

# College of San Mateo

## 1700 W. Hillside

### San Mateo, CA.



# Building 12 and Colonnades Roof Replacement

ABBREVIATIONS				GENERAL NOTES				SCOPE OF WORK				DRAWING INDEX			
L CL # * AB ABB AC ACQ AD ADJ AFF ALUM ALT APR APPROX ARCH	ANGLE CENTERLINE DIAMETER ROUND PERPENDICULAR FOAM NUMBER ANCHOR BOLT ALLANA, BUICK AND BERS ASPHALTIC CONCRETE AIR CONDITIONING ACOUSTICAL AREA DRAIN ADJUSTABLE, ADJACENT ABOVE FINISH FLOOR ALUMINUM ALTERNATE ACCESS PANEL APPROXIMATE ARCHITECT	E (E) EA EF EJ ELEV ENCL EP EQ EQUIP EW EXP EXT FD FDN FE FF FN FXT FL FLSH FLOR FOC FOD FRF FRMG FT FTG FND FURR GA GALV GB GI GFI INT GL GLB GRD GR GSM	EAST EXISTING EACH EXPANSION BOLT EXHAUST FAN EXPANSION JOINT ELECTRICAL ELEVATION EMERGENCY ENCLOSURE ELECTRICAL PANEL EQUAL EQUIPMENT EACH WAY EXPANSION EXTERIOR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR FINISH FUTURE FLOOR FLASHING FLUORESCENT FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF STUDS FRAMING FOOT FEET FOOTING FOUNDATION FURRING GAUGE GALVANIZED GRAB BAR GYPSUM BOARD GLUE GLUE-LAMINATED BEAM GROUND GRADE GALVANIZED SHEET GYPSUM	JAN JST JT LAM LAY LOC L LT MAX MB MECH MFR MNL MNR MISC MTD MUL N NIC NO NOM NTS O4 OBSC OC OD OF OFF O.A. OPNG OPP PART PB PD PLBS PNT PREFAB PT PL P.LAM. PLAS PLYUD P.O.C. FR	JANITOR JOIST JOINT LAMINATE LAVATORY LOCATION LONG LIGHT MAXIMUM MACHINE BOLT MECHANICAL MANUFACTURER MINIMUM MINOR MISCELLANEOUS MOUNTED MULLION NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER OWNER FURNISHED AND CONTRACTOR INSTALLED OFFICE OVERHEAD OPENING OPPOSITE PARTITION PARTICLE BOARD PLASTER FLUMING PAINT PRE-FABRICATED PRESSURE TREATED PLATE PLASTIC LAMINATE PLASTER PLYWOOD POINT OF CONNECTION PAIR	ROUGH OPENING EXISTING RAIN WATER LEADER SUSPENDED ACOUSTICAL CEILING SELF ADHERED FLASHING SOLID CORE SCHEDULE SOAP DISPENSER SEE DRAWINGS BY OTHERS SECTION SEE ELECTRICAL DUGS SHELF SHEET SMILAR SHEET METAL SEE MECH DRAWINGS SPECIFICATION SQUARE STAINLESS STEEL SEE STRUCTURAL DUGS STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SHEET VINYL SYMMETRICAL TUB TOP OF CURB TOP OF CONCRETE TIE DOWN TELEPHONE TEMPERED THICK THR. TOP OF TOP OF CONCRETE TOP OF SLAB TYPICAL UNFINISHED UNLESS OTHERWISE NOTED URINAL VERT. VERTICAL VESTIBULE VERIFY IN FIELD W W/ WITH W/C WROUGHT IRON WOOD WHERE OCCURS WITHOUT W/P WATERPROOFING W/R WATER RESISTANT WRS WEATHER RESISTIVE BARRIER W/S WOOD SCREW W/SGOT WGT. WEIGHT WU/F WELED WIRE FABRIC	A. THESE DRAWINGS HAVE BEEN MADE FROM BUILDING RECORD DRAWINGS. BIDDER SHALL VISIT THE SITE AND PROJECT TO FIELD VERIFY EXISTING CONDITIONS AFFECTING HIS WORK PRIOR TO BIDDING. ANY EXISTING CONDITION FOUND NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANTS IMMEDIATELY, PRIOR TO BIDDING OR START OF ANY WORK. B. NOTES, SECTIONS, AND DETAILS DESCRIBING THE TYPE OF COMPONENT OR NECESSARY WORK TO THAT COMPONENT ARE TYPICAL FOR ALL SIMILAR ITEMS, AND THE NOTE, SECTION, OR DETAIL SHALL APPLY AS IF CALLED OUT SEPARATELY AT EACH LOCATION. THE DETAILS REFLECT A DESIGN OF THE SPECIFIC CONDITION(S) DETAILED. IF DURING THE PROGRESS OF THE WORK, EXISTING CONDITIONS DIFFER FROM THOSE INDICATED ON THE DRAWINGS TO THE EXTENT THAT THE CONTRACTOR MUST MAKE MODIFICATIONS TO THE GIVEN DETAILS TO MAKE THE DETAIL COMPATIBLE WITH THE EXISTING CONDITIONS, THE CONTRACTOR SHALL OBTAIN A REVISED DETAIL FROM THE CONSULTANT PRIOR TO THAT DETAIL BEING CONSTRUCTED. C. CONFLICTS AND/OR PROBLEMS SHALL BE REPORTED PRIOR TO BIDDING FOR RESOLUTION. FAILURE TO REPORT THESE CONFLICTS PLACES THE RESPONSIBILITY ON THE CONTRACTOR TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AT THE CONSULTANT'S DIRECTION, AT NO ADDITIONAL COST TO THE OWNER. D. ALL NOTES DESCRIBING COMPONENTS, SYSTEMS, OR CONSTRUCTION NOT NOTED AS 'E/F' OR 'EXISTING' ARE NEW AND ARE REQUIRED TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. E. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL FOR ALL SPECIALTY CONNECTIONS, TRANSITIONS, AND TERMINATIONS OF ALL ITEMS OF THE WORK, INCLUDING SADDLES, FLASHINGS, AND OTHER INDUSTRY RECOGNIZED ITEMS THAT MAKE THE WORK COMPLETE. ADDITIONAL SHOP DRAWINGS MAY BE REQUESTED AND CONTRACTOR IS OBLIGATED TO PROVIDE. F. ALL ROOFING WORK SHALL BE IN ACCORDANCE WITH NRCA, SMACNA, AND THE ROOFING MATERIAL MANUFACTURER REQUIREMENTS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE ABOVE AND BEYOND THAT REQUIRED BY THE REFERENCED STANDARDS, SHOULD CONFLICTS OCCUR BETWEEN THE REFERENCED STANDARDS AND/OR THE CONSTRUCTION DOCUMENTS, UTILIZE THE HIGHEST QUALITY OR MORE STRINGENT REQUIREMENT. G. ALL SEALANT WORK SHALL BE IN ACCORDANCE WITH THE BURI AND THE SEALANT MATERIAL MANUFACTURER REQUIREMENTS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE ABOVE AND BEYOND THAT REQUIRED BY THE REFERENCED STANDARDS, IF CONFLICTS SHOULD OCCUR BETWEEN STANDARDS AND/OR THE CONSTRUCTION DOCUMENTS, UTILIZE THE HIGHEST QUALITY OR MORE STRINGENT REQUIREMENT. H. THERE ARE SPECIFICATIONS BOUND SEPARATELY FROM THE CONSTRUCTION DRAWINGS THAT ARE A PART OF THE CONTRACT. THE SPECIFICATIONS AND DRAWINGS ARE COMPLEMENTARY TO ONE ANOTHER AND ARE BOTH REQUIRED TO FULLY DESCRIBE THE CONTRACTOR'S RESPONSIBILITIES UNDER THE CONTRACT. THE DRAWINGS TYPICALLY INDICATE SIZE, FORM, QUANTITY, RELATIONSHIP AND GENERIC TYPE. THE SPECIFICATIONS TYPICALLY DEFINE THE QUALITATIVE REQUIREMENTS FOR PRODUCTS, MATERIALS, AND WORKMANSHIP. WHAT IS CALLED FOR BY EITHER ONE SHALL BE AS BINDING AS IF CALLED FOR BY ALL.	1. PROTECTION: INSTALL ALL PROTECTION NECESSARY TO PREVENT DAMAGE TO BUILDING COMPONENTS AND GROUNDS AND SEGREGATE THE WORKSITE FROM THE GENERAL CAMPUS. 2. TEST 100 PERCENT OF DRAINS AT BUILDING 12 AND ALL COLONNADES PRIOR TO DEMOLITION. SUBMIT DETAILED WRITTEN REPORT WITH ROOF PLAN TO CONSULTANT AND OWNER CLEARLY INDICATING WHICH DRAINS ARE FUNCTIONAL AND WHICH ARE NOT. CONTRACTOR TO PROVIDE SCOPE OF WORK FOR WATER TEST FOR APPROVAL. 3. DEMOLITION: REFER TO SELECTIVE DEMOLITION SCHEDULE IN SECTION 02412 "SELECTIVE DEMOLITION" AND THE CONTRACT DOCUMENTS. 4. PROVIDE FELT-BACKED THERMOPLASTIC ROOFING FULLY ADHERED TO SUBSTRATE BOARD FULLY ADHERED TO EXISTING DECK AT BUILDING 12. 5. PROVIDE FRAMING AND PLYWOOD CRICKETS AT BUILDING 12 TO ACHIEVE MINIMUM 1/4 INCH PER FOOT SLOPE TO DRAINS. SECURE FRAMING TO EXISTING CONCRETE DECK. ALTERNATE: PROVIDE TAPERED POLYISO CRICKETS ADHERED WITH FOAM ADHESIVE. 6. PROVIDE CAST IRON STRAINER, CLAMPING RING, AND HARDWARE. CLEAN EXISTING DRAIN BOWLS. TEST ALL DRAIN LINES. CLEAN DRAIN LINES AS REQUIRED FOR DRAINS TO ACHIEVE FREE FLOWING PERFORMANCE. 7. ALTERNATE: PROVIDE CAST IRON ROOF DRAINS TO REPLACE 100 PERCENT EXISTING DRAINS AT BUILDING 12. BASE BID INCLUDES DEMOLITION AND PROVISION OF STRAINERS, CLAMPING RINGS, AND HARDWARE. ADJUST EXISTING PIPING AS REQUIRED TO CONNECT DRAINS. TEST DRAIN LINES. CLEAN DRAIN LINES AS REQUIRED FOR DRAINS TO ACHIEVE FREE FLOWING PERFORMANCE. 8. PROVIDE UNIT PRICE TO DEMOLISH AND PROVIDE SINGLE DRAIN. DEMOLITION AND PROVISION OF STRAINER, CLAMPING RING, AND ASSOCIATED COMPONENTS ARE IN BASE BID. 9. PROVIDE WALKWAY PADS WHERE INDICATED. PROVIDE UNIT PRICE FOR WALK PAD PER LINEAR FOOT. 10. PROVIDE BLOCKING AS REQUIRED TO ACHIEVE MINIMUM 8 INCH BASE FLASHING HEIGHTS. 11. DEMOLISH AND DISPOSE EXISTING ROOF HATCH AND LADDER. PROVIDE ROOF HATCH LADDER AND LARGE WOOD PLATFORM FOR HATCH WHERE INDICATED. 12. CORE DRILL EXISTING CONCRETE AND PROVIDE OVERFLOW DRAINS, OVERFLOW PIPING (COPPER), AND HARDWARE TO SECURE PIPE TO SUBSTRATE. SCAN EXISTING CONCRETE TO LOCATE EXISTING STEEL REINFORCING PRIOR TO DRILLING THROUGH CONCRETE. DRILLING THROUGH EXISTING REINFORCING IS NOT PERMITTED. CORES TAKEN THROUGH CONCRETE THAT EXPOSE EXISTING REINFORCING SHALL BE PATCHED AT NO COST TO THE OWNER. 13. PROVIDE FLUID-APPLIED ROOFING AT COLONNADES INDICATED IN THE CONTRACT DRAWINGS. 14. PROVIDE PAINT AT CONCRETE UNDER EDGE METAL, EXPOSED METAL IN PROJECT, AND WHERE INDICATED. 15. PROVIDE EXPANSION JOINT CONTINUING DOWN SIDES OF FASCIA AND INTEGRATED INTO ROOFING. EXISTING ROOFING, AND FASCIAS AT BUILDING 2 AND 4 COLONNADE, CONTRACTOR TO VACUUM OUT EXISTING JOINTS AND THOROUGHLY CLEAN PRIOR TO INSTALLING EXPANSION JOINTS. 16. PROVIDE SHEET METAL FLASHING AND TRIM, JOINT SEALANTS, ROUGH CARPENTRY AS INDICATED AND AS REQUIRED TO COMPLETE THE WORK. 17. TEMPORARILY DISCONNECT/RECONNECT, RELOCATE, RAISE, AND REINSTALL EXISTING ROOF-MOUNTED MECHANICAL EQUIPMENT TO REMAIN, INCLUDING RELATED SYSTEMS SUCH AS PIPING, ELECTRICAL WIRING AND CONDUIT AND THEIR RELATED SUPPORTS, AS NEEDED TO COMPLETE THE WORK OF THIS PROJECT. ELECTRICAL WORK TO BE COMPLETE BY AN ELECTRICIAN LICENSED IN THE STATE OF CALIFORNIA. COLLEGE FACILITIES WILL REMOVE ELECTRICAL CONDUITS FROM COLONNADES EXPANSION JOINT AREA TO ALLOW FOR CONSTRUCTION FACILITIES WILL REPLACE CONDUIT ONCE WORK IS COMPLETED. ELECTRICAL WORK TO BE COMPLETE BY AN ELECTRICIAN LICENSED IN THE STATE OF CALIFORNIA. 18. PROVIDE OTHER WORK SHOWN OR NOTED IN THE CONTRACT DOCUMENTS. 19. REMOVE ALL CONSTRUCTION DEBRIS, TOOLS, EQUIPMENT AND CONSTRUCTION FENCING FROM SITE AND RESTORE LANDSCAPING TO CURRENT CONDITION. 20. CONCRETE REINFORCEMENT IS NOT SHOWN IN DETAILS FOR CLARITY. IF REINFORCING IS ENCOUNTERED DURING INSTALLATION OF FASTENERS, RELOCATE FASTENERS TO ADJACENT UNOBSTRUCTED PERCHES. 21. REFER TO EXHIBIT A - SITE LOGISTICS PLAN FOR ADDITIONAL INFORMATION.	A101 A102 A201 A202 A203 A301 A401 A402 A801	COVER SHEET, GENERAL NOTES AND INDEX CAMPUS SITE MAP DEMOLITION PLAN AND ROOF PLAN - BUILDING 12 ROOF PLAN - COLONNADE 14-16 + COLONNADE 16-18 ROOF PLAN - FOUNTAIN COLONNADE SOUTH AND NORTH + BLDG 2 AND 4 COLONNADE COLONNADE DETAILS BUILDING 12 DETAILS BUILDING 12 DETAILS PHOTOS					

VICINITY MAP				LOCATION MAP				AERIAL MAP			

College of San Mateo  
1700 W. Hillside  
San Mateo, CA

**Building 12 and Colonnades Roof Replacement**

FOR:  
San Mateo County Community College  
3401 CSM Drive  
San Mateo, CA 94402

ISSUE		
Mark	Description	Date
	BID SET	02/25/13
	DATE	10/21/11
	PROJECT NO.	11-2750
	CAD DWG FILE	Z750_A101.dwg
	DRAWN BY	JKH/AI/ACPK
	CHECKED BY	FRWSC
SHEET TITLE <b>COVER SHEET, GENERAL NOTES AND INDEX</b>		
SCALE: NOTED ON DRAWINGS		
<b>A101</b>		
SHEET		

P:\3011 Projects\11-2750\11-2750-01-SH000 - Roof - CSI PB12 and Colonnades\SCD\Drawings\Working\Set2750\_A101.dwg







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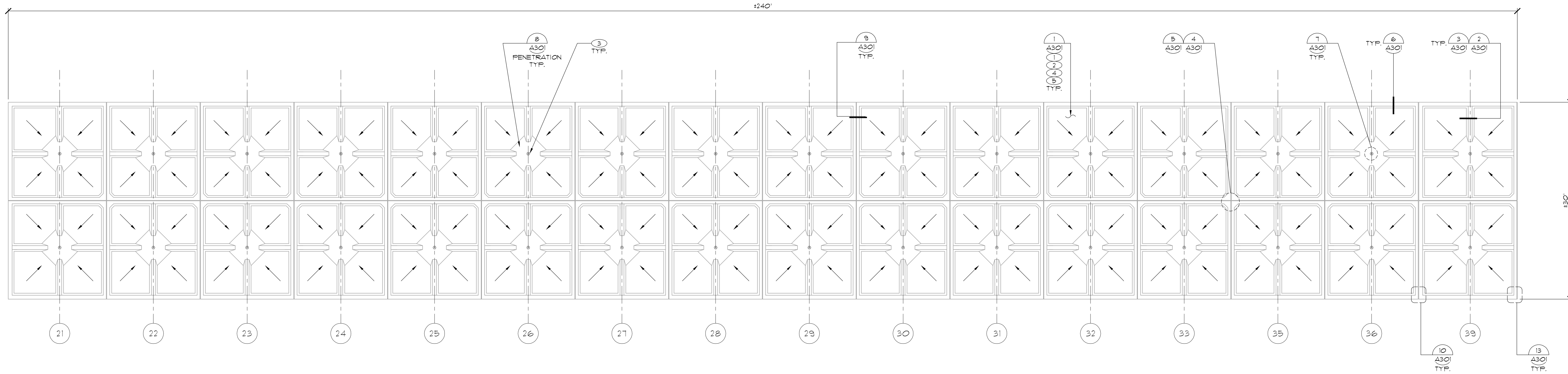
**KEY NOTES**

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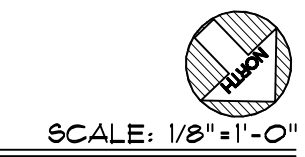
1. DEMOLISH EXISTING ROOF SYSTEMS TO BASE CONCRETE.
2. DEMOLISH (E) LEAD FLASHING BUT DO NOT DAMAGING EXISTING PENETRATIONS, TYPICAL.
3. DEMOLISH (E) STRAINER DOME, CLAMPING RING AND BOLTS. SALVAGE COMPLETE ASSEMBLIES AND DELIVER TO OWNER.
4. PROVIDE FLUID-APPLIED ROOFING SYSTEM.
5. TYPICAL AT COPPER PENETRATION ADJACENT TO DRAIN.

**LEGEND**

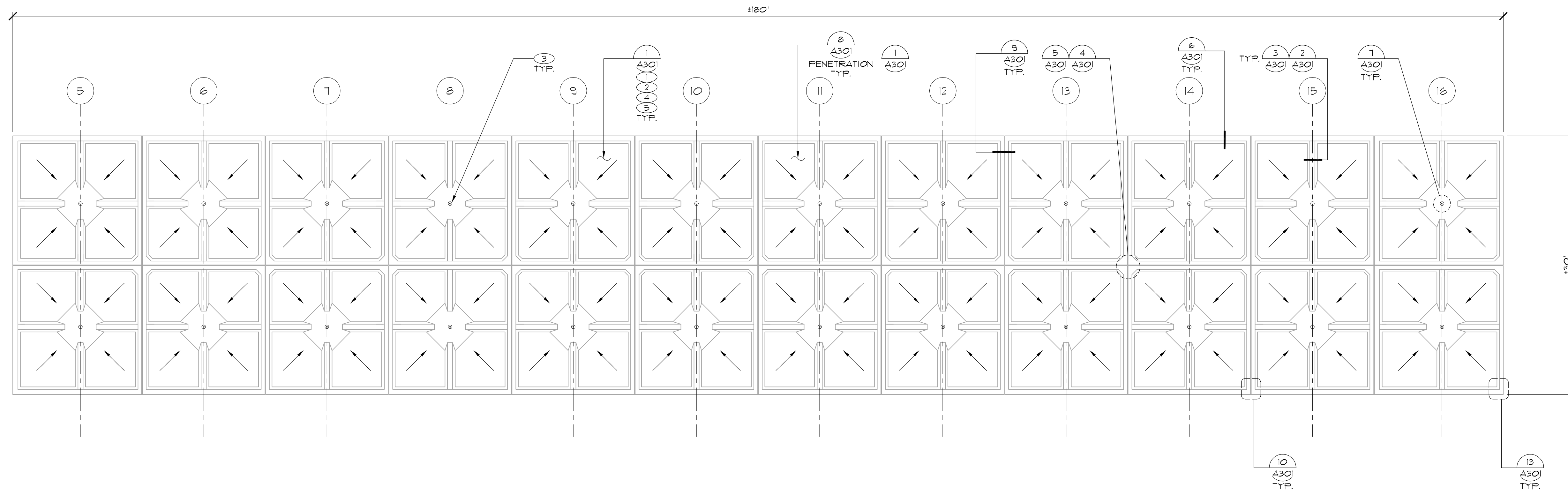
- (E) SLOPE DIRECTION
- (E) ROOF DRAIN
- DETAIL CALLOUTS
- ⊙ KEY NOTES



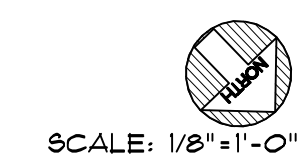
2 ROOF PLAN - COLONNADE 16-18 (NORTH COLONNADE)



SCALE: 1/8" = 1'-0"

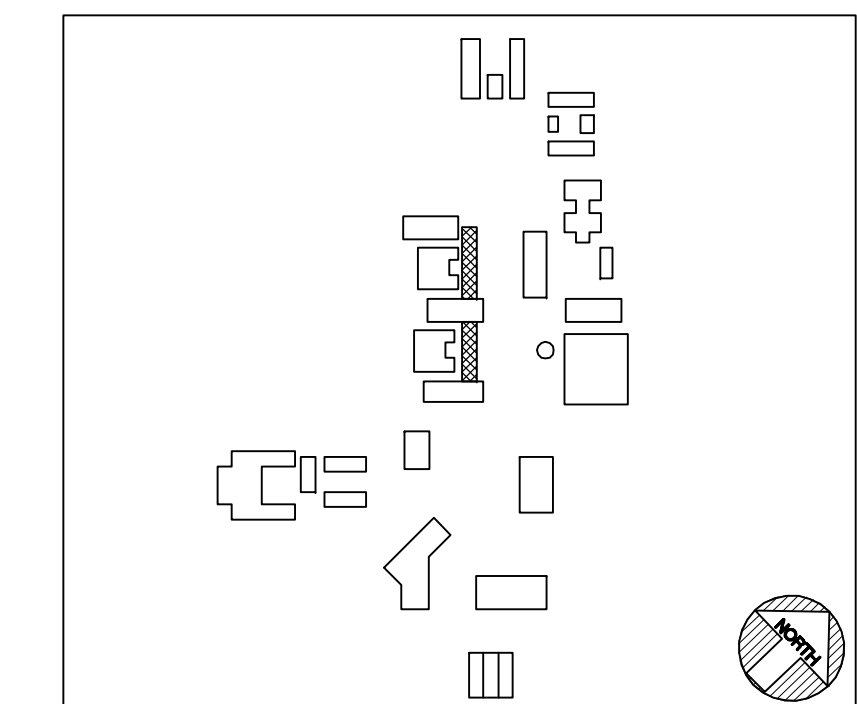


1 ROOF PLAN - COLONNADE 14-16 (SOUTH COLONNADE)



SCALE: 1/8" = 1'-0"

**KEY PLAN**



SCALE: 1/8" = 1'-0"

1 INCH AT FULL SCALE.  
IF NOT 1 INCH THE DRAWING  
HAS BEEN RESIZED.  
(NOT TO SCALE SHOWN)

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	DRAWN BY	JKH/AV/AC/PK
	CHECKED BY	FR/WSC

**ROOF PLAN -  
COLONNADE 14-16 &  
COLONNADE 16-18**

SCALE: NOTED ON DRAWINGS

SHEET



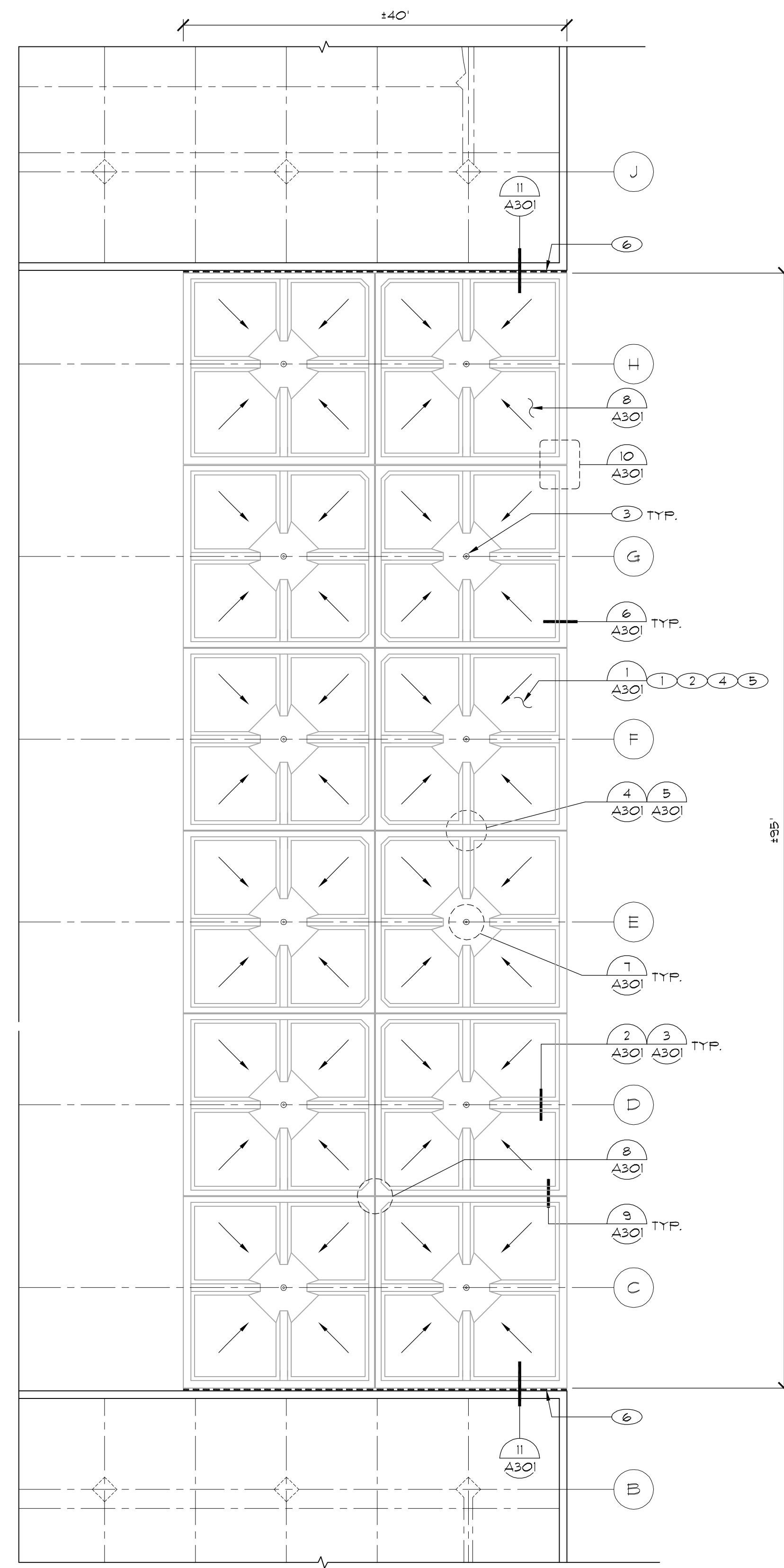
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**KEY NOTES** AS NOTED WITH: ( )

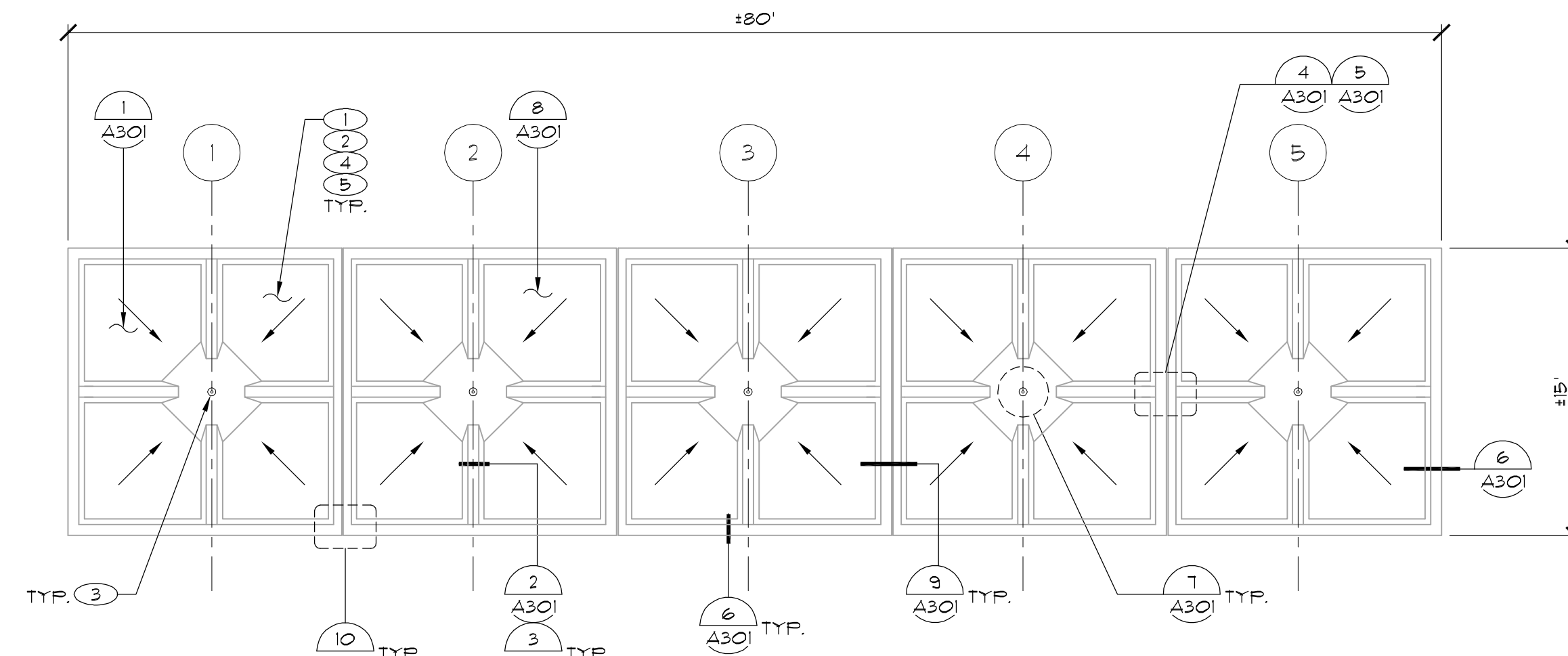
1. DEMOLISH EXISTING ROOF SYSTEMS TO BASE CONCRETE.
2. DEMOLISH (E) LEAD FLASHING BUT DO NOT DAMAGING EXISTING PENETRATIONS, TYPICAL.
3. DEMOLISH (E) STRAINER DOME, CLAMPING RING AND BOLTS. SALVAGE COMPLETE ASSEMBLIES AND DELIVER TO OWNER.
4. PROVIDE FLUID-APPLIED ROOFING SYSTEM.
5. TYPICAL AT COPPER PENETRATION ADJACENT TO DRAIN.
6. PROVIDE EXPANSION JOINT. TURN DOWN TO BOTTOM OF FASCIA. PROVIDE PRE-FABRICATED EXPANSION JOINT AT ENDS, TYPICAL.

**LEGEND**

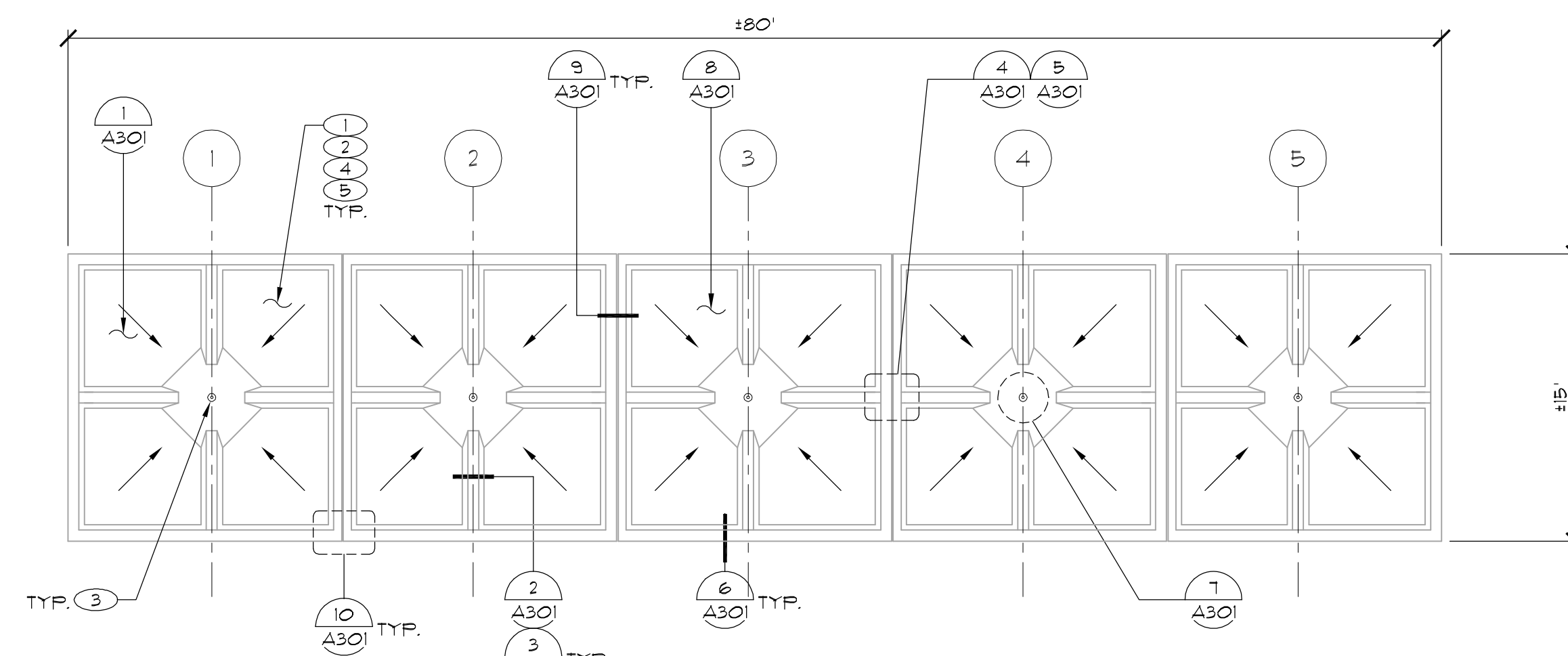
- (E) SLOPE DIRECTION
- (E) ROOF DRAIN
- DETAIL CALLOUTS
- KEY NOTES
- EXPANSION JOINT



**3 ROOF PLAN - BUILDING 2 AND 4 COLONNADE** SCALE: 1/8" = 1'-0"

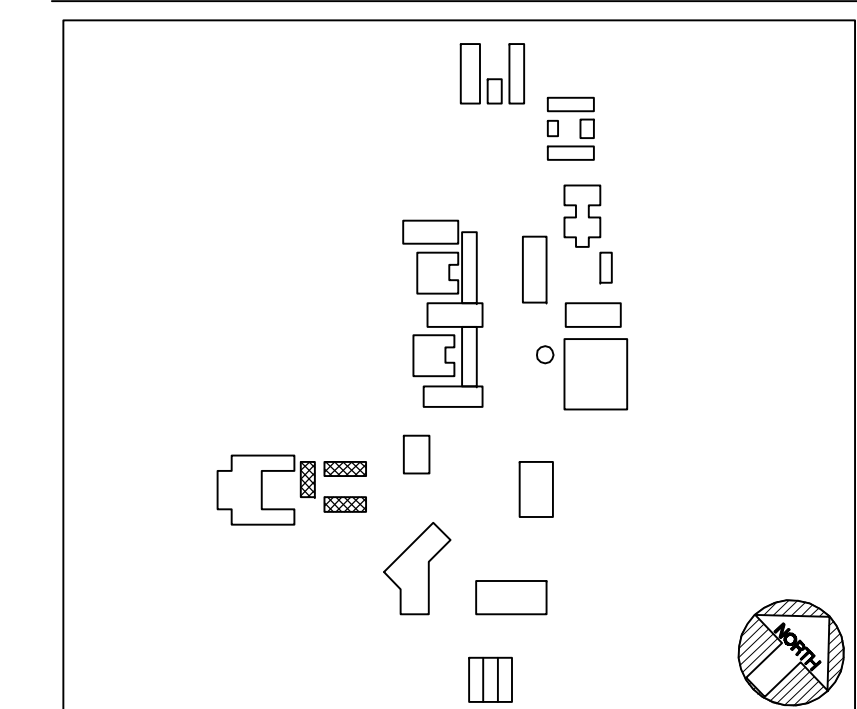


**2 ROOF PLAN - FOUNTAIN COLONNADE NORTH** SCALE: 1/8" = 1'-0"



**1 ROOF PLAN - FOUNTAIN COLONNADE SOUTH** SCALE: 1/8" = 1'-0"

**KEY PLAN**



SCALE: 1/8" = 1'-0"

1 INCH AT FULL SCALE.  
IF NOT 1 INCH THE DRAWING  
HAS BEEN RESIZED  
(NOT TO SCALE SHOWN)

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	CAD DWG FILE	2750_A201.dwg
	DRAWN BY	JKH/AV/ACPK
	CHECKED BY	RW/SC

**SHEET TITLE**  
**ROOF PLAN - FOUNTAIN  
COLONNADE SOUTH  
AND NORTH & BLDG 1  
AND 4 COLONNADE**

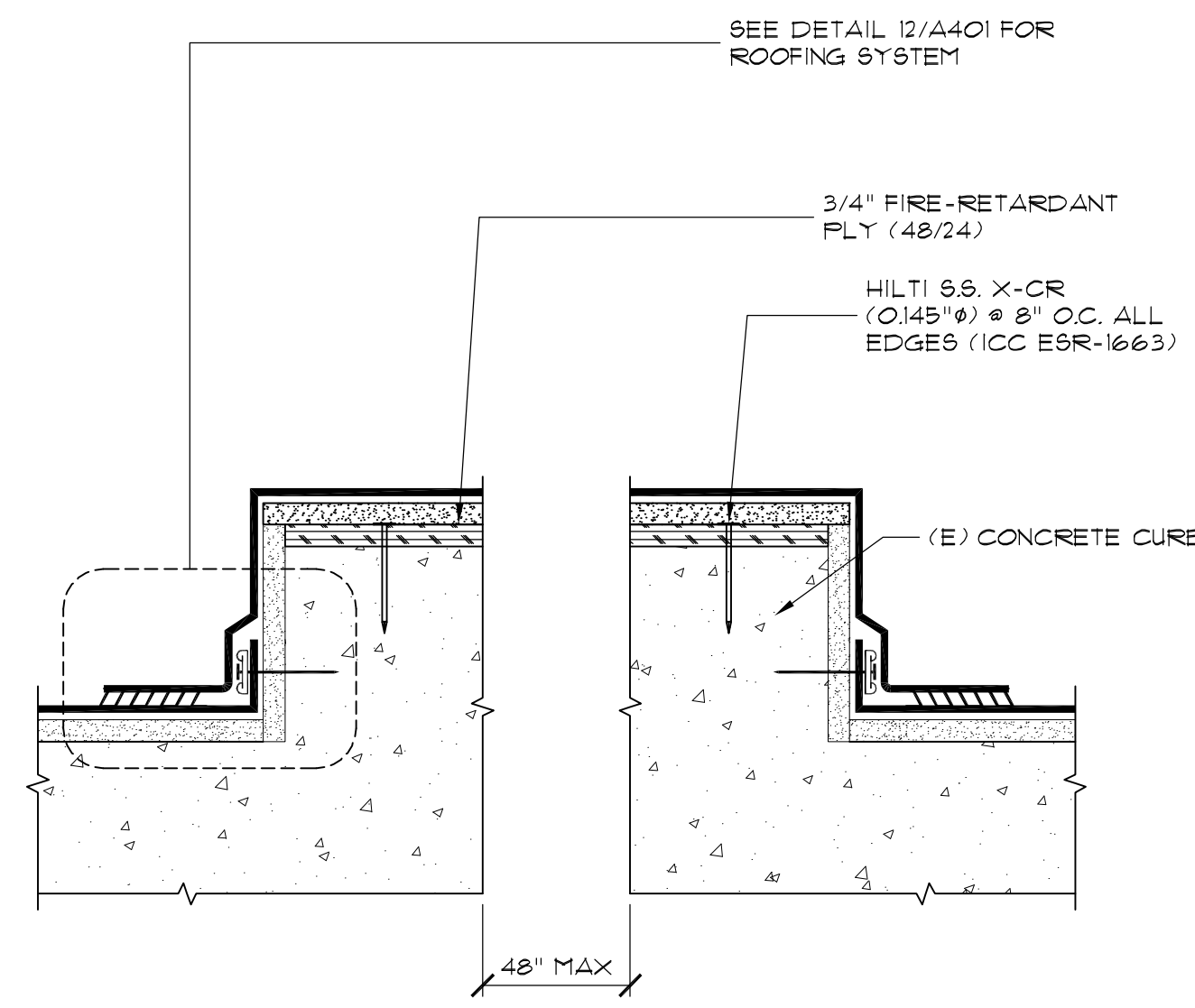
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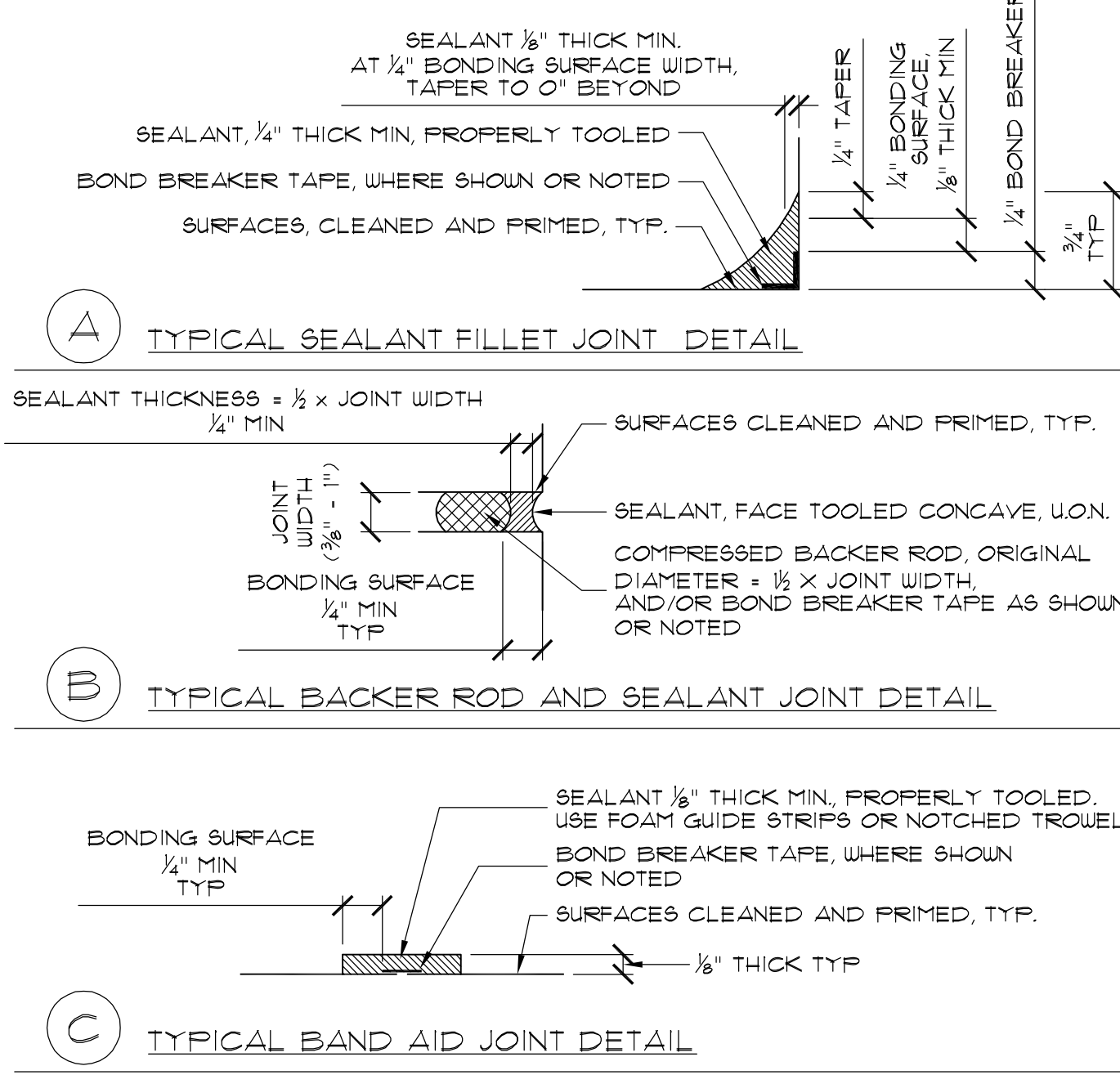


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**LARGE OPENING ON CURB**  
SCALE: N.T.S.

1  
A402

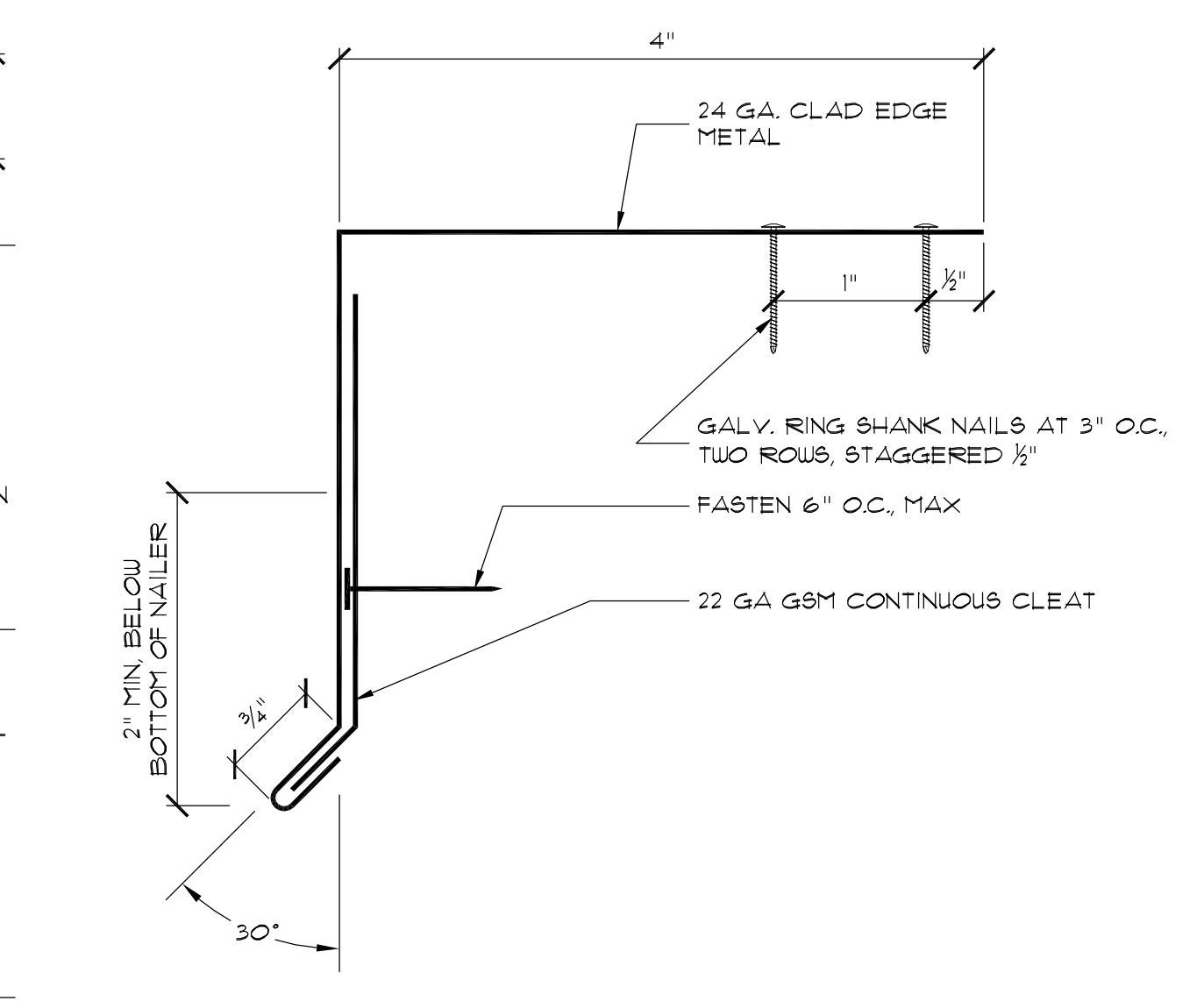


**TYPICAL NOTES, ALL SEALANT JOINTS:**

- CLEAN ALL SURFACES TO RECEIVE SEALANTS AND USE SEALANT MANUFACTURER'S RECOMMENDED PRIMER.
- MASK ALL JOINTS WITH MASKING TAPE, TYPICAL. REMOVE IMMEDIATELY AFTER TOOLING SEALANT.
- DO NOT USE ANY ALCOHOL, WATER OR OTHER AGENTS FOR TOOLING SEALANTS.
- INSTALL BOND BREAKER TAPE OR CLOSED-CELL BACKER ROD WHERE SHOWN OR NOTED.

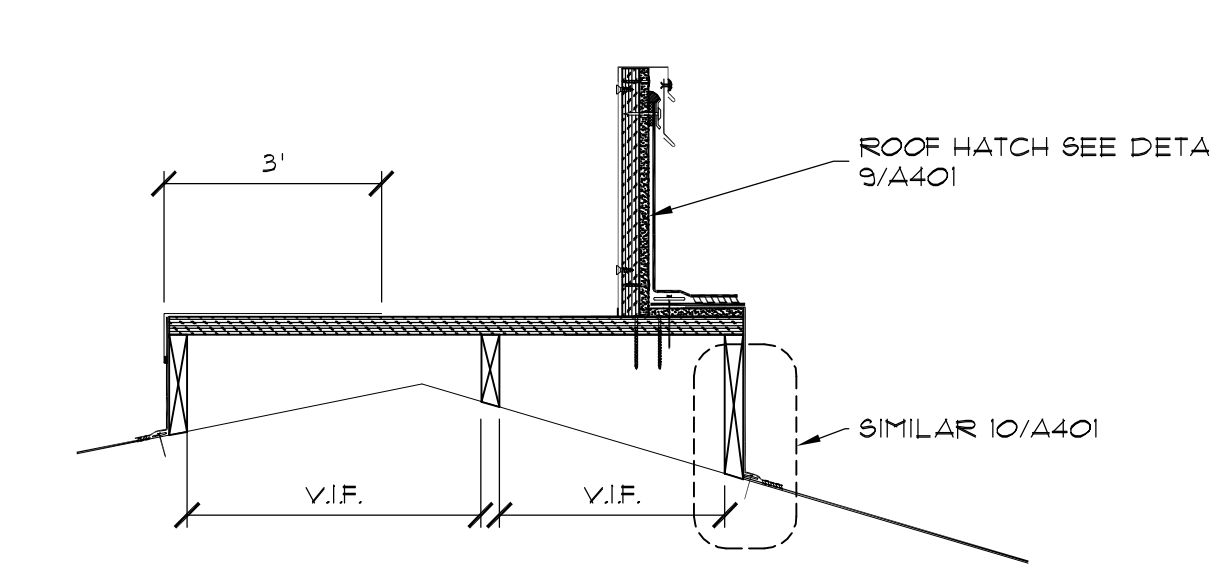
**TYPICAL SEALANT JOINTS**  
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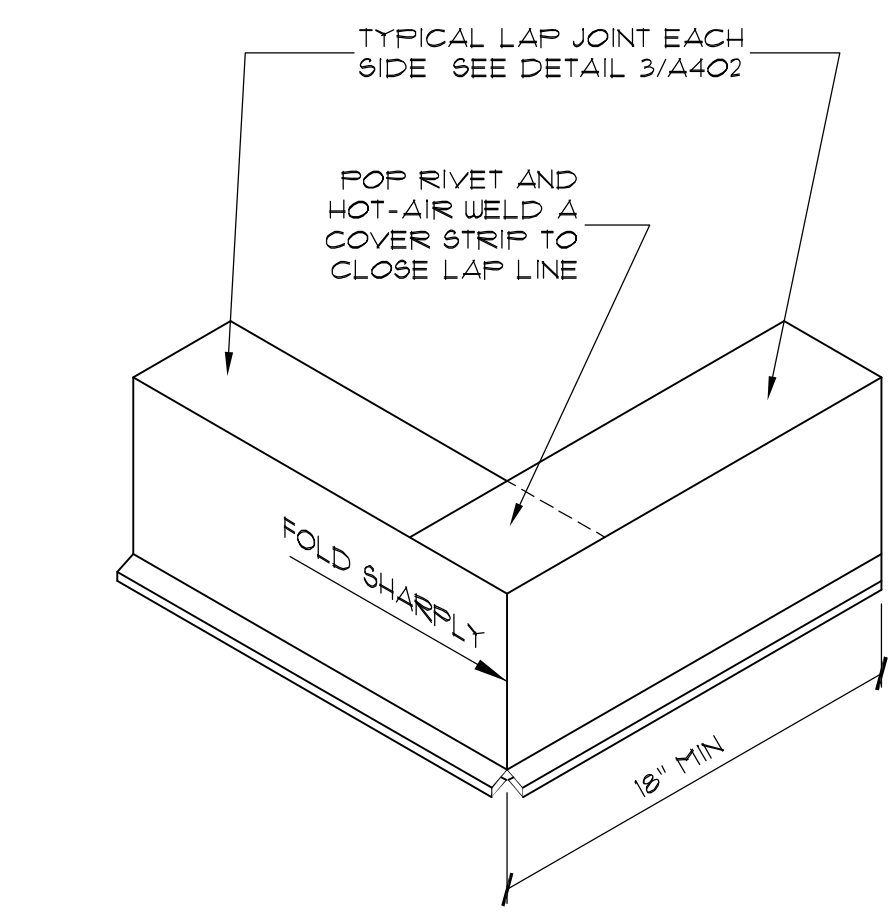
**EDGE METAL FABRICATION**  
SCALE: N.T.S.

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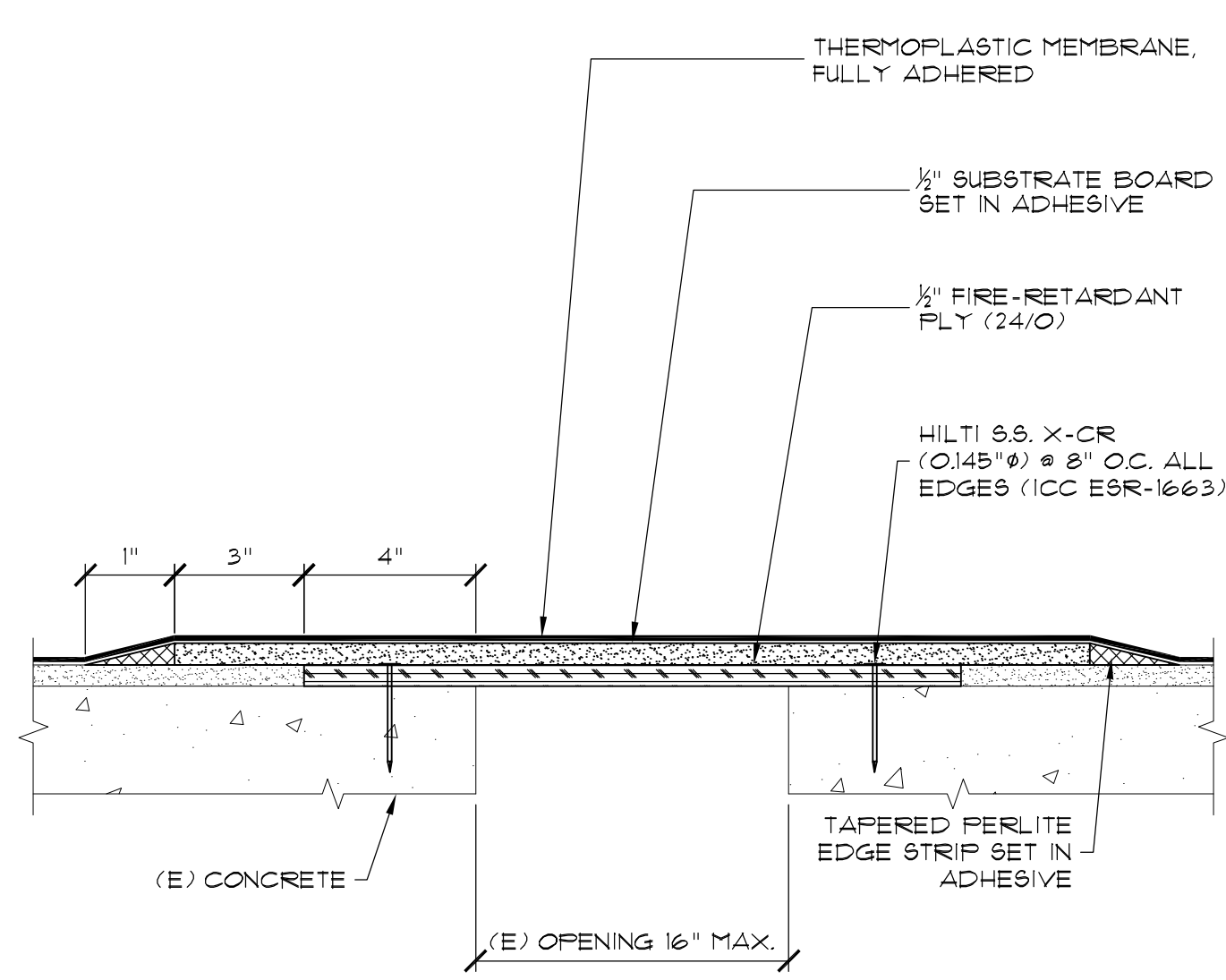
**PLATFORM FOR ROOF HATCH**  
SCALE: N.T.S.

5  
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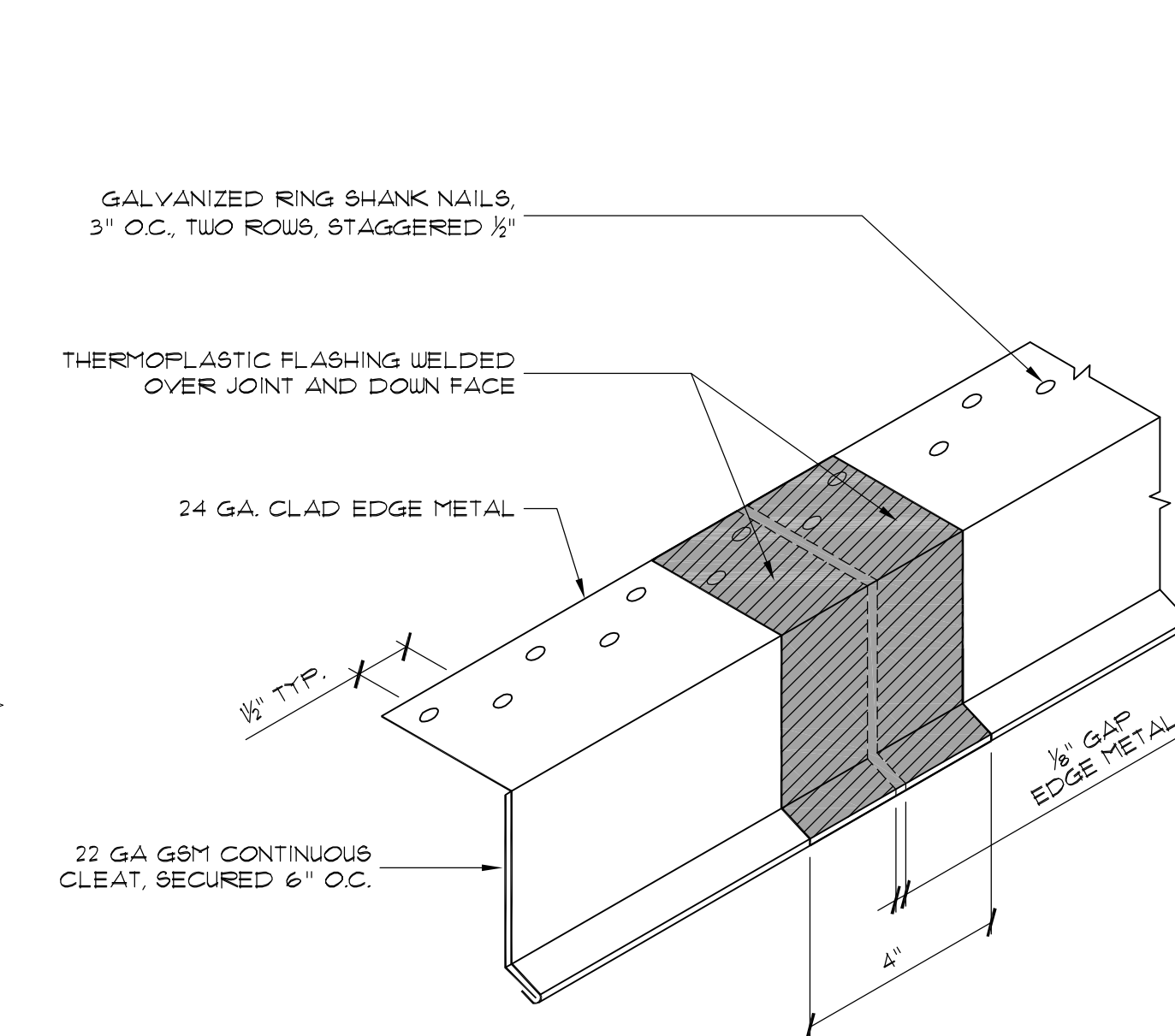
**OUTSIDE CORNER**  
SCALE: N.T.S.

2  
A402



**SMALL OPENING ON DECK**  
SCALE: N.T.S.

6  
A402



**TYPICAL LAP JOINT**  
SCALE: N.T.S.

3  
A402

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	DRAWN BY	JKH/AV/AC/PK
	CHECKED BY	IRW/SC
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**BUILDING 12 DETAILS**

SCALE: NOTED ON DRAWINGS

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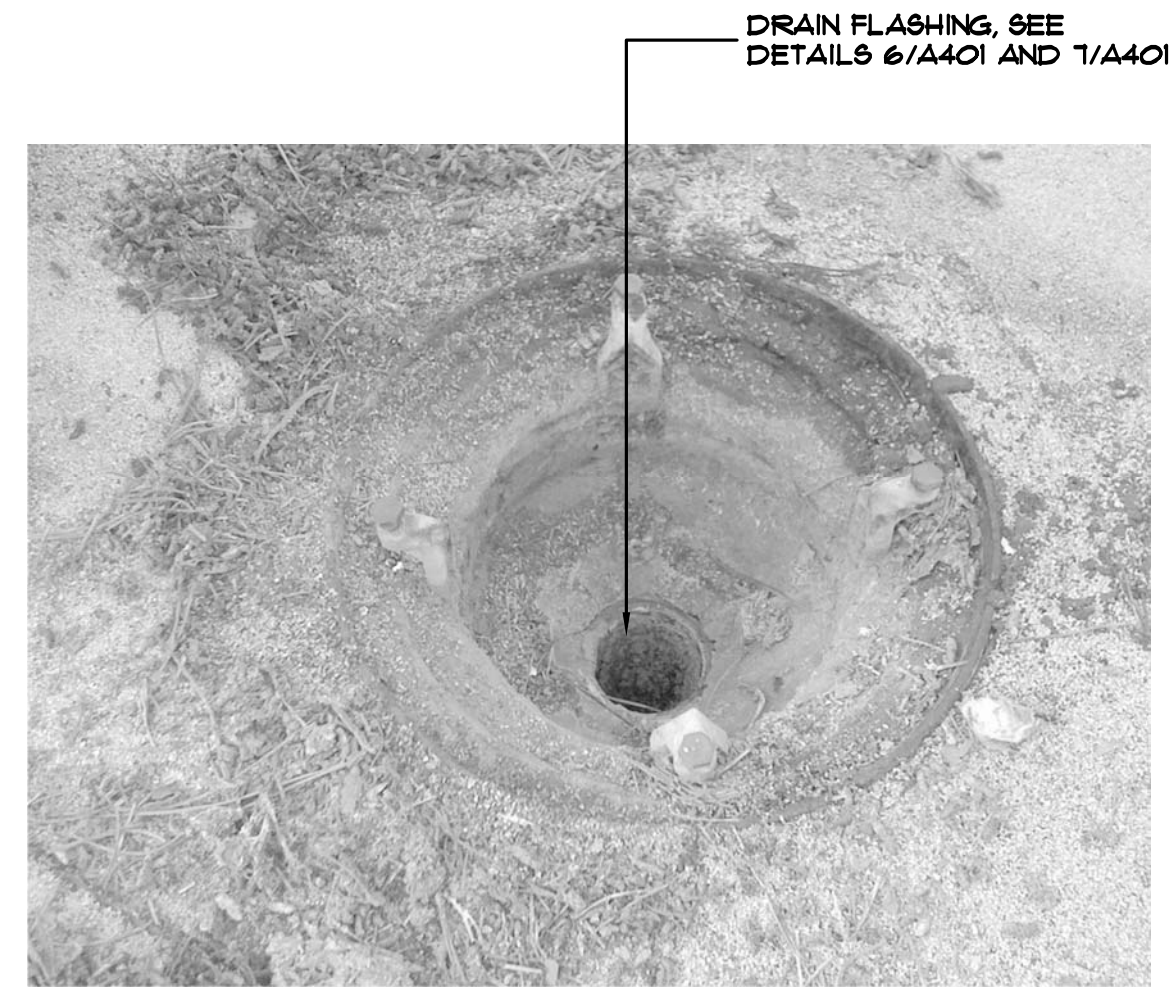


PHOTO 10  
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A501



PHOTO 1  
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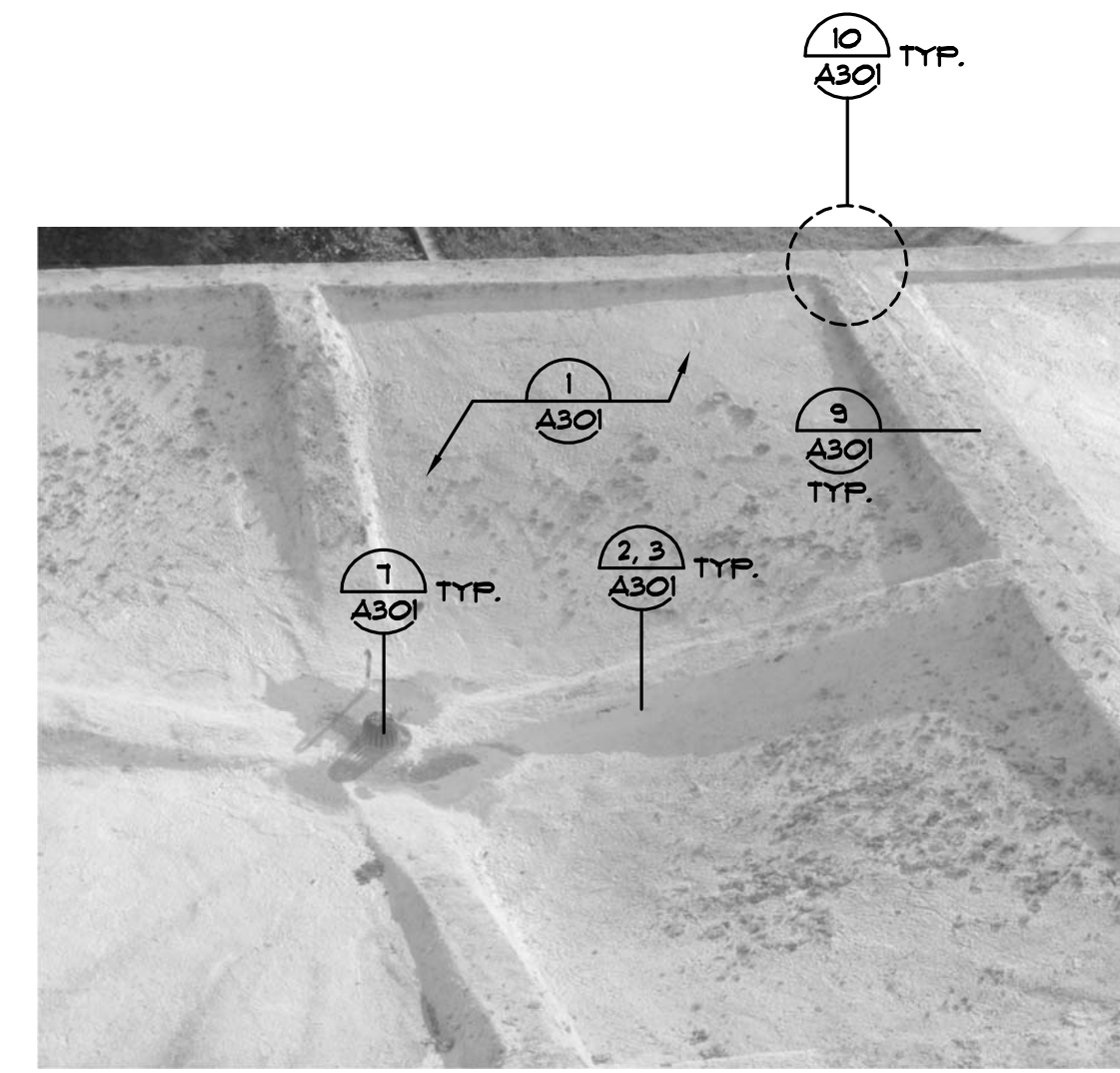


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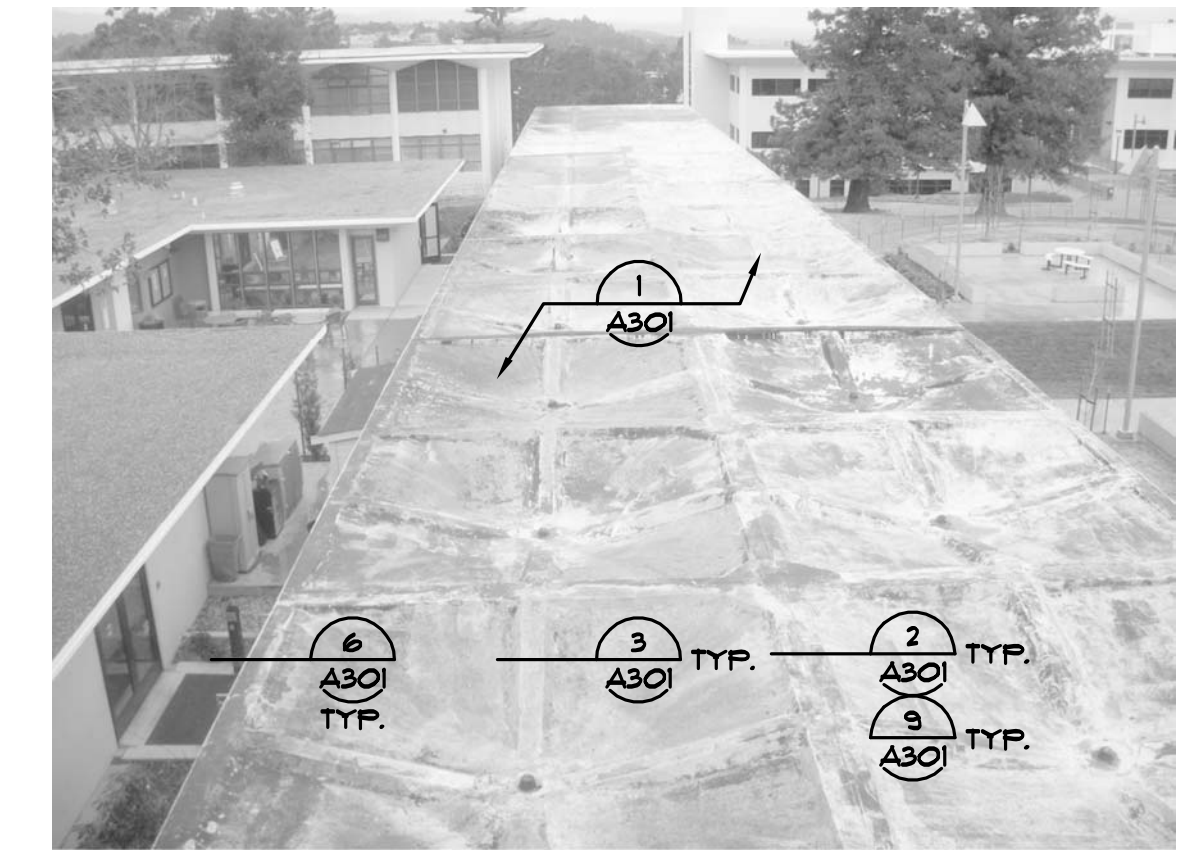


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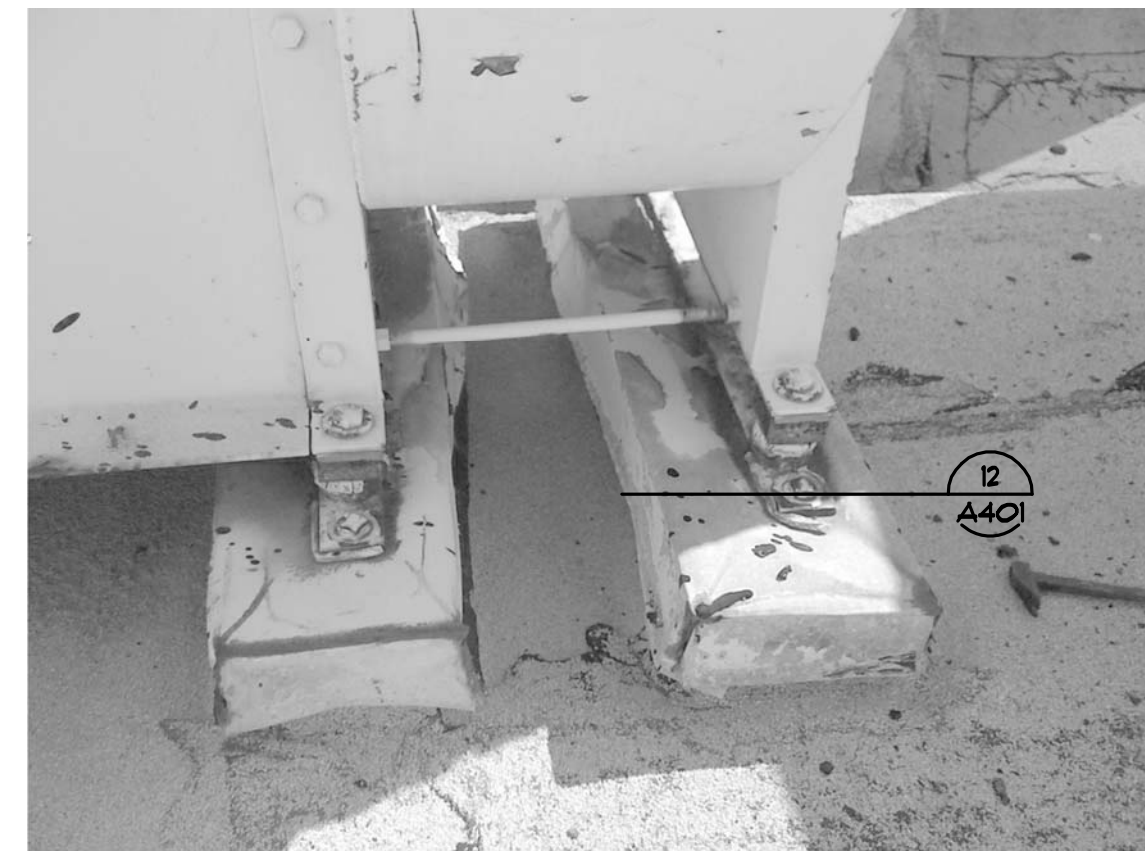


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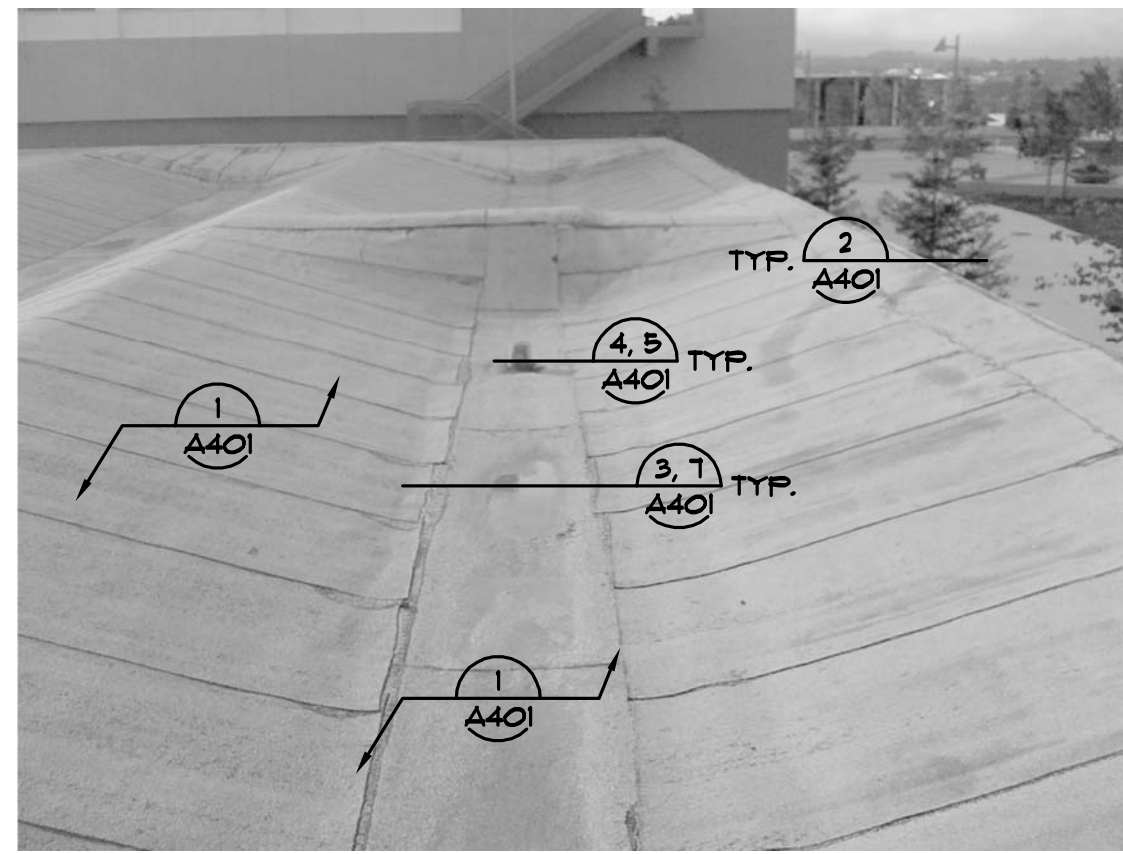


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PHOTO 5  
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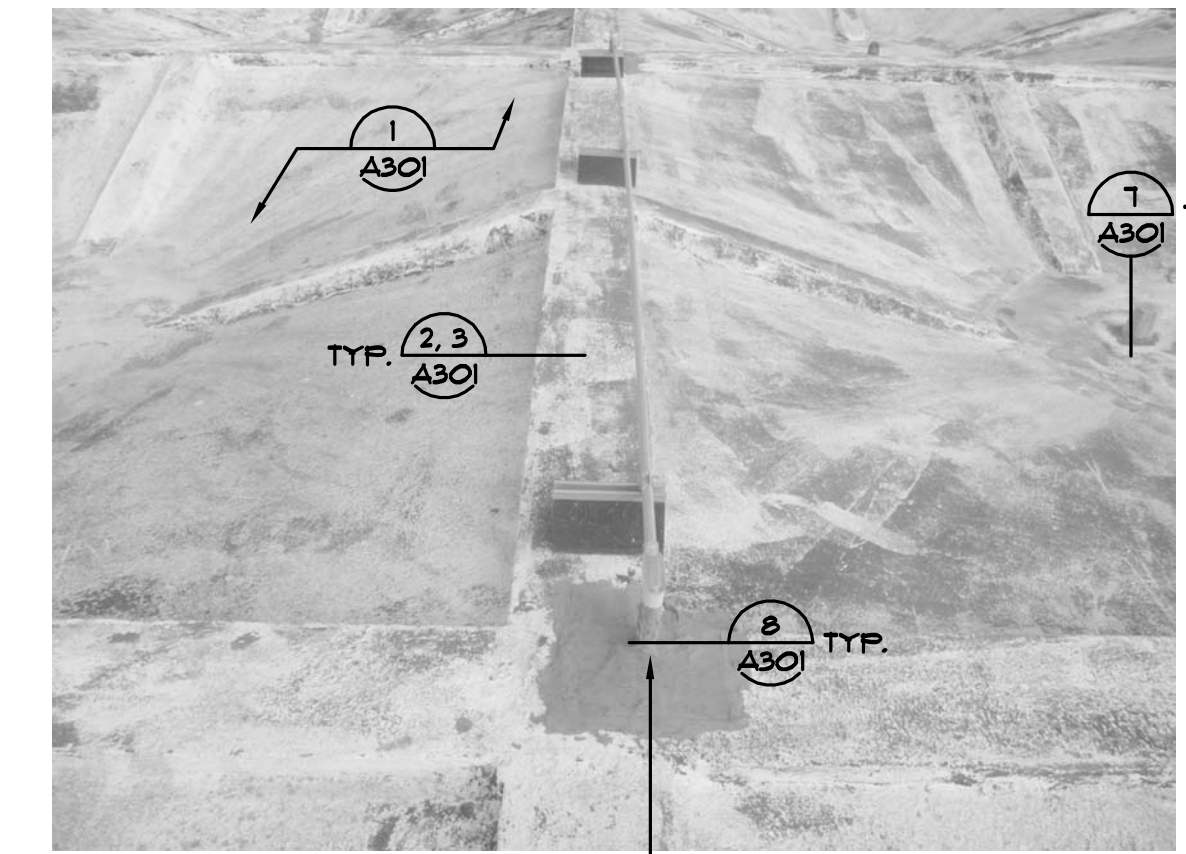


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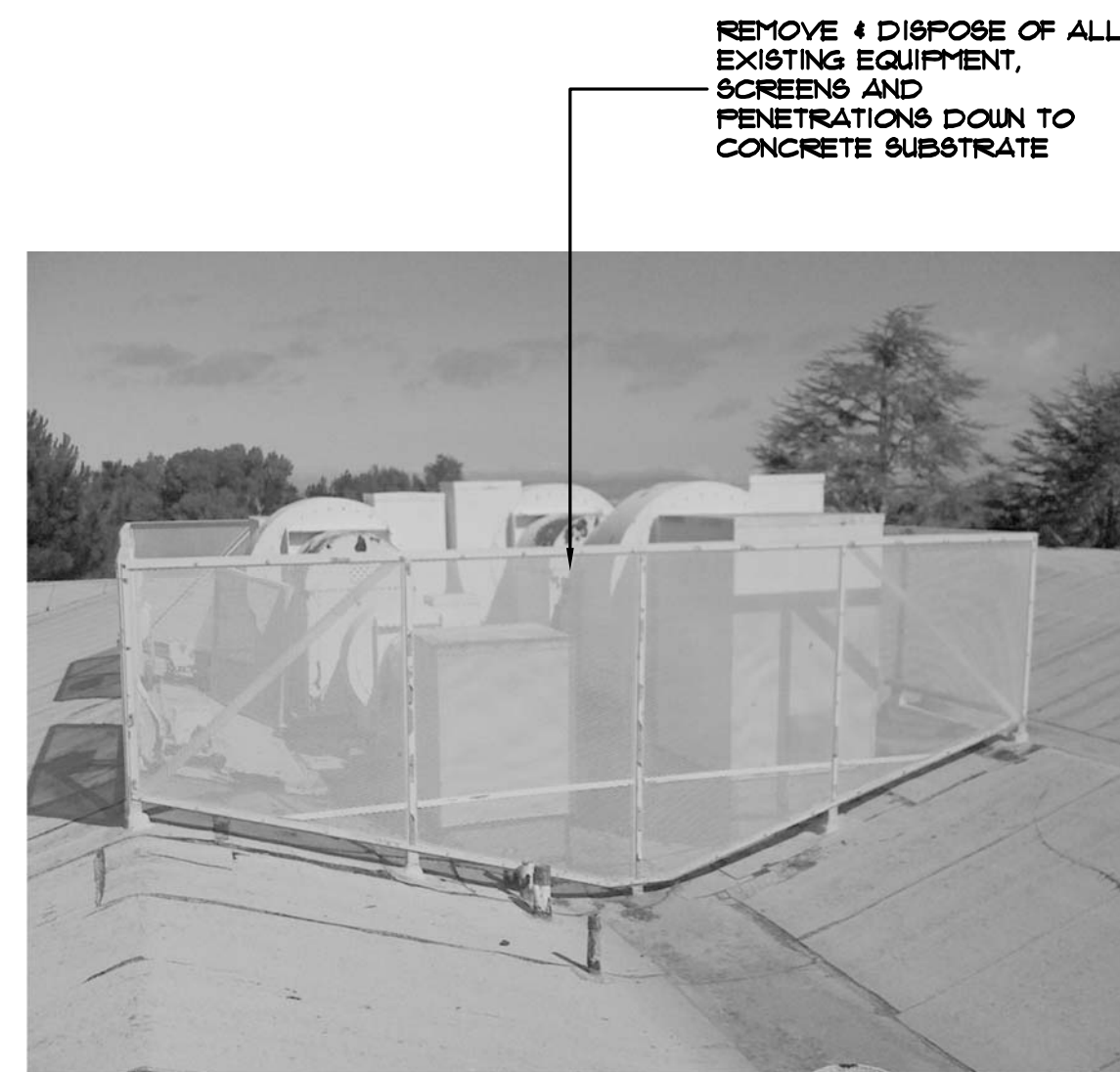


PHOTO 12  
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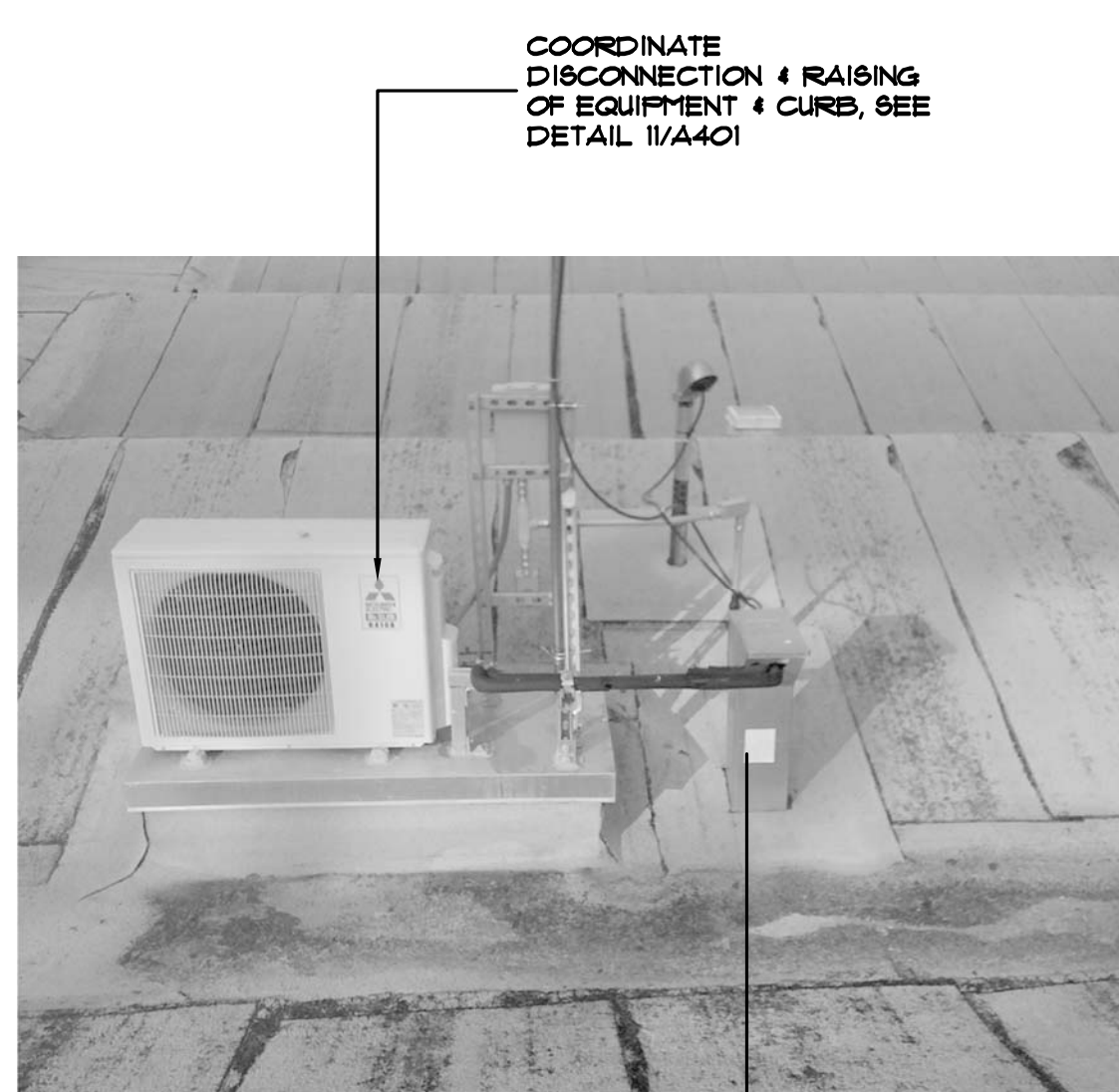


PHOTO 9  
SCALE: N.T.S. FILE: \_\_\_\_\_  
A501

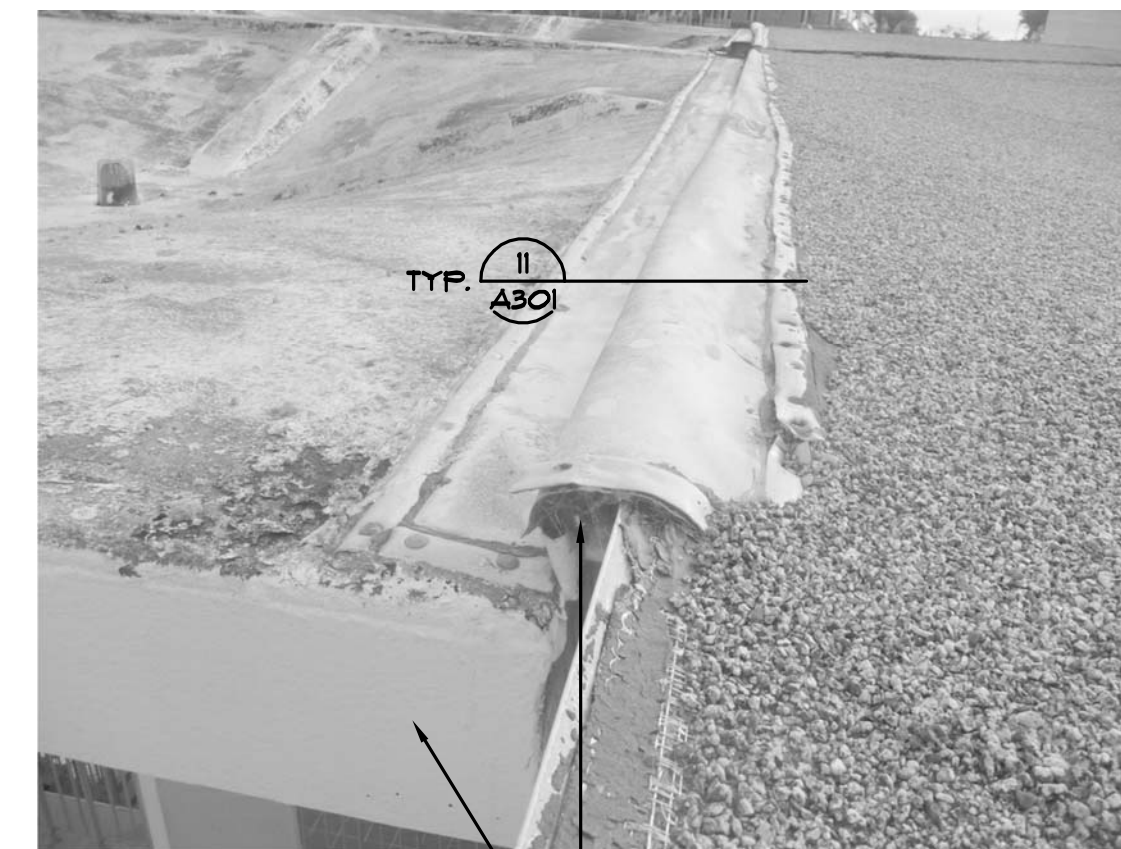


PHOTO 6  
SCALE: N.T.S. FILE: \_\_\_\_\_  
A501

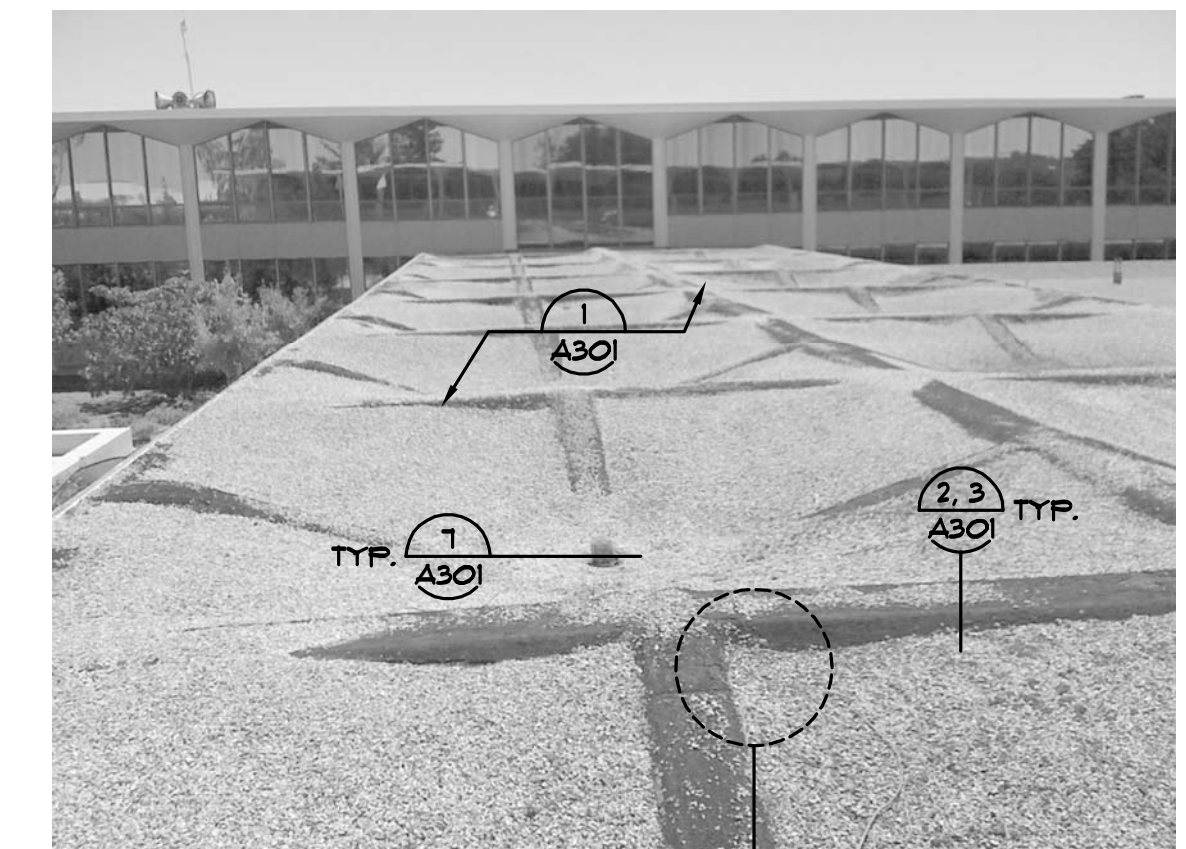


PHOTO 3  
SCALE: N.T.S. FILE: \_\_\_\_\_  
A501

College of San Mateo  
1700 W. Hillsdale  
San Mateo, CA

**Building 12 and  
Colonnades Roof  
Replacement**

FOR:  
San Mateo County  
Community College  
3401 CSM Drive  
San Mateo, CA 94402

ISSUE	

Mark	Description	Date

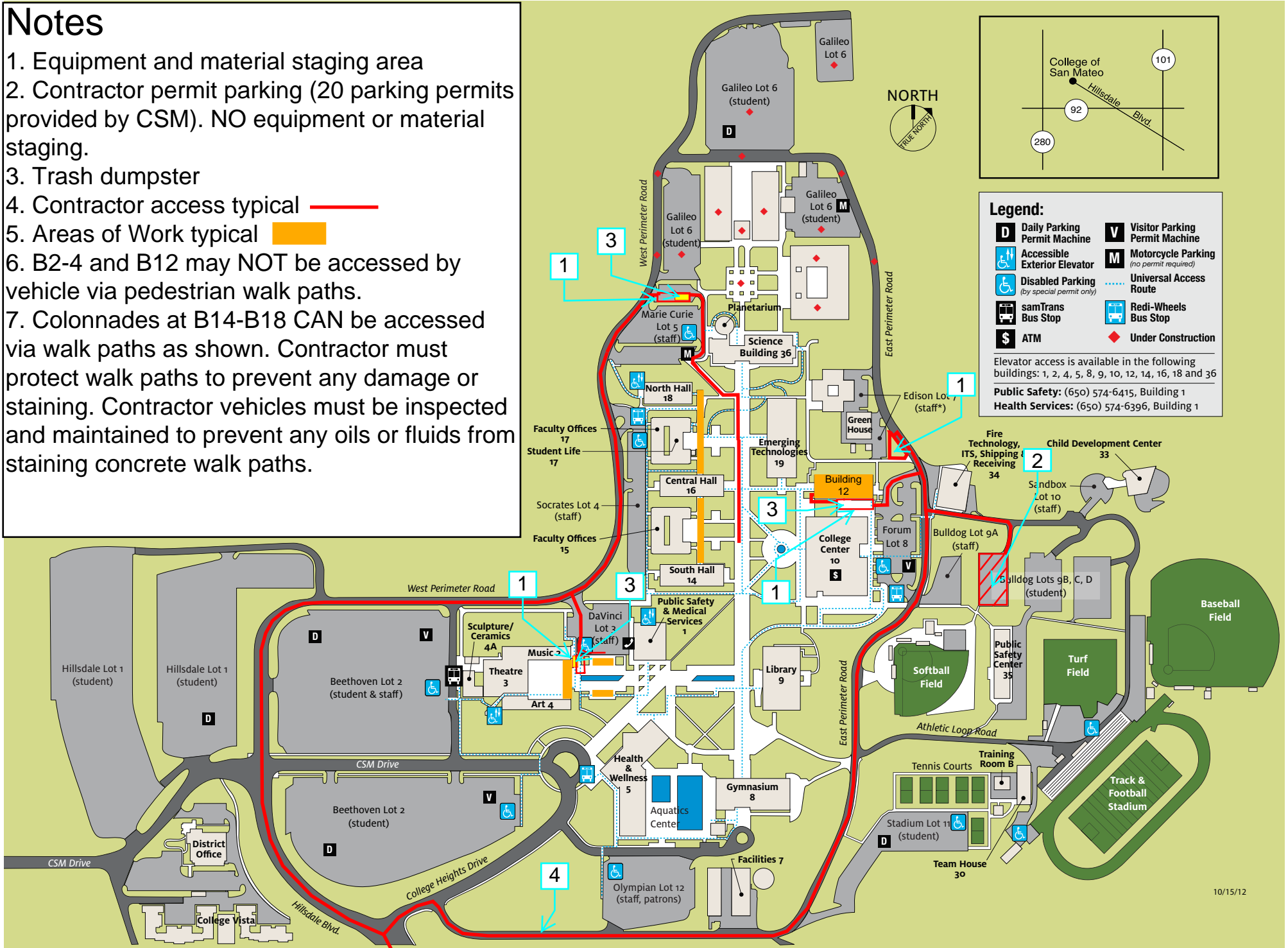
SHEET TITLE  
PHOTOS

SCALE: NOTED ON DRAWINGS

SHEET **A501**

# Notes

1. Equipment and material staging area
2. Contractor permit parking (20 parking permits provided by CSM). NO equipment or material staging.
3. Trash dumpster
4. Contractor access typical —
5. Areas of Work typical
6. B2-4 and B12 may NOT be accessed by vehicle via pedestrian walk paths.
7. Colonnades at B14-B18 CAN be accessed via walk paths as shown. Contractor must protect walk paths to prevent any damage or staining. Contractor vehicles must be inspected and maintained to prevent any oils or fluids from staining concrete walk paths.



NOTES

1. See spec. 01 58 00 for signage X
2. Fence

Sensitive landscape area - OFF LIMITS

Ladder (optional) or use stair tower

Ladder-optional

Emergency exit only during construction

Fence closing off walk

2

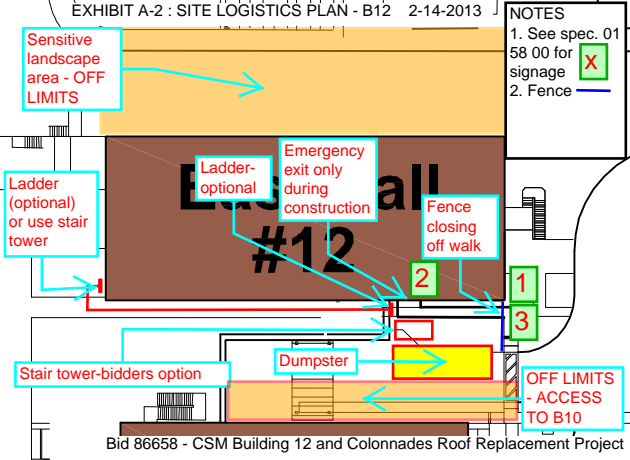
1

3

Stair tower-bidders option

Dumpster

OFF LIMITS - ACCESS TO B10



# LOI 5

Science B

Refer Exhibit A-1 for staging area

Fence typical

## North Hall #18

## #17

## Central Hall #16

## #15

## South Hall #14

- NOTES
1. Vehicles restricted to main walk path - indicated by red line. Concrete walk MUST be protected against staining and fluids.
  2. Building entrances marked "E" must remain open during construction.
  3. Contractor must erect temporary scaffold barricades, with overhead canopy, to protect the public.
  4. Provide fencing to prevent public from entering. Refer Blue lines.
  5. Refer spec. 01 58 00 for signage

ADA path must stay open

Trash truck

Trash truck

# ATES T 4

