAL AREAS.
- F. LANDSCAPING AND / OR SITE WORK DAMAGED BY DEMOLITION / CONSTRUCTION OPERATIONS, CONTRACTOR EMPLOYEES, SUB-CONSULATANTS OR CONTRACTORS SUPPLIERS SHALL BE REPLACED BY CONTRACTOR AT NO COST TO OWNER OR OWNER'S REPRESENTATIVES.
- G. ANY DAMAGE TO THE BUILDING EXTERIOR FINISHES, WINDOWS, DOORS, SIGNS OR APPURTANCES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- H. ANY DAMAGE TO (E) PAVED ROADS, WALKWAYS, OR SIDEWALKS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR OWNER'S REPRESENTATIVES.
- J. WORK TO BE COMPLETED DURING SHUT DOWNS ..
- K. DOOR ENTRANCE CANOPIES ARE REQUIRED BY CONTRACT. CONTRACTOR AT HIS OPTION MAY USE ADDITIONAL CANOPIES AS

- REQUIRED TO COMPLETE THE WORK.
- L. DOOR ENTRANCE CANOPIES SHALL BE FULL WIDTH OF OPENING. FULLY PROTECTED ENTRANCE AND EXIT PATH FOR OCCUPANTS.
- IMMEDIATELY REMOVE TO TRAGH / RECYCLE BIN.
- D. BUILDING AND SITE TO REMAIN IN-USE. DO NOT BLOCK ACCESS TO N. CONTRACTOR TO FIELD VERIFY DIMENSIONS PRIOR TO BIDDING.
  - Q. SAFETY IS SOLE RESPONSIBILITY OF THE CONTRACTOR.

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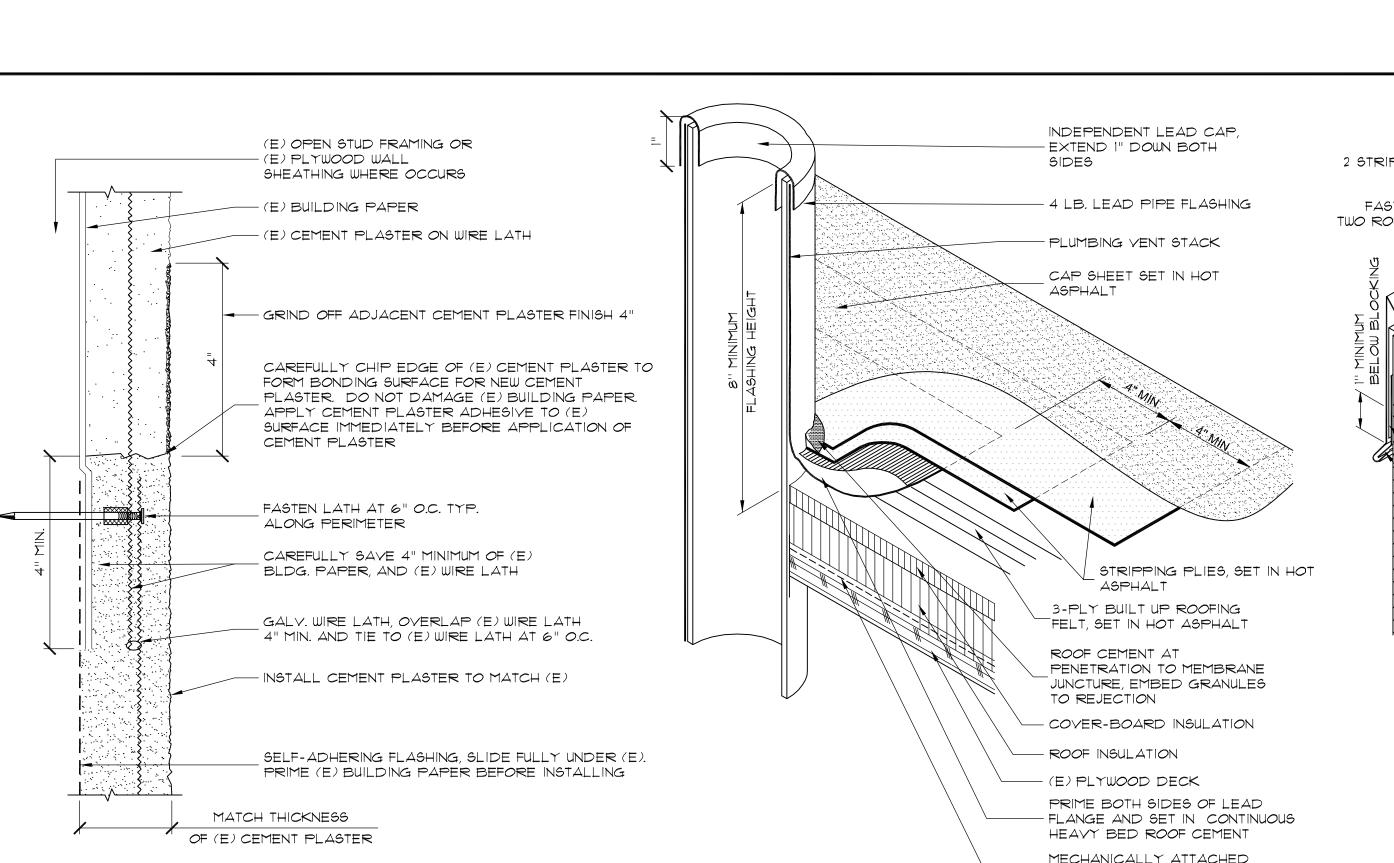
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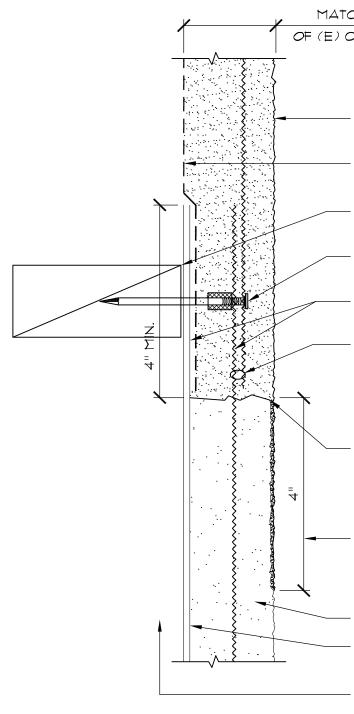
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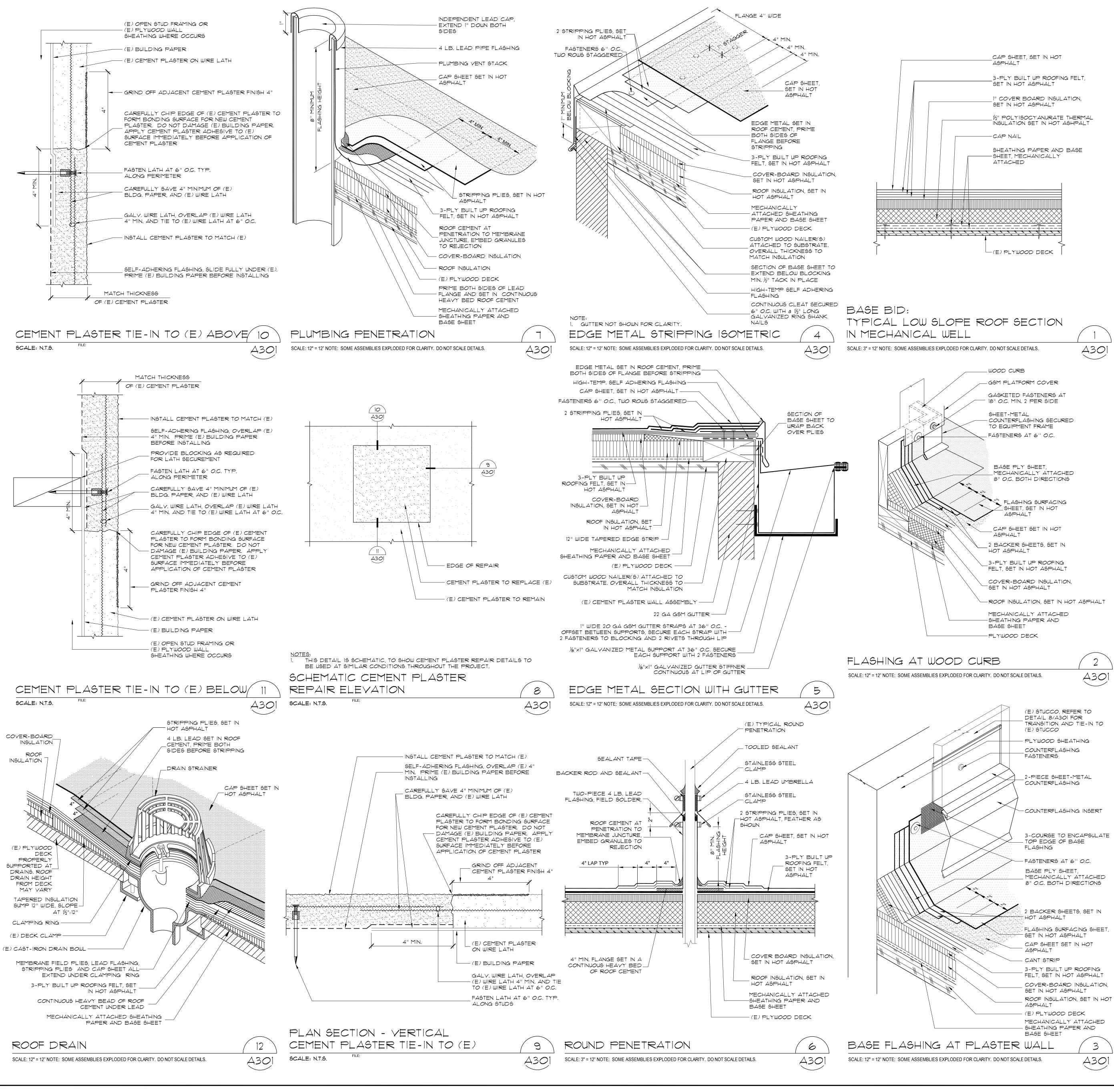


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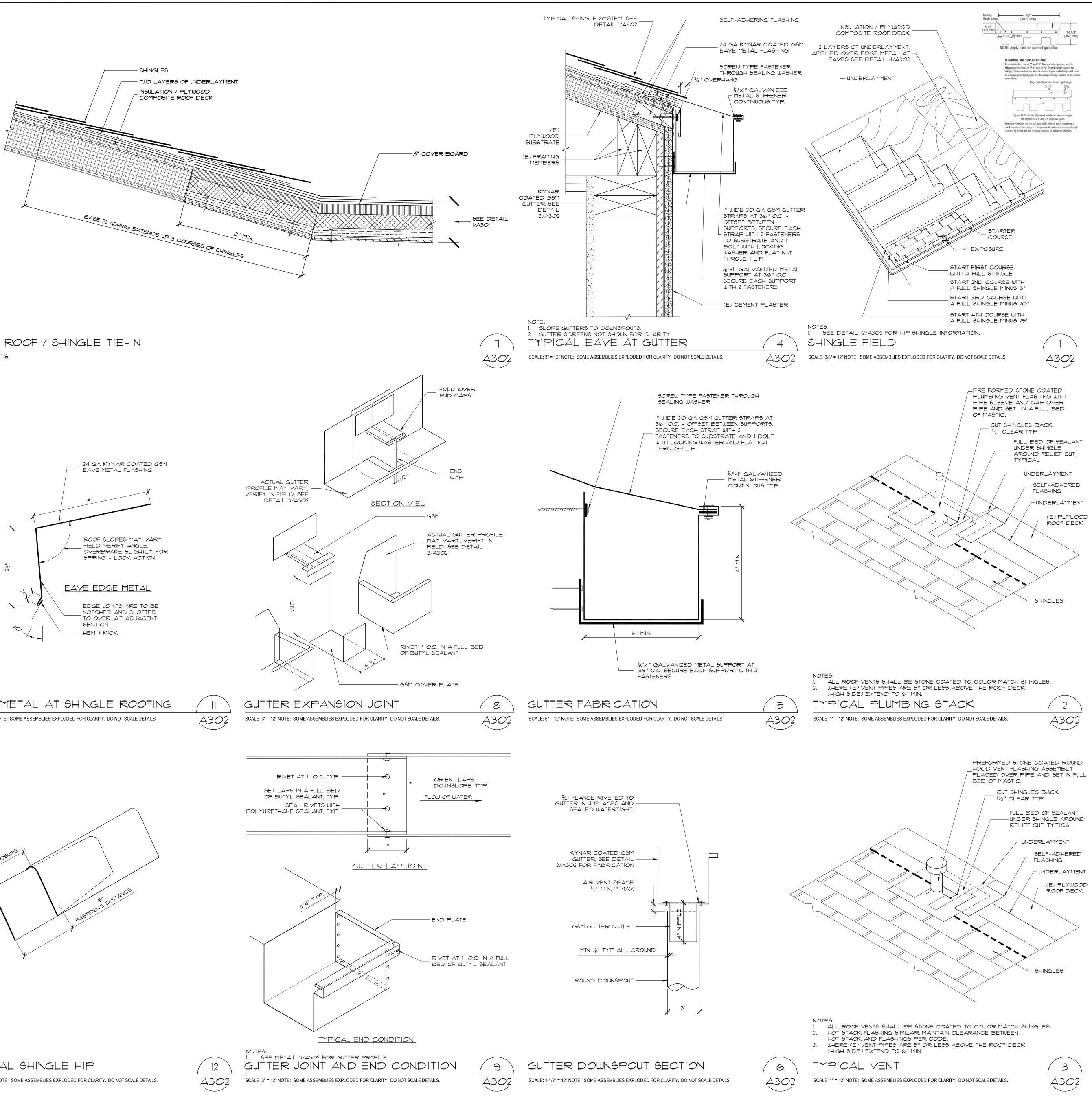
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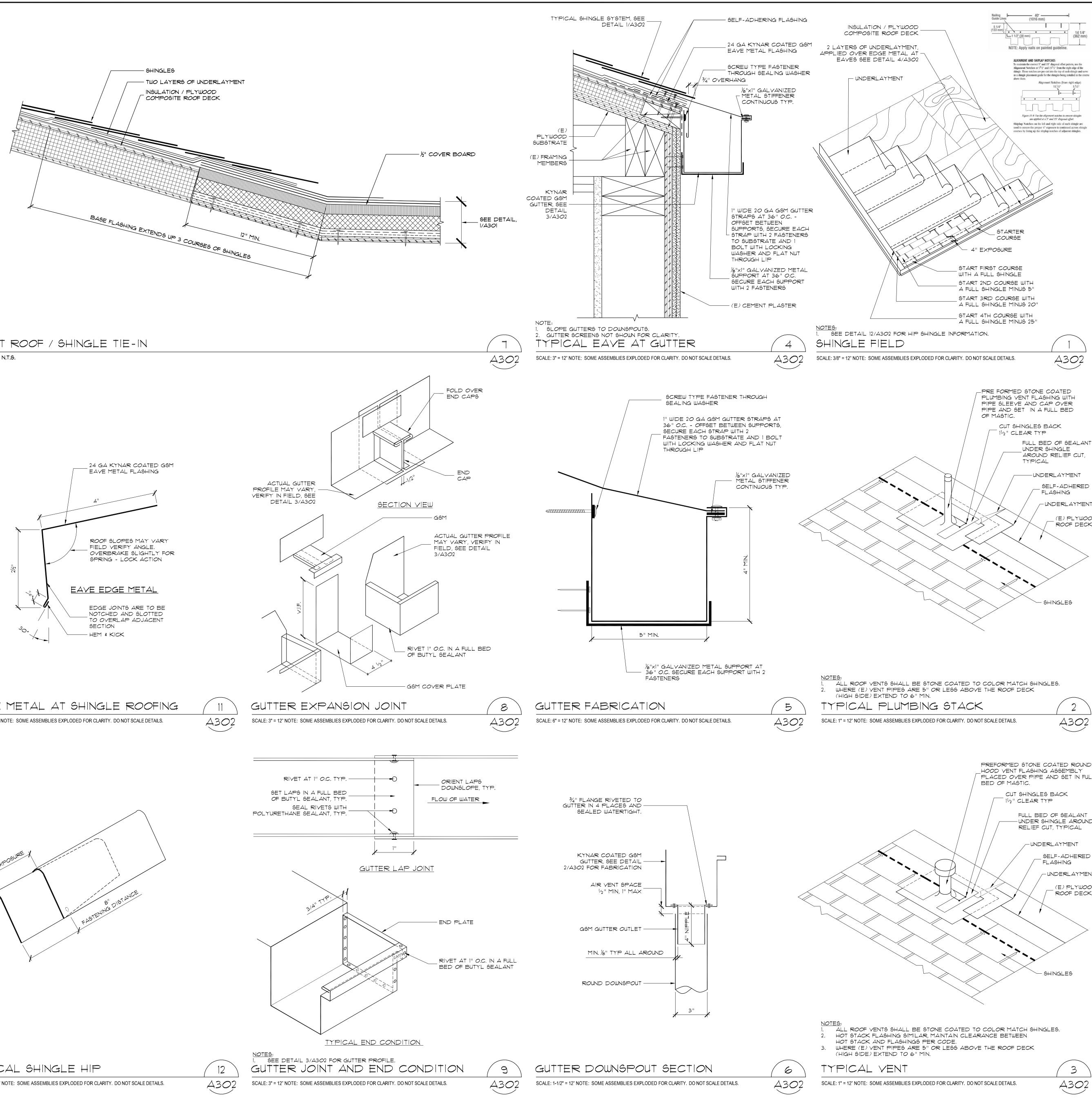
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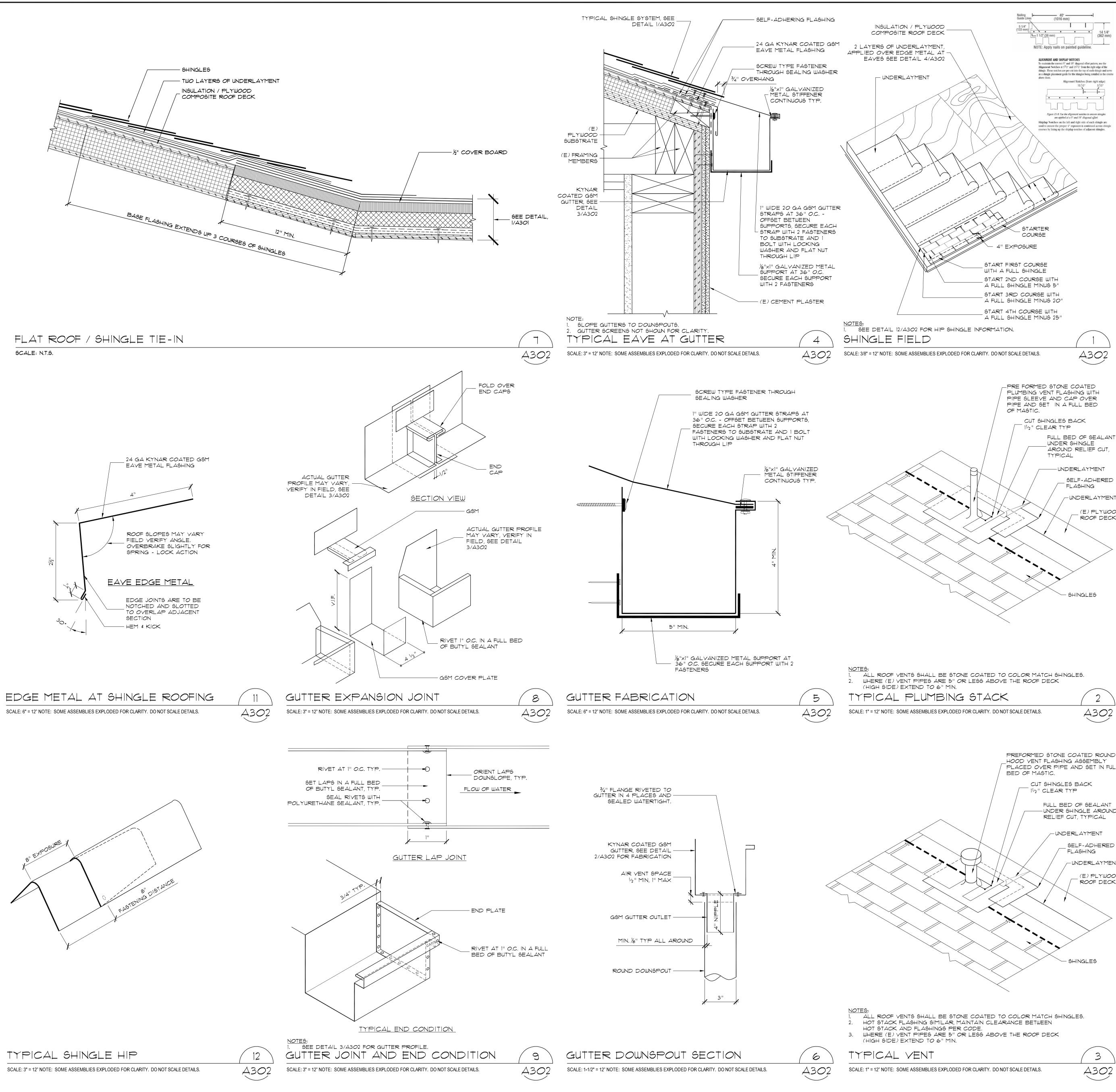
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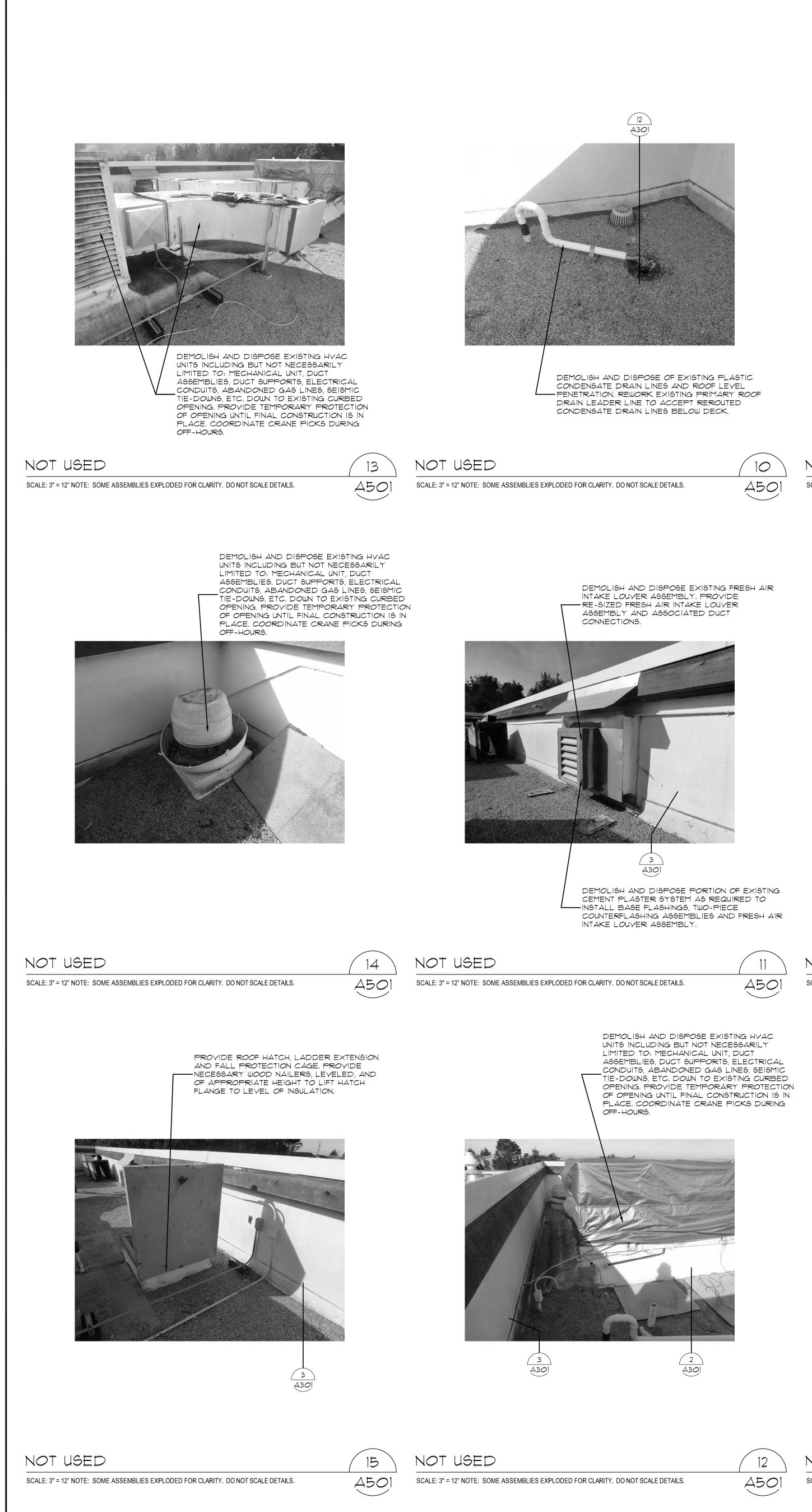
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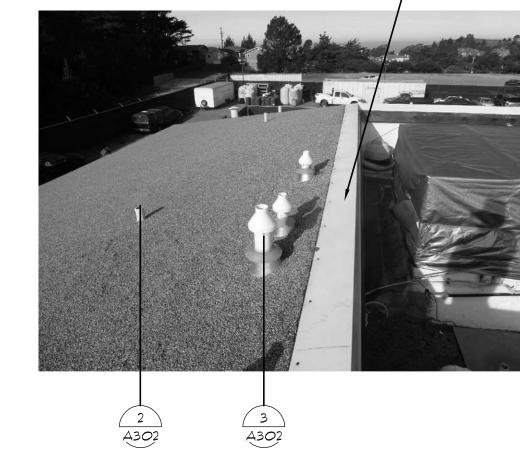
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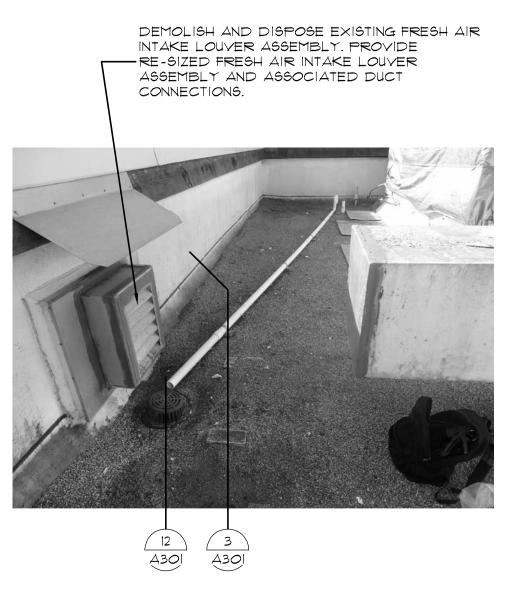
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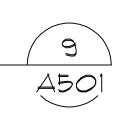


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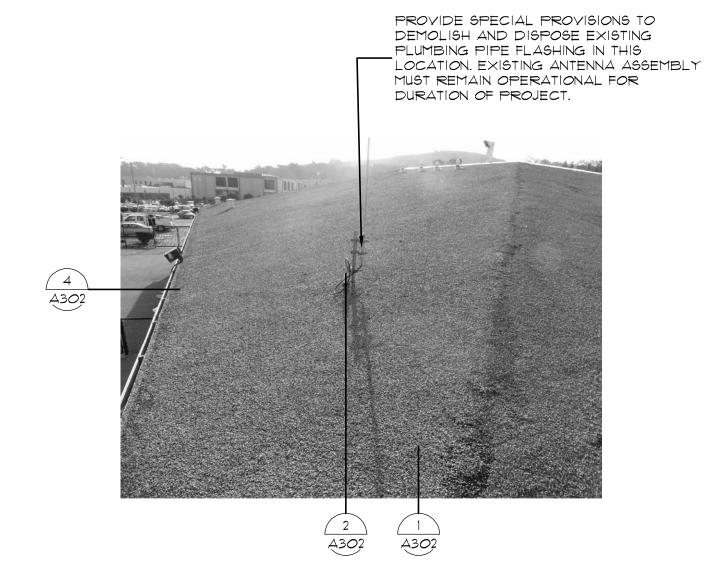


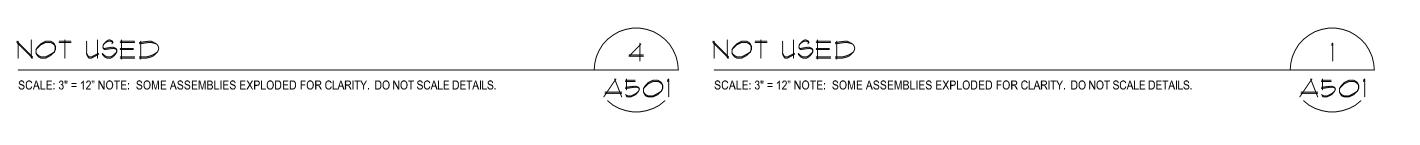
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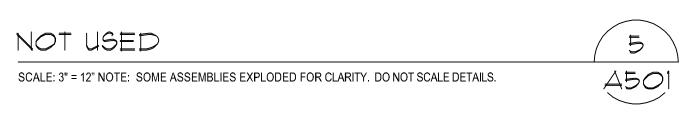
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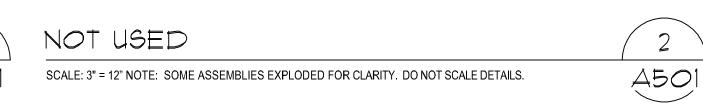




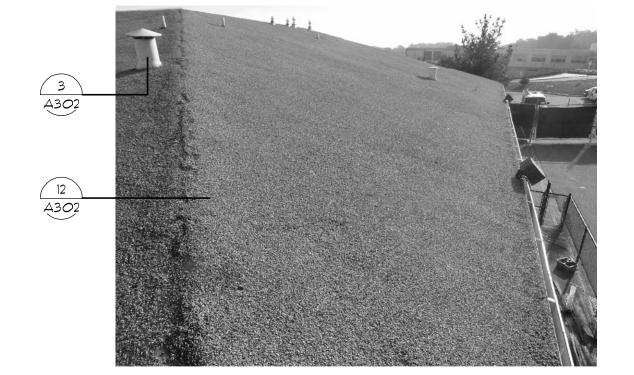














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