



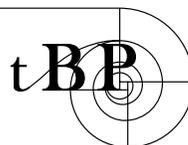
2001 Facilities Master Plan



SAN MATEO COUNTY COMMUNITY COLLEGE DISTRICT

Cañada College College of San Mateo Skyline College

 tBP/Architecture



Chancellor

Ron Galatolo

Board of Trustees

Patricia Miljanich, *President*

Richard Holober, *Vice President-Clerk*

Thomas L. Constantino

Helen Hausman

Karen Schwarz

Benjamin A. Gonzales, *2001-02 Student
Trustee*

Presidents

Rosa G. Pérez, *Cañada College*

Shirley Kelly, *College of San Mateo*

Frances White, *Skyline College*

Cañada College
College of San Mateo
Skyline College



2001 Facilities Master Plan

**SAN MATEO
COUNTY
COMMUNITY
COLLEGE
DISTRICT**

tBP/Architecture

Architecture and Planning

1000 Burnett Avenue, Suite 140, Concord, CA 94520 925-246-6495

2300 Newport Blvd., Newport Beach, CA 92663 949-673-0300

3701 Wilshire, Suite 535, Los Angeles, CA 90010 310-381-6400

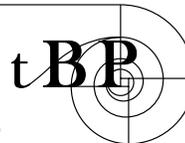


Table of Contents

LETTER FROM THE CHANCELLOR	iii		
INTRODUCTION	1	COLLEGE OF SAN MATEO	17
Purpose	1	Letter from the President	18
Planning Process	1	I. Recommendations	19
District Planning Goals	2	Recommended Master Plan	20
Document Organization	2	Design Images	24
		II. Existing Analysis	25
CAÑADA COLLEGE	3	Existing Campus Zoning	26
Letter from the President	4	Existing Campus Circulation	28
I. Recommendations	5	III. Option Development	30
Recommended Master Plan	6	Option Development Summary	30
Design Images	9		
II. Existing Analysis	10	SKYLINE COLLEGE	32
Existing Campus Zoning	11	Letter from the President	33
Existing Campus Circulation	13	I. Recommendations	34
III. Option Development	15	Recommended Master Plan	35
Option Development Summary	15	Design Images	38
		II. Existing Analysis	39
		Existing Campus Zoning	40
		Existing Campus Circulation	42
		III. Option Development	44
		Option Development Summary	44

Letter from the Chancellor

The San Mateo County Community College District has a proud history of service to its students and community. Today, as we enter our 79th year, we are preparing to embark on the next phase of continuing improvement to our facilities. To that end, three major activities occurred during the last several months, involving many individuals, including District facilities management and staff, consulting engineers and architects. To obtain valuable input and advice from faculty, staff, and administration, open meetings and interviews were held at each College.

Two of the activities were an extensive facilities audit and a comprehensive energy analysis. The third activity, a substantial update to the District's Facilities Master Plan, reflects the outcomes from the facilities audit and energy analysis. The Plan will serve as our guide to assure that the District's physical resources fully meet the expectations articulated in our educational program goals for the coming years.

One particularly important outcome of the actions noted above was a list of specific facilities improvement tasks. This list was finalized after review by the constituent group leadership of our District. For convenience, the list is organized as follows: (1) renovation and repair, (2) energy efficiency projects, and (3) technology and equipment.

Renovation & Repair

- Repair or replace roofing
- Remove hazardous materials removal
- Renovate or replace plumbing systems
- Renovate or replace storm drainage systems
- Repair or replace sanitary drainage systems
- Repair, replace or renovate underground hot water piping system
- Replace or upgrade fire alarm systems
- Replace or upgrade building fire sprinkler systems
- Renovate or upgrade restrooms
- Repair, renovate or construct elevators and lifts
- Install battery backup power for elevators
- Grade slopes to improve accessibility
- Repair or replace asphalt and concrete surfaces
- Replace or install campus signage to improve accessibility
- Interior and exterior painting and waterproofing
- Replace, repair, or renovate interior finishes
- Repair or replace door hardware and locks
- Replace or repair landscape irrigation systems
- Erosion mitigation
- Resurface tennis courts
- Resurface athletic fields
- Renovate aquatic facilities
- Renovate athletic facilities

Letter from the Chancellor

Energy Efficiency

- Replace or upgrade electrical systems
- Replace or install new lighting systems
- Repair, replace or install new heating, ventilation and air conditioning systems
- Repair or upgrade windows
- Install energy management systems
- Replace or upgrade environmental controls

Technology & Equipment

- Replace obsolete voice and data communications systems
- Renovate, upgrade or install infrastructure for networks
- Upgrade or replace computer hardware, including network equipment
- Replace or upgrade software
- Replace analog systems with digital broadcast equipment and related communications devices
- Upgrade or replace science lab equipment (e.g., imaging astronomy cameras, Planetarium star projector, measuring scales, seismograph stations, weather instruments, optic systems and timers, microscopes)
- Upgrade or replace workforce development, vocational, and occupational lab equipment (e.g., aircraft scales, vacuum systems, fiber optic kits, cutters/torches, motion graphics equipment and software, X-ray systems, light curing units, patient beds, facial machines, professional hair dryers, automotive lifts, and Law Enforcement, Fire Safety and Emergency Medical Training units)

- Upgrade or replace audio visual equipment
- Upgrade or replace visual/performing arts equipment (e.g., pianos, keyboards, music stands, cameras, projectors, enlargers, developers, audio sound machines, editing machines, recorders)
- Replace or upgrade furniture and fixtures (e.g., desks, workstations, chairs, tables, podiums, screens, lecterns, white boards, chalk boards)

As you can see, this list is thorough; it is also pragmatic. Contemporary facilities, combined with up-to-date equipment, are crucial to our ability to provide first-class education and services for our students. The actions contained in this Facilities Master Plan and completion of the tasks identified above constitute the basis for us to respond effectively and proactively to the changing needs of our students and community.

*Ron Galatolo, Chancellor-Superintendent
San Mateo Community College District
September 2001*

Introduction

INTRODUCTION

PURPOSE

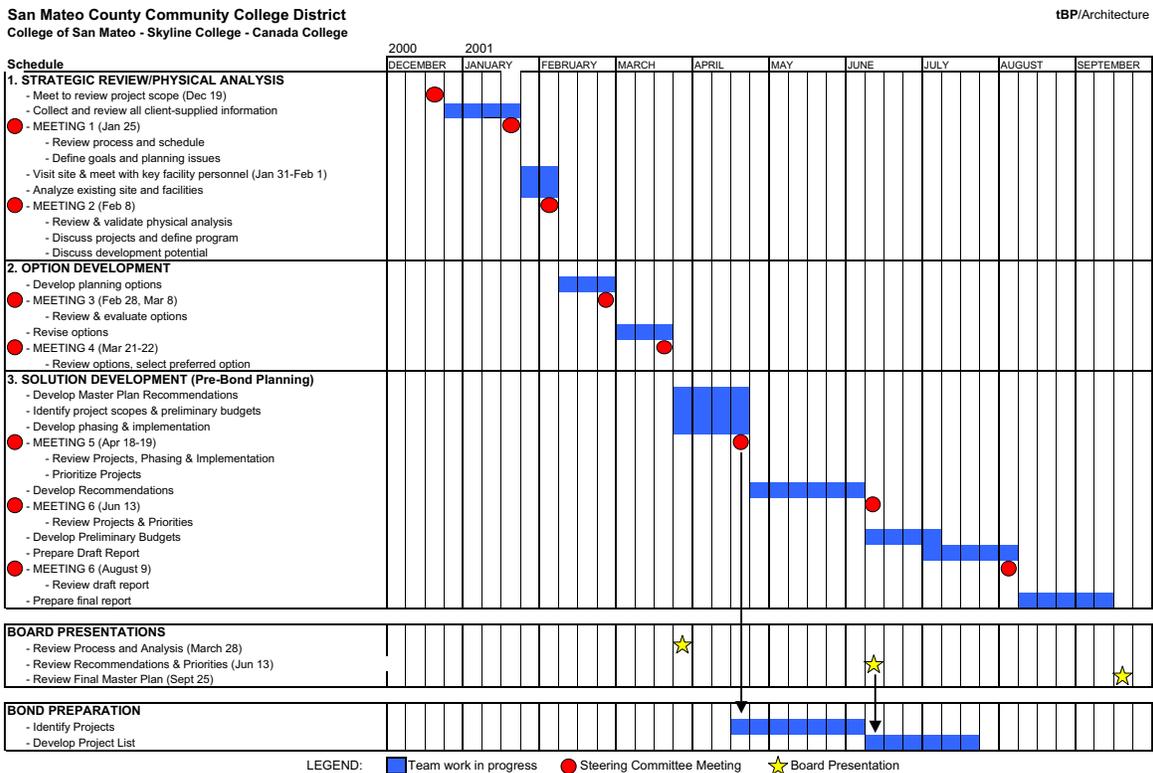
The purpose of the Facilities Master Plan for the San Mateo County Community College District is to provide a guide for future development. The Plan is a roadmap for the future development of each of the three Colleges in the District. It includes the placement of new facilities and site improvements for each campus.

THE PLANNING PROCESS

The planning process has been a highly participatory one involving the many constituencies

of the District and the Colleges. The Planning team worked closely with participants at each of the Colleges, including key faculty, staff, and administrators. The participants reviewed the Analysis of Existing Physical Conditions, evaluated a series of Development Options, and made decisions that led to the development of the Master Plan Recommendations.

The planning process included a series of Planning meetings as well as presentations and discussions with the College which served to broaden the plan's perspective and enhance the acceptance of proposed developments.



Introduction

DISTRICT PLANNING GOALS

The following District Planning Goals emerged through discussions with each of the Planning Committees:

- Improve facilities to support the educational mission of the institution.
- Improve the image of each College.
- Create a welcoming identifiable entrance to each campus.
- Consolidate and expand student services.
- Locate footprints for future planned facilities.
- Create more unprogrammed space for students (activity areas - indoor and outdoor).
- Consider opportunities to improve campus/community relations.

DOCUMENT ORGANIZATION

The Facilities Master Plan for San Mateo County Community College District describes a plan for site and facilities improvements that will support current and future needs at the District. This document is organized into three parts: Cañada College, College of San Mateo and Skyline College, and each part is divided into three sections:

Recommendations

The Recommendations section describes the overall Master Plan Recommendations for the College. The drawings identify the Proposed projects and a set of design images serve as a guide for future development.

Existing Analysis

The Existing Conditions section is an analysis of the existing campus, the zoning of the site and facilities, and vehicular and pedestrian circulation.

Option Development

This section includes a summary of the planning process, and the evolution of the options that led to the development of the Master Plan Recommendations for each College.

Cañada College 2001 Facilities Master Plan



Planning Participants

Elizabeth J. Armstrong, *Vice President, Instruction*
Lorraine Barrales-Ramirez, *Classified President*
Rachel Burrola, *Facility Coordinator/Operations*
Roberta Chock, *Promotions and Web Coordinator*
Betty Fleming, *Administrative Assistant, Instruction*
John Friesen, *Dean, Humanities*
Danny Glass, *Facilities Supervisor*
Jeanne Gron, *Learning Center Director*
Linda Hayes, *Dean, Business & Workforce Development*
Phyllis Lucas, *Dean, Instructional Services/LRC*
Jane McKenna, *Librarian*
Olivia Martinez, *Vice President, Student Services*
Rosa G. Pérez, *President*
Jacqui Phillips, *Academic Senate President*
Rita Sabbadini, *Learning Center Program Supervisor*
Irene Serna, *Director EOPS*

José D. Nuñez, *District, Executive Director of Facilities,
Operations & Maintenance*
Linda da Silva, *District, Director of Facilities &
Maintenance*
Walter Zander, *District, Director of Facilities Planning
& Capital Construction*

Contents

- I. RECOMMENDATIONS
- II. EXISTING ANALYSIS
- III. OPTION DEVELOPMENT

Letter from the President

Cañada College opened in 1968 captivating the community with its serenity and scenic beauty. The lure of the peaceful learning environment in one of the most majestic locations in this state has continued to draw diverse student enrollments from the southern part of San Mateo County over the years. Once an olive ranch, Cañada College has matured as a strong transfer Liberal Arts institution with excellent workforce development programs, a Middle College High School, strategic linkages to high schools and local industries, and two very successful community based centers. Academic excellence, access, and social responsibility have been the foundational values for the Colleges throughout its evolution.

The Facilities Master Plan, developed with input from many institutional leaders, has allowed the college community to envision a future that enables us to continue to serve our students and partners with quality and pride. It addresses the educational and training needs of local residents that live and work in one of the most competitive economic and social environments in the world. It also envisions the development of an institution with the courage and commitment to become a leader and model for many educational innovations in this State. This Plan has been reviewed by the College Council and was developed after the College completed its Self-Study for Accreditation.

It is a timely and well-conceived document that will enable Cañada College to give San Mateo County cutting edge public higher education resources to prepare for the dynamic regional and global economies that serve increasingly diverse communities.

*Rosa G. Pérez, President
September 2001*

Recommendations

RECOMMENDATIONS

The Facilities Master Plan Recommendations for Cañada College present an overall picture of the future developed campus and includes proposed sites for new facilities, recommendations regarding renovations of existing facilities, and site development projects.

While drawings in the Plan appear specific, the forms are conceptual sketches, which highlight the location and purpose of improvements. The final design of each site and facility project will take place as projects are funded and detailed programming occurs.

The Recommendations are presented in a series of illustrations, which are included in this section and described below.

Recommended Master Plan

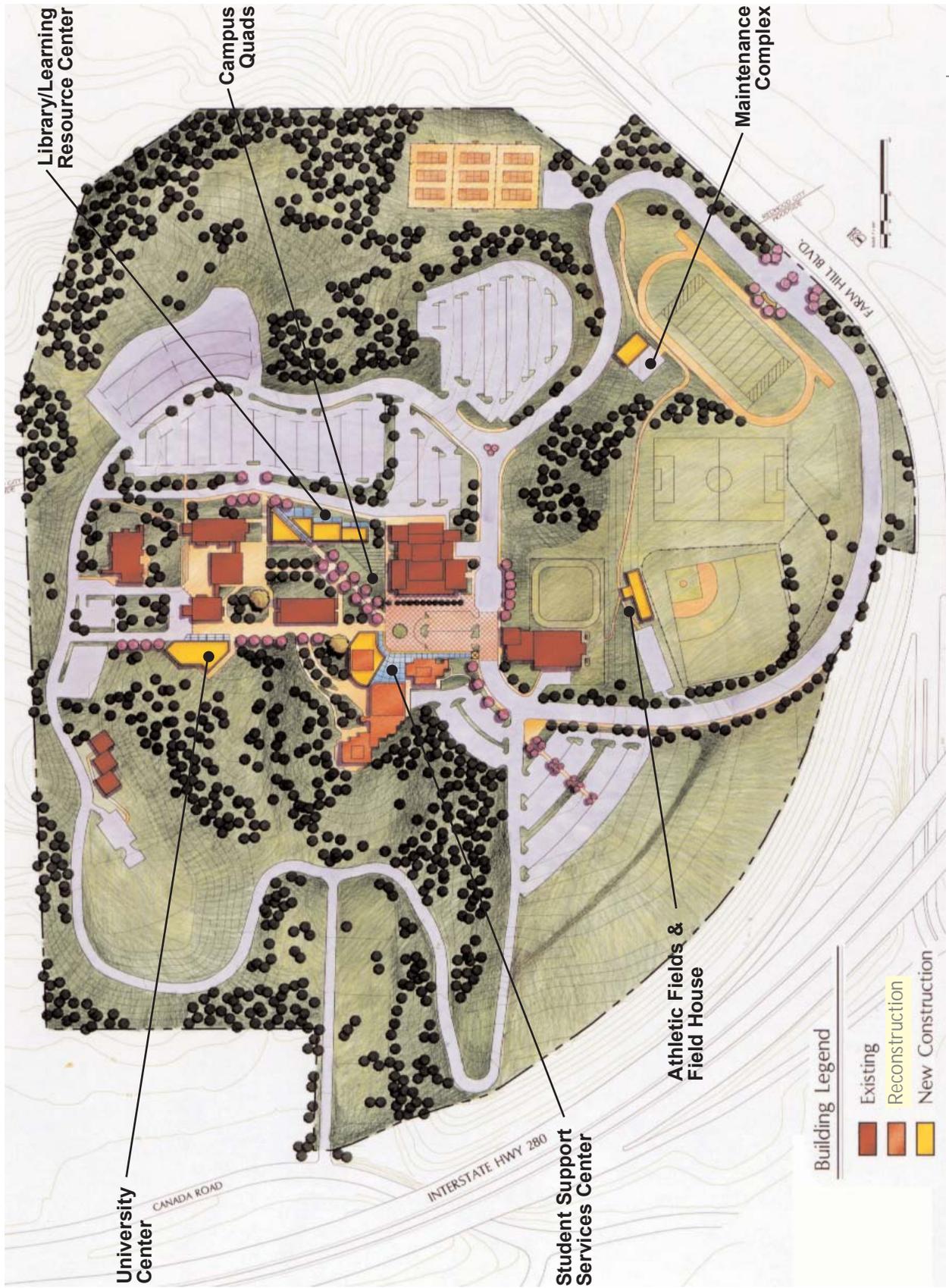
The Recommended Master Plan Drawing is an illustration of the proposed Facilities Master Plan recommendations. The graphic illustrates all of the site development and facility projects identified in the plan.

The recommendations incorporate the goals identified by the College in the Planning Process, including:

- Construction of a new Library and Learning Resource Center.
- Construction of a University Center to host a number of university partners in offering upper division and graduate degrees.
- Renovate existing facilities to support current instructional needs.
- Create welcoming identifiable entrances to the College.
- Develop a "One Stop Shop" for Student Services in an accessible, identifiable location.
- Develop outdoor spaces for formal and informal student activity.
- Improve campus vehicular and pedestrian circulation.
- Improve access to the campus from the north parking lots.

Design Images

The Design Images identify the key concepts and elements discussed in the planning process as they relate to proposed projects. These images serve as a guide to future building and site development.



Cañada College Recommended Master Plan

Recommendations

MASTER PLAN PROJECTS

Facilities Renovations

Repair and renovation to existing facilities are planned in order to address current deficiencies at the College. Projects will address ADA compliance concerns, fire and safety code requirements, emergency preparedness and security.

Library/Learning Resource Center

A new Library/LRC is proposed to replace the outdated, under-sized existing library, which is located in a remote location. The proposed 3-level structure provides the opportunity to create a pedestrian entry from the north parking lots, through the building and directly to the newly developed main campus quad. The existing loop road will be reconfigured in order to increase access to all areas of the campus, particularly the upper parking lots.



Secondary Effects

Following the construction of the new Library/LRC, the existing library space will be renovated and re-assigned to other college functions, appropriate to the remote location.

Student Support Services Center

A renovation and expansion to Buildings 2, 5, 6 and 8 will convert the existing facilities into a new "One Stop Shop" for Student Services, joined with a Student Union. The new facility will include a welcoming entry, directly visible from the newly developed drop-off and a central Information Center for distribution of important student information. Students will have access to all of the Student Services offices in the facility. The Student Union portion of the project will include an expanded bookstore, food service and student activities offices, to support the students of Cañada College.



Recommendations

University Center

A state-of-the-art instructional technology center is proposed as a hub for the programs and services associated with the University Center. This multi-level teaching and learning center will house all of the upper division and graduate programs offered by the multiple universities that will be affiliated with the University Center and some of the Cañada College lower division programs associated with them. Programs underway and planned include Teacher Education, health education, Child and Adolescent Development, Engineering, Computer Information Systems, Business Administration, and other business related fields. This University Center will be the first of its kind in California and will create a model that will bring greater access to San Mateo County residents to both public and private university opportunities.

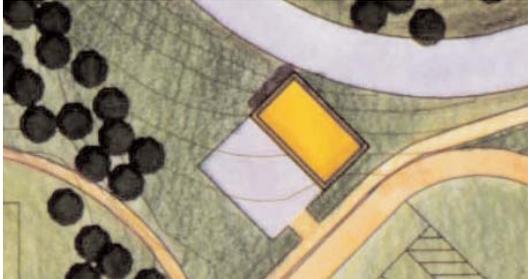


Athletic Fields & Field House

Improvements to the athletic fields and a new field house is proposed to support the needs of the Physical Education programs. In addition, access to the gymnasium from the fields will be improved.

Maintenance Complex

A new 3,000 square foot Maintenance Complex is proposed that will house shops, offices and corporate yards. The recommended location provides the space and required access to support this facility.

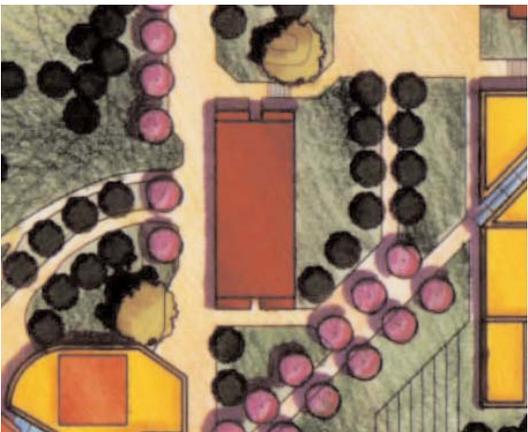


Secondary Effects

Following the construction of the Maintenance Complex, the space that Maintenance currently occupies in the Gymnasium will be renovated and re-assigned to support Physical Education space needs.

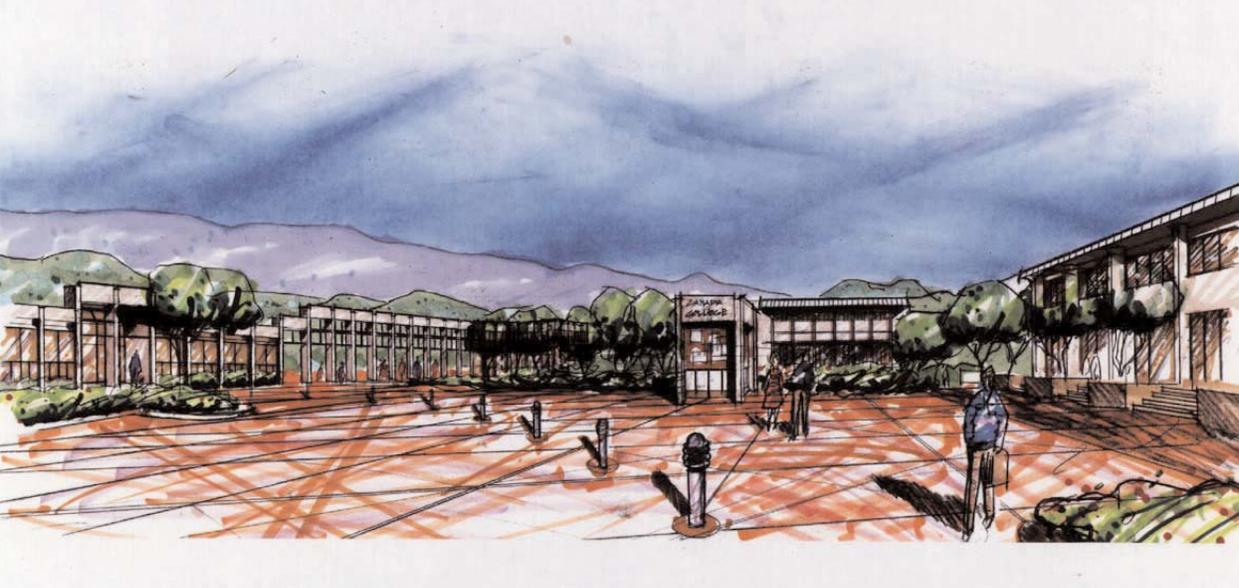
Campus Quads

Improvements to the outdoor quads are proposed so that they become centers of activity for formal and informal college activities. Links between the quads will tie the spaces together and strengthen the "sense of place" on the campus.



Recommendations

DESIGN IMAGES



South Campus Entry - Student Support Services Center & Theatre



East Campus Entry - New Library/Learning Resource Center

Existing Analysis

EXISTING ANALYSIS

Cañada College is located in Redwood City and Woodside on a 131-acre site. The campus sits on a hilltop with expansive views of the San Francisco Bay. The campus is organized along a north-south axis that spreads out over three levels.

The Existing Analysis phase of the planning process involved a study of the existing conditions on the campus in order to identify key planning issues to be addressed in the Master Plan Recommendations.

The findings are summarized in two graphic plates, illustrating patterns and characteristics to guide future development.

The plates include:

- Existing Campus Zoning
- Existing Campus Circulation



Existing Analysis

EXISTING CAMPUS ZONING

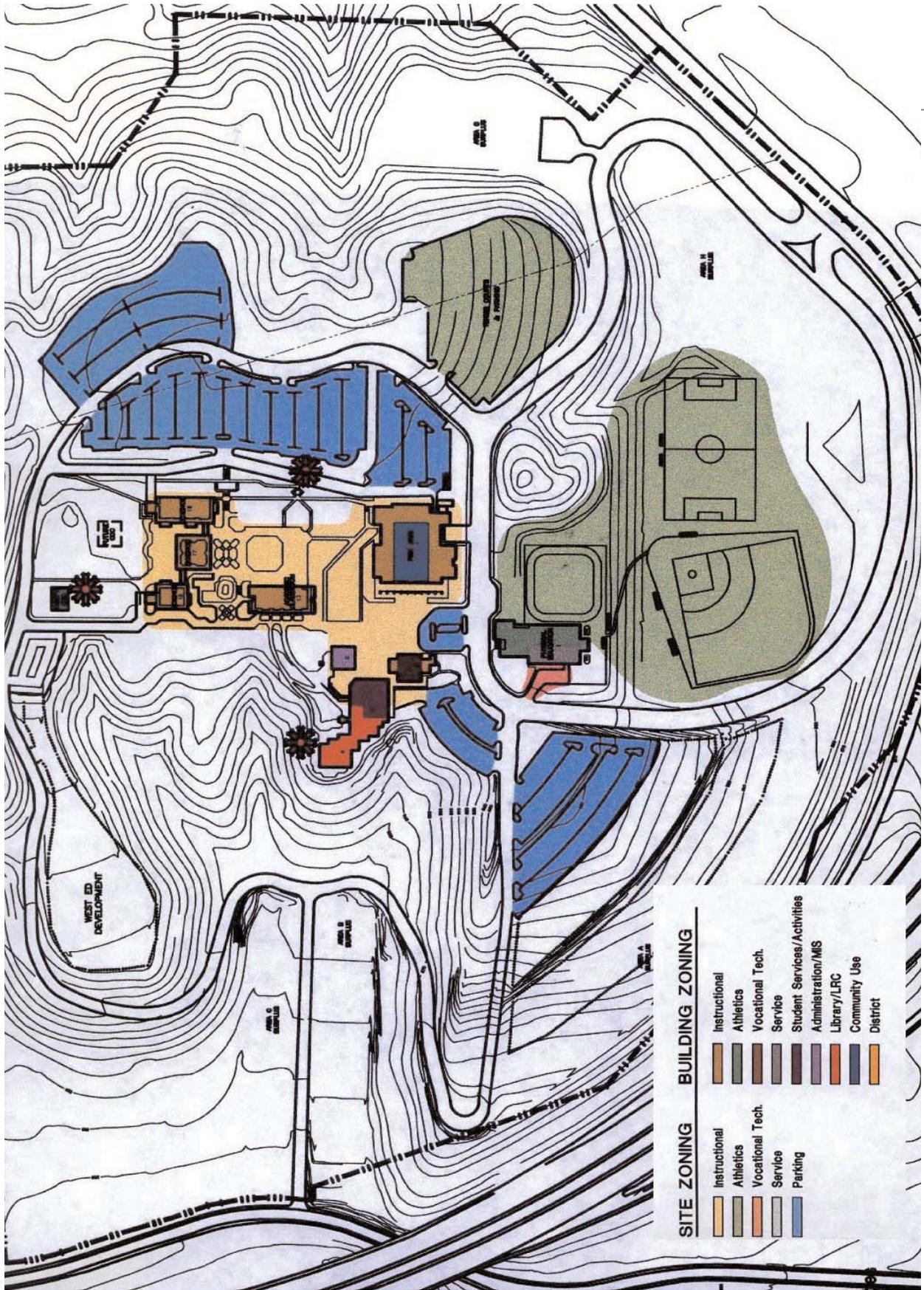
The Campus Zoning graphic illustrates the functional zoning of the campus in relation to the current building and site uses. Colors are used to indicate the current assigned functions of buildings and to identify the general zoning of uses on the campus.



The following issues were identified in the analysis of Campus Zoning:

- The library is located in a remote space, at the lowest level of the campus, far removed from the main level of the campus.
- Student Services functions are spread out on a number of levels within Buildings 2, 5 and 6, and are not easily accessed by students. these facilities are very inadequate in terms of space and functionality.
- Parking areas are unevenly distributed on campus. The majority of parking is on the upper campus level which does not serve the majority of facilities on campus.
- Canada College has been authorized by the Governor’s office to establish the first University Center in California, becoming a host for universities to offer upper division and graduate degrees. Existing classrooms and laboratories are insufficient for the planned need.





Cañada College Existing Campus Zoning

Cañada College

Existing Analysis

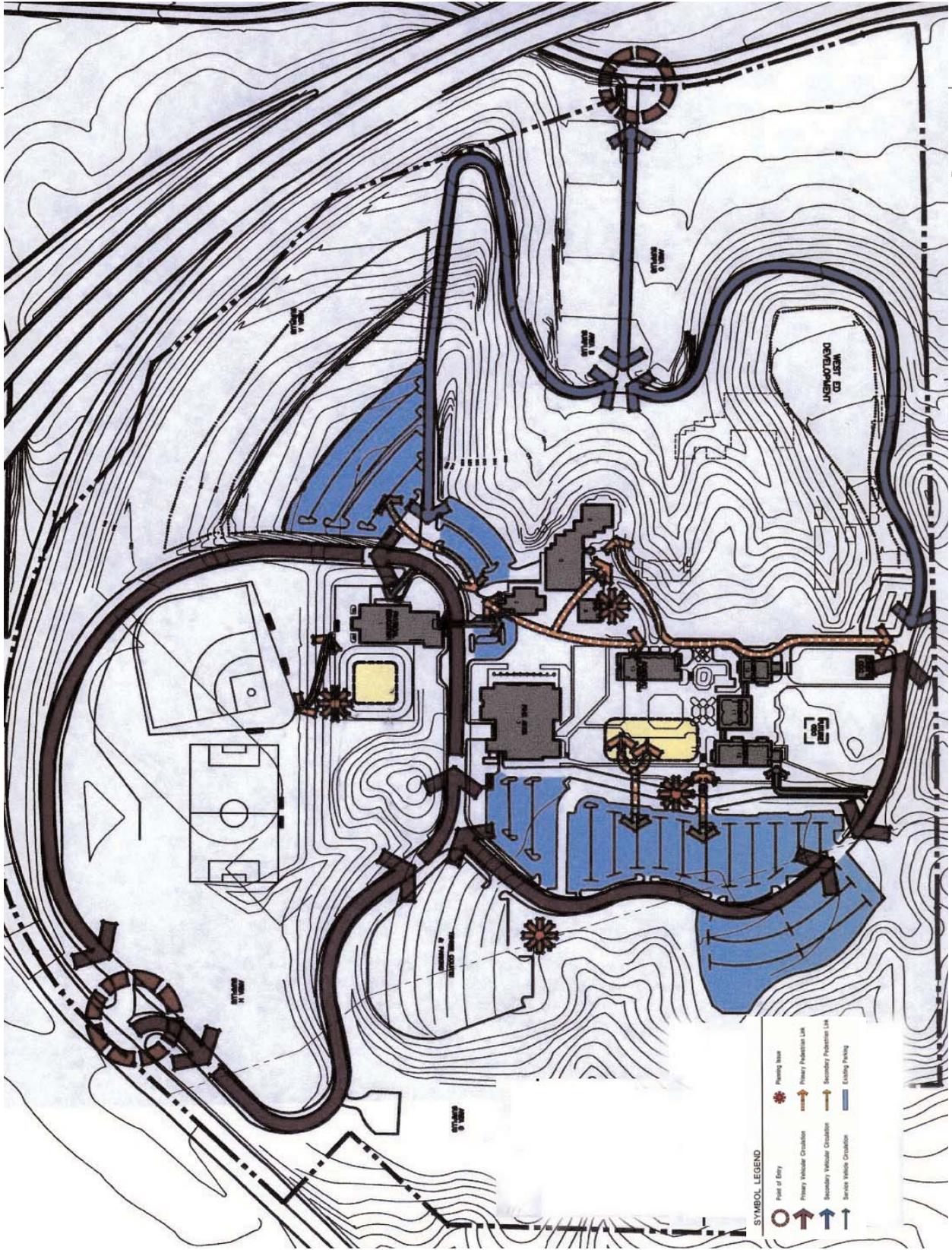
EXISTING CAMPUS CIRCULATION

Vehicular circulation patterns are illustrated on this graphic. Campus entry points and major vehicular circulation routes are indicated along with the areas allocated for parking. Pedestrian circulation patterns are also illustrated on this graphic, in order to understand the complete campus flow.

The following issues were identified in the analysis:

- The campus lacks a clear identifiable "front door".
- The primary loop road is 1-way and limits access to certain areas of the campus.
- Parking areas are unevenly distributed on campus. The majority of parking is on the upper campus level which is not clearly marked and does not lead to a clear pedestrian path to the main campus.
- Due to the variety of campus levels, and the distribution of buildings on the site, pedestrian circulation patterns are often unclear.





Cañada College Existing Campus Circulation

Option Development

Option Development Summary

During the Option Development Phase of the Planning Process, the Planning Participants reviewed, discussed and evaluated a series of options. These options served as tools for discussion and the development of these options evolved into the Master Plan Recommendations for the College.

Option 1 was the first to be considered. It represented the recommendations from the 1997 Master Plan along with additional projects that addressed current issues at the college. It served as a foundation for discussion and was the first option to be reviewed by the planning participants. The majority of the recommendations in Option 1 involved renovating or consolidating buildings to accommodate reconfigured and combined programs. A new Library/Learning Resource Center was identified and was sited to complete the College's main academic quad.

Option 2 represented a slightly different direction for development of the campus. It included a new location for the Library/Learning Resource Center that addressed the main campus entry, and an expansion to the Administration Building to house the newly developed "One Stop Shop". The planning participants were pleased with the front entry recommendations, but preferred the Library/Learning Resource Center location shown in Option 1.



Option 1



Option 2

Option Development

Option 3 was developed following the review of Options 1 and 2. It represented aspects from both Options 1 and 2 along with additional suggestions from the participants. Renovations and expansions to Buildings 2, 5 and 8 were explored further to address the needs of Student Services and create a welcoming entrance to the College. The Library/Learning Resource Center was developed further to create an entrance lobby from the upper parking areas down to the level of the main campus. A location was also identified for future expansion of the College.



Option 3

Option 3 was selected by the planning participants to be developed further into the "Recommended Master Plan" for Cañada College.

**College of San Mateo
2001
Facilities Master Plan**



Planning Participants

Rick Ambrose, *Professor, Accounting*
Gregg Atkins, *Director, Library Services*
Brier Buchalter, *Student Rep*
Mike Claire, *Dean, Technology Division*
Sandra Stefani Comerford, *Professor, English*
Gary Dilley, *Dean, PE and Athletics*
Susan Estes, *Dean, Language Arts*
Carlene Gibson, *Interim Dean, Admissions and Records*
Danny Glass, *Facilities*
Patricia Griffin, *Vice President, Student Services*
Joan Hare, *DSP&S*
Imelda Hermosillo, *Dean, Counseling and Matriculation*
Mohsen Janatpour, *Professor, Astronomy, Mathematics
& Physics*
Shirley Kelly, *President*
Cynthia Killian, *Student Rep*
Robert Kowerski, *Dean, Math & Science*
Georgi LaBerge, *Donor Relations*
David Landerman,, *Professor, Film*
Marilyn Lawrence, *KCSM General Manager*
Yaping Li, *Professor, Speech Communication*
Ruth McCracken, *Director of Nursing*
Skeet McGinnis, *Associate Professor, Administration of
Justice*
Nancy Morrissette, *Director of Operations*
Susan Petit, *Professor, English & French*

Contents

- I. RECOMMENDATIONS**
- II. EXISTING ANALYSIS**
- III. OPTION DEVELOPMENT**

Shirley Prasad, *Student Rep*
William Rundberg, *Emeritus Faculty, Mathematics*
Frances Schulze, *Professor, English*
Grace Sonner, *Vice President, Instruction*
Janice Willis, *Interim Dean of Business / Creative Arts*
Judy Worster, *Bookstore*
Allan Young, *Student Rep*

José D. Nuñez, *District, Executive Director of Facilities,
Operations & Maintenance*
Linda da Silva, *District, Director of Facilities &
Maintenance*
Walter Zander, *District, Director of Facilities Planning
& Capital Construction*

Letter from the President

Since its founding in 1922, College of San Mateo has occupied several sites, moving to its current location in the hills above San Mateo in 1963. Virtually all its campus buildings were completed at that time. Since then the college has undergone major changes in its programs and services, the methods employed by faculty to foster learning, and the tools and technologies needed to support effective education. Students' needs and expectations continue to evolve, reflecting our increasingly diverse local community.

During the last year, the college has undergone a major master planning effort. Detailed in this document, the new plan is the result of countless hours of work by the CSM community. It describes the implications for facilities-reflecting our need to ensure that our programs are accessible, current, and responsive to emerging community needs.

Recommendations of the 2001 Facilities Master Plan include the renovation or replacement of the oldest facilities to accommodate new programs and methods of instruction. In particular, CSM must update its science and many diverse occupational facilities-including, for example, Horticulture Multi-Media, KCSM, and Administration of Justice. Services for students must be consolidated to create a "One Stop Shop," improving accessibility to our multiple support services. The entrance to the campus needs to become more welcoming and sharply defined so that first-time visitors can easily locate their destinations. Parking areas, too, need to become more accessible. Several outdoor areas must be transformed into flexible, multi-use assembly spaces while many of our athletic facilities

must be renovated to support more comprehensive use by both students and the community at large.

The projects detailed in the following pages will enable us to meet our education goals-providing the best possible learning environments for our current students and generations to come.

*Shirley J. Kelly, President
September 2001*

Recommendations

RECOMMENDATIONS

The Facilities Master Plan Recommendations for College of San Mateo present an overall picture of the future campus and include proposed sites for new facilities, recommendations regarding renovations of existing facilities, and site development projects.

While drawings in the Plan appear specific, the forms are conceptual sketches, which highlight the location and purpose of improvements. The final design of each site and facility project will occur as projects are funded and detailed programming occurs.

The Recommendations are presented in a series of illustrations, which are included in this section and are described below.

Recommended Master Plan

The Recommended Master Plan Drawing is an illustration of the proposed Facilities Master Plan recommendations. The graphic illustrates all of the site development and facility projects identified in the plan.

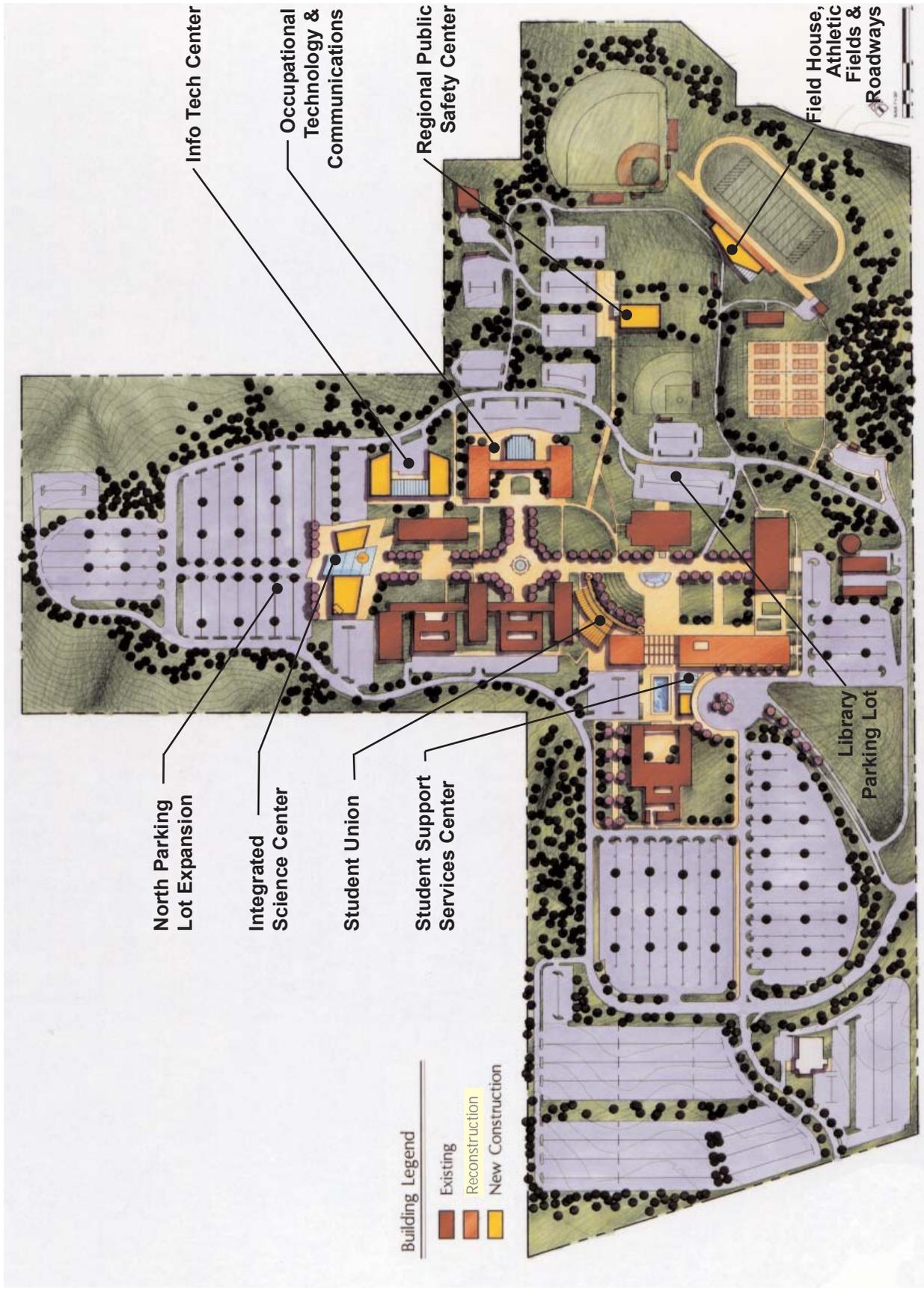
The recommendations incorporate the goals identified in the Planning Process, including:

- Renovate or replace existing facilities to support current instructional needs.
- Create a welcoming, identifiable entrance to the campus.
- Welcome students with a new "One Stop Shop" for Student Services.

- Re-zone the campus to evenly distribute parking and to bring the campus together into a cohesive campus environment.
- Create new pedestrian gateways to the campus from all major parking areas.

Design Images

The Design Images identify the key concepts and elements discussed in the planning process. These images serve as a guide to future building and site development.



College of San Mateo Recommended Master Plan

College of San Mateo

Recommendations

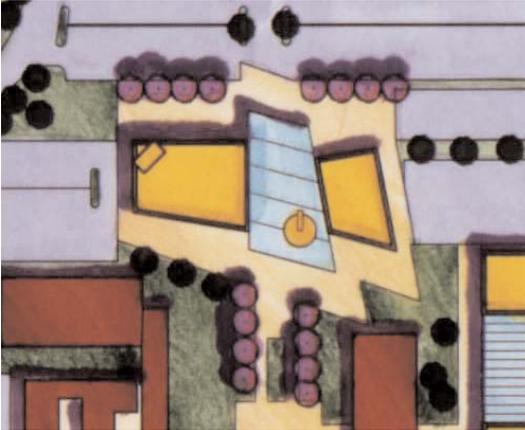
MASTER PLAN PROJECTS

Facilities Renovations

Repair and renovation to existing facilities are planned in order to address current needs at the college. Projects will include renovation to allow new methods of instruction, ADA compliance concerns, fire and safety code requirements, emergency preparedness and security.

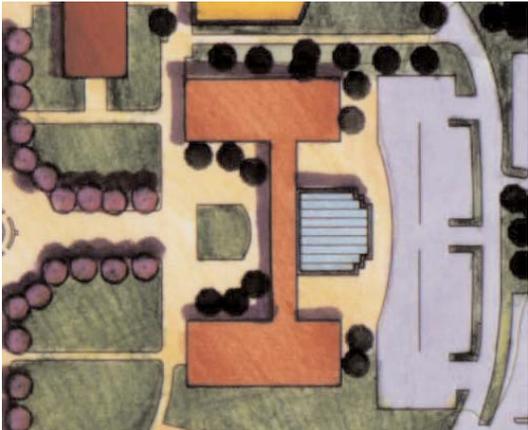
Integrated Science Center

A new facility is planned to house the Science programs for the College. The proposed location at the north end of the campus provides the opportunity to create an important campus gateway from a newly developed north parking lot. The planetarium and an observatory will be incorporated into the building, which will be designed to take advantage of, while not obstructing, views from the campus.



Occupational Technology & Communications

An extensive renovation to Buildings 10, 11 and 12 will serve as a replacement facility for the Occupational programs located in buildings 21 through 27. The facility will be designed to support the current and projected instructional needs of the College.



Regional Public Safety Center

A new facility will be constructed to house the Administration of Justice program, the Police Academy and possibly the Fire Science program. The building site will provide appropriate adjacencies to existing Athletic Fields, parking and a newly developed pedestrian connection to the main campus.



Recommendations

Student Support Services

A renovation and expansion to existing Buildings 5 and 6 will house all of the Student Services functions for the College. A reconfigured entry drive and drop-off, along with an addition, will create a welcoming, identifiable entrance to the College and will contain the "One Stop Shop" for Student Services.



Secondary Effects

Vacated space in the existing Library and Fine Arts Buildings will be renovated and re-assigned. The temporary facility housing KCSM will be removed.

Field House & Athletic Field Renovations

A new Field House with a Press Box is planned to accommodate the additional space needs to support Title IX requirements, the Physical Education and Athletic programs. Space will be provided for locker rooms, team rooms, restrooms, and storage. Reconfiguration and renovations to the athletic fields, and new bleachers are also included in this project.

Student Union

A renovation of Building 1 will transform the building into a Student Union. Functions will include a Student Activities, Student Offices and a Bookstore, and Food Service. The development of the outdoor space to link Building 1 to the main instructional core of the campus will include the development of an active plaza, with a variety of Food Pavilions and a large grass amphitheatre.

Info Tech Center

A new facility is planned for the site of the existing Greenhouse. The building will include a Multi-Media Center, Journalism, KCSM, and Graphic Arts. An adjacent parking lot will serve this facility.



Recommendations

Practice Field & Roadway

A reconfiguration of the road and practice fields at the east end of campus creates space for spectator seating and new support facilities.

North Parking Lot Expansion

A new parking lot is proposed at the north end of the campus, in the current location of buildings 21 through 27. This new lot will provide parking adjacent to the majority of instructional facilities on campus and will address the goal of re-distributing parking lots on campus.

Library Parking Lot

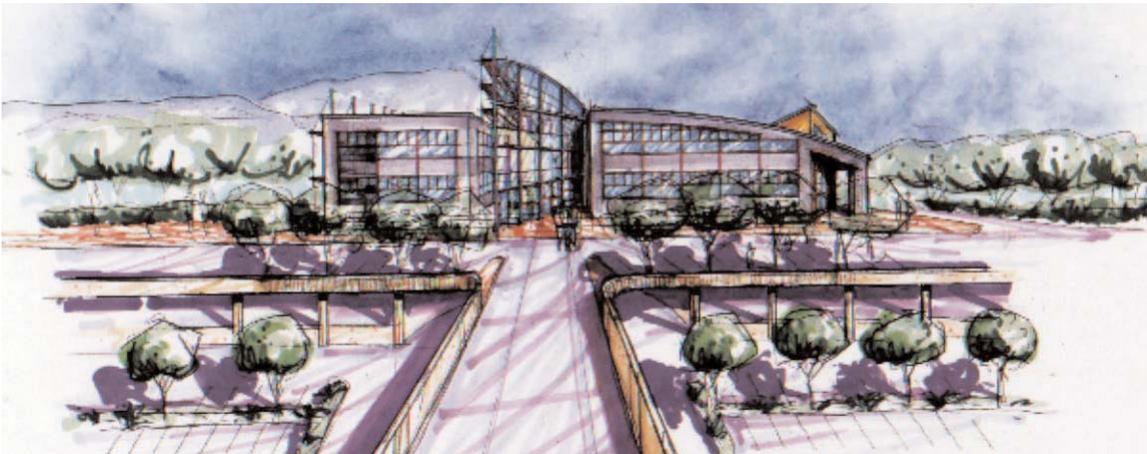
A new tiered parking lot to the east of the Library will address the need for short-term accessible library parking. The lot will be designed to fit into the existing slope and landscape of the campus, without obstructing the view.

Recommendations

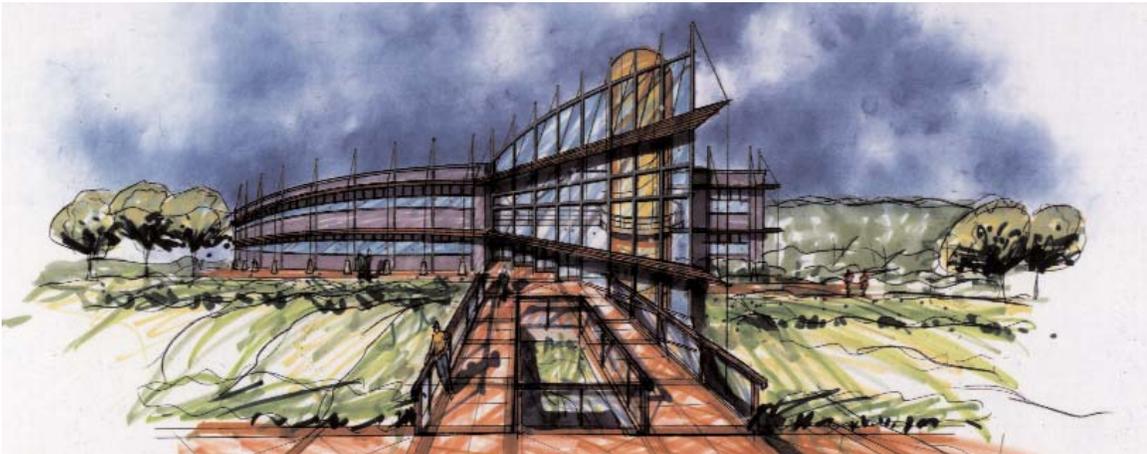
DESIGN IMAGES



Main Campus Entrance



Integrated Science Center - North Campus Entry



Integrated Science Center - View from Quad

College of San Mateo

Existing Analysis

EXISTING ANALYSIS

College of San Mateo is located in the city of San Mateo on a 155-acre site. The campus is situated on a hilly site with expansive views of the San Francisco Bay. It is visually removed from its neighbors with a dense buffer of trees.

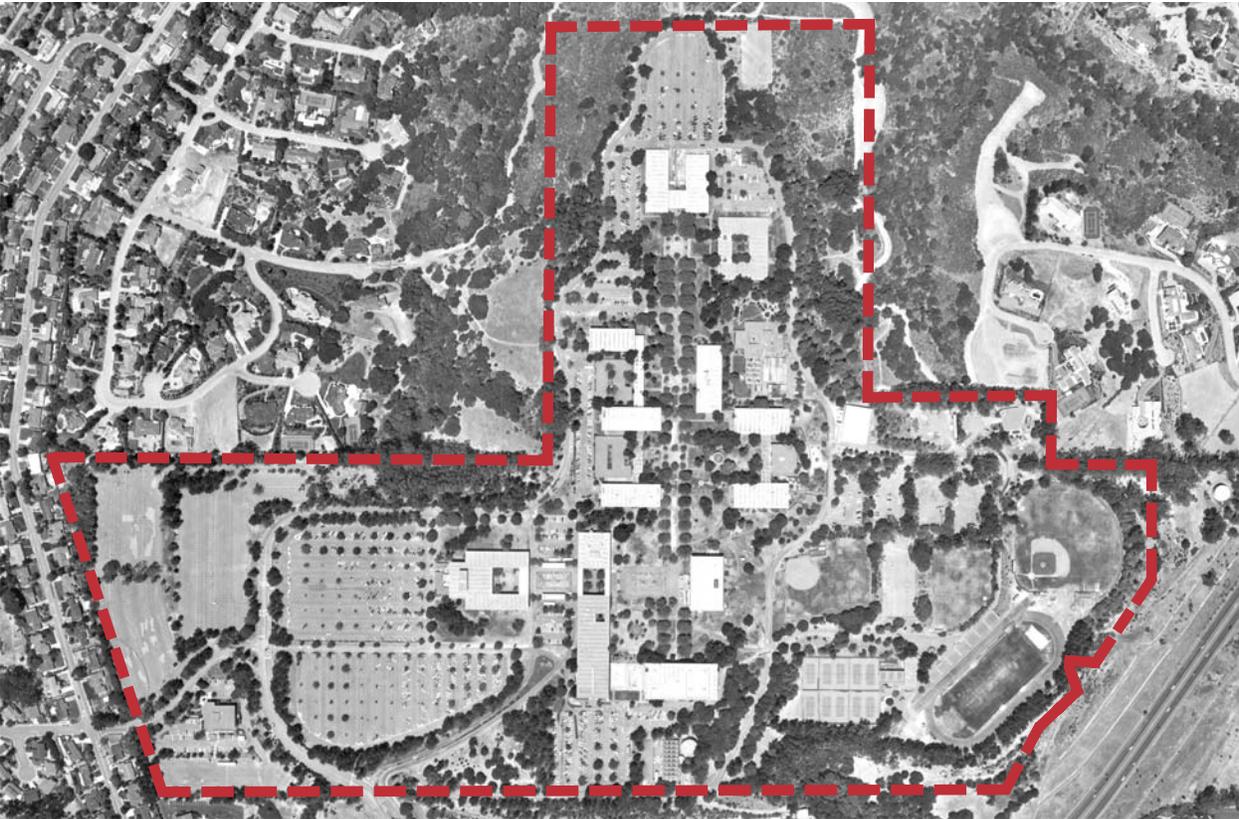
A north-south axis runs the length of the campus. Outdoor spaces, pedestrian paths and buildings are arranged along this axis creating the primary campus experience. A secondary east-west axis connects the main quad to the Performing Art Buildings and the majority of parking to the west. Athletic fields are located at the east end of the campus.

The Existing Analysis phase of the planning process involved a study of current conditions on the campus in order to identify key planning issues to be addressed in the Master Plan Recommendations.

The findings are summarized in two graphic plates, illustrating patterns and characteristics to guide future development.

The plates include:

- Existing Campus Zoning
- Existing Campus Circulation



College of San Mateo

Existing Analysis

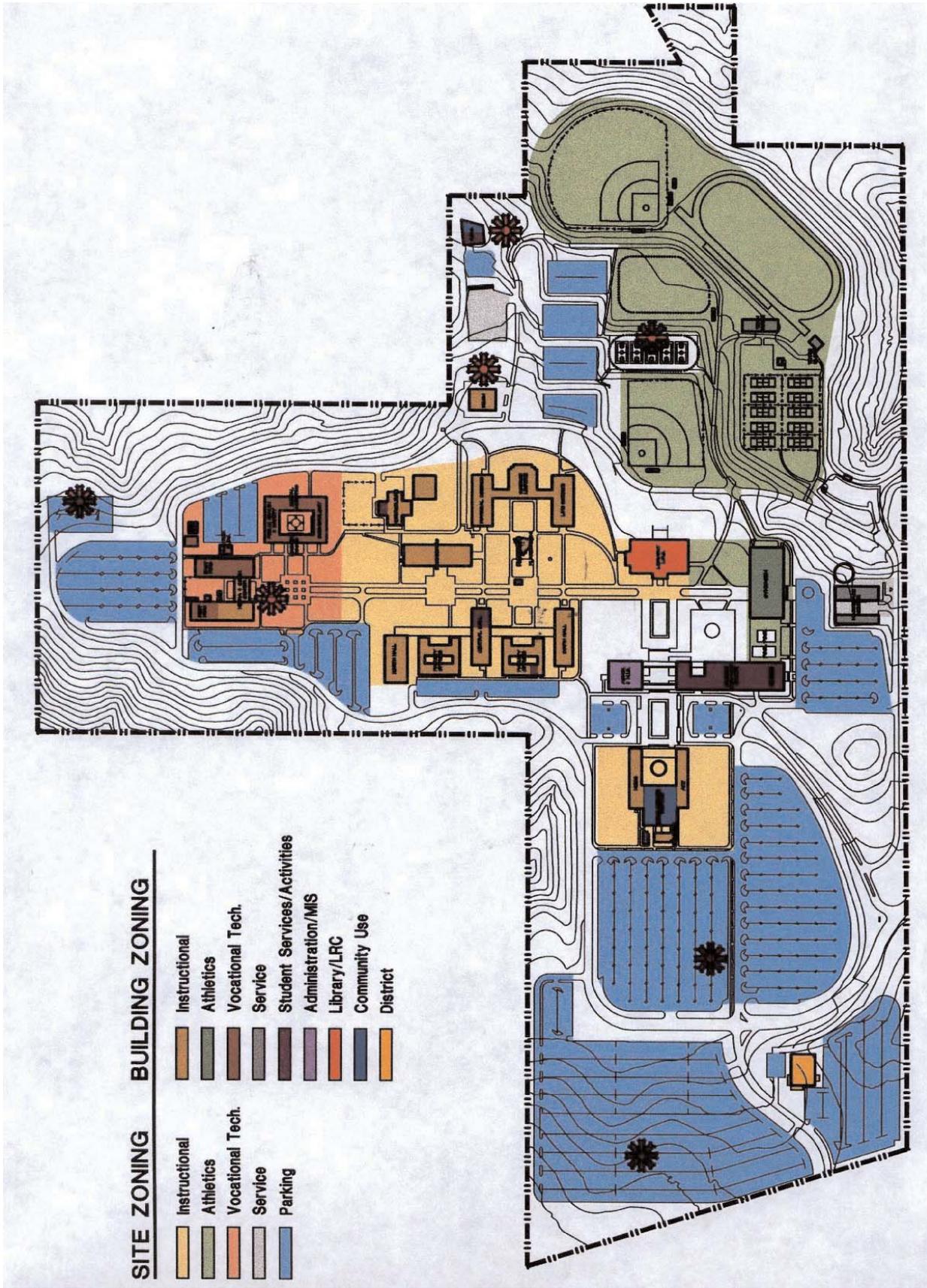
EXISTING CAMPUS ZONING

The Existing Campus Zoning graphic illustrates the functional zoning of the campus in relation to current building and site uses. Colors are used to indicate the current assigned functions of buildings and to identify the general zoning of uses on the campus.

The following issues were identified in the analysis of Campus Zoning:

- The existing campus layout is very spread out, creating long travel distances between functions. The occupational education buildings at the north end of campus are very remote from the main college and support functions located at the southern end of the main axis.
- The Science Division requires additional and more appropriate space in order to support its instructional programs. Expansion of the Planetarium and "Integrated Science Center" is a priority.
- The campus lacks both indoor and outdoor spaces that can be used for activities or special events.
- KCSM is currently operating out of two buildings and requires re-consolidation. The space occupied in the library is desirable for library expansion.
- The campus police are located in a remote location - upstairs in the Administration Building.
- The basketball courts are underutilized.





College of San Mateo Existing Campus Zoning

College of San Mateo

Existing Analysis

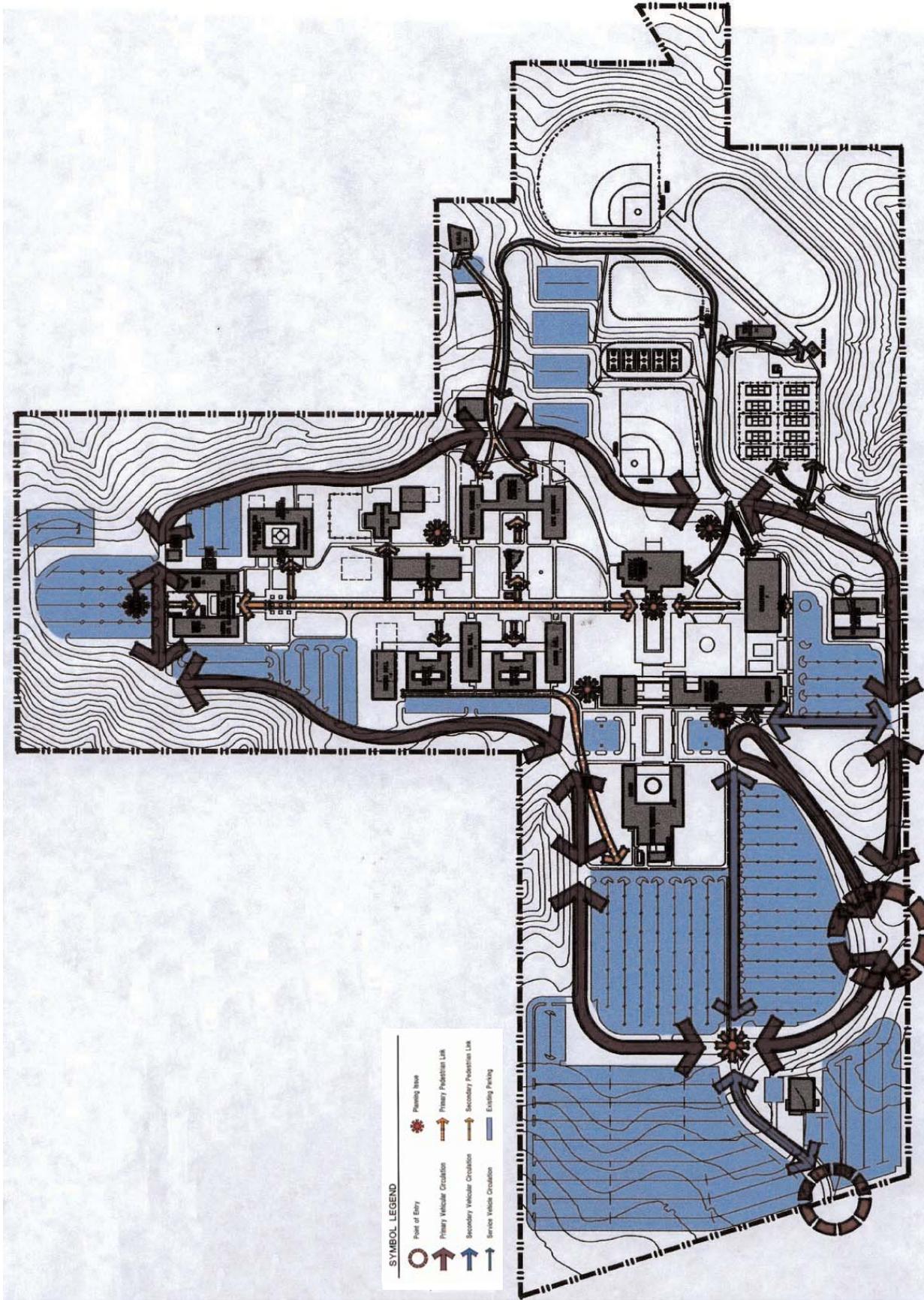
EXISTING CAMPUS CIRCULATION

Vehicular circulation patterns are illustrated on this graphic. Campus entry points and major vehicular circulation routes are indicated along with the areas allocated for parking. Pedestrian circulation patterns are also illustrated on this graphic, in order to understand the complete campus flow.

The following issues were identified in the analysis:

- The campus lacks a prominent entrance.
- Parking areas are unevenly distributed on campus, with a majority of the lots on the west side of campus. Paths from parking to the main campus buildings are long.
- The bus route does not include a primary drop-off adjacent to a campus entrance.
- Parking is difficult in the Science areas.
- Lot 6 is often used as drop off area, although it is not designed for this use.
- The service road is used for parking during sporting events. It also serves as the only seating for baseball games.
- KCSM experiences heavy community use. This often conflicts with the parking for sports events.





College of San Mateo Existing Campus Circulation

College of San Mateo

Option Development

Option Development Summary

During the Option Development Phase of the Planning Process, the Planning Participants reviewed, discussed and evaluated a series of options. These options served as tools for discussion and the development of these options evolved into the Master Plan Recommendations for the College.

Option 1 was the first to be considered. It represented the recommendations from the 1997 Master Plan along with additional projects that addressed current issues at the college. It served as a foundation for discussion and was the first option to be reviewed by the planning participants. The majority of the recommendations in Option 1 involved the renovation and reconfiguration of existing space in order to accommodate the programmatic needs identified in 1997. The overall layout of the campus was unchanged in Option 1.



Option 1

Option 2 represented a different direction for development of the campus. It included site and building development projects that addressed the overall layout and size of the campus. Replacement facilities were suggested to replace the older buildings on campus and to "bring the campus together", into a smaller, more cohesive campus environment. New parking lots were proposed on the north side of campus to address the uneven distribution of parking on campus. The planning participants were pleased with a number of the recommendations illustrated in Option 2.

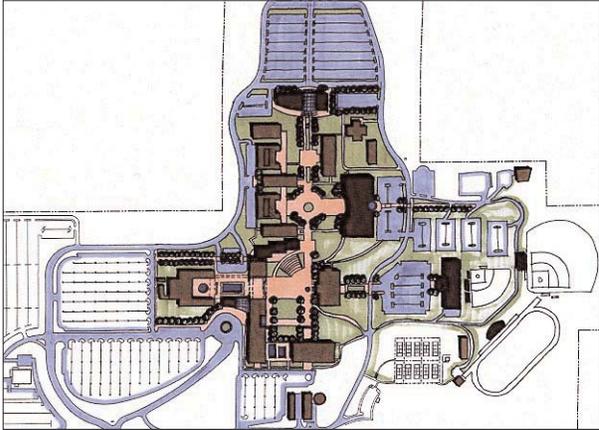


Option 2

Option Development

Option 3 was developed following the review of Options 1 and 2. It represented the majority of recommendations in Option 2 along with additional suggestions from the participants. New construction was suggested to create an identifiable drop-off and entry to the campus. A slightly different arrangement of new facilities was illustrated including a new facility for the Regional Public Safety Center within the athletic zone of the campus.

Option 3 was selected by the planning participants to be developed further into the "Recommended Master Plan" for the College of San Mateo.



Option 3

Skyline College
2001
Facilities Master Plan



Planning Participants

Barbara Applegate, *Childcare Services Coordinator*
Linda Avelar, *Dean, Business*
Ed Azar, *ASSC*
Connie Beringer, *Academic Senate*
Donna Bestock, *Dean, Social Science/Creative Arts*
Bernie Blackman, *Director of Planning & Research*
Maria Escobar, *EOPS & Special Programs*
Stanley Garriott, *Classified Council*
Lourdes Gomez, *ASSC President*
Sherri Hancock, *Student Services, Financial Aid*
Sandy Irber, *Development Director*
Tom Hewitt, *Library*
Edwin Johnson, *Dean, PE/Athletics/Dance*
Marilyn McBride, *Dean, Math/Science/Tech*
Chris Place, *Facilities*
Susanne Stevens, *Vice President, Instruction*
Fran White, *President*
Larry Williams, *Interim Dean, Language Arts*
Mike Williamson, *President Academic Senate*
Rosemary Ybarra-Garcia, *Vice President, Student Services*
Kathy Zbikowski-Taylor, *Classified Council*

Contents

- I. RECOMMENDATIONS**
- II. EXISTING ANALYSIS**
- III. OPTION DEVELOPMENT**

José D. Nuñez, *District, Executive Director of Facilities, Operations & Maintenance*
Linda da Silva, *District, Director of Facilities & Maintenance*
Walter Zander, *District, Director of Facilities Planning & Capital Construction*

Letter from the President

The Facilities Master Plan for Skyline College has been updated to reflect the College's educational mission and goals. Since its beginning in 1969, Skyline College has enjoyed a rich history of excellence in teaching and learning, as well as a dynamic culture that embraces innovation and diversity.

The Facilities Master Plan will guide us into the next five years. The Plan is the result of numerous planning meetings over a period of six months that included faculty, classified staff, administrators, and students. This collaborative effort supports a collective vision to guide the future development of Skyline College and reflects future educational objectives.

As we look toward the future, the Facilities Master Plan will provide new opportunities for Skyline to continue its strong tradition of excellence, quality, access, and student success.

*Frances L. White, President
September 2001*

Recommendations

RECOMMENDATIONS

The Facilities Master Plan Recommendations for Skyline College present an overall picture of the future developed campus and includes proposed sites for new facilities, recommendations regarding renovations of existing facilities, and site development projects.

While drawings in the Plan appear specific, the forms are conceptual sketches, which highlight the location and purpose of improvements. The final design of each site and facility project will take place as projects are funded and detailed programming occurs.

The Recommendations are presented in a series of illustrations, which are included in this section and described below.

Recommended Master Plan

The Recommended Master Plan Drawing is an illustration of the proposed Facilities Master Plan recommendations. The graphic illustrates all of the site development and facility projects identified in the plan.

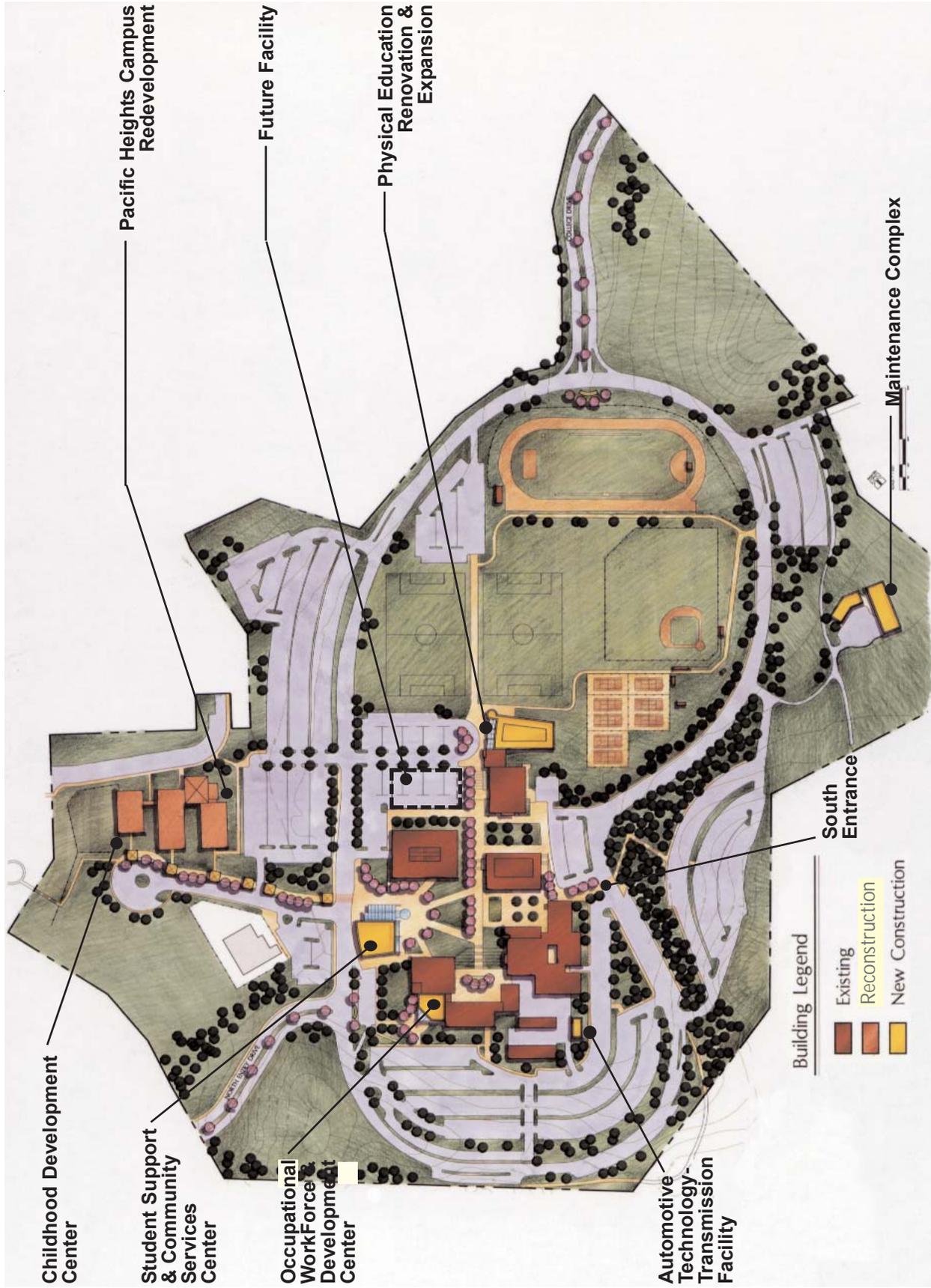
The recommendations incorporate the goals identified during the Planning Process, including:

- Renovate existing facilities to support current instructional needs.
- Create a welcoming, identifiable entrance for the College.
- Welcome students with a new Student Center in a highly visible, central location.

- Return the main quad to the College as the "heart of the campus" - a dynamic outdoor space to be used for a variety of activities.
- Develop a new north-south axis to tie in the newly acquired property to the north into the main campus.

Design Images

The Design Images identify the key concepts and elements discussed in the planning process as they relate to proposed projects. These images serve as a guide to future building and site development.



Skyline College Recommended Master Plan

Recommendations

MASTER PLAN PROJECTS

Facilities Renovations

Repair and renovation to existing facilities are planned in order to address current deficiencies at the college. Projects will address ADA compliance concerns, fire and safety code requirements, emergency preparedness and security.

Student Support & Community Services Center

A new Student Union is proposed along the Loop Road to serve as the welcoming gateway building for the College. The facility will house the Student Activities offices, Food Services, the Bookstore and additional student and community support services. Student fees will partially fund this project.



Occupational Workforce & Development Center

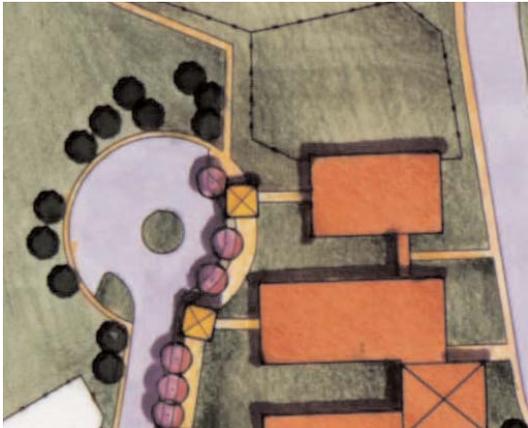
This project extends two adjoining buildings to create space for four high demand occupational programs: Biology/Biotechnology, Telecommunications, Respiratory Therapy and Emergency Medical Technician Training.

Automotive Technology - Transmission Facility

A new Transmission Facility is proposed to support the Automotive Technology program. The project would include the construction of additional service bays, outdoor covered units and a power train building.

Childhood Development Center

Renovation of the northern portion of the Pacific Heights Campus will include the development of a new Childhood Development Center. The location provides space for adjacent playgrounds, convenient parking and a newly established link to the main campus.



Recommendations

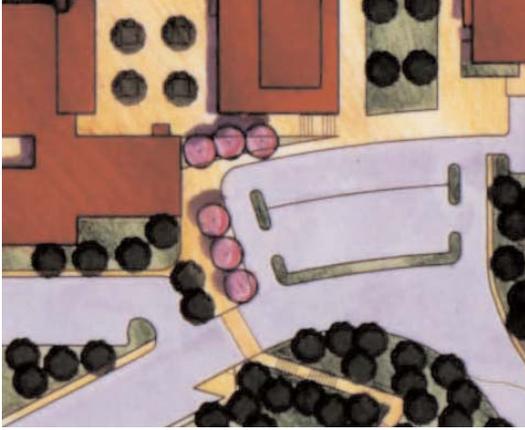
Pacific Heights Campus Redevelopment

The newly acquired Pacific Heights Campus will be developed to support the instructional programs of the College. Reconfiguration and expansion of the parking and playground areas will take place in order to establish a direct link to the main campus.



South Entrance

Access to the main quad will be improved with the development of the South Entrance. Parking will be expanded and a new bridge will be constructed in order to support the newly developed One Stop Shop in Building 2.



Maintenance Complex

A new Maintenance Complex is proposed to replace the existing facility, which is outdated, and requires major upgrading. The new 3,000 square foot facility along with a corporate yard will be constructed on the site of the existing facility.

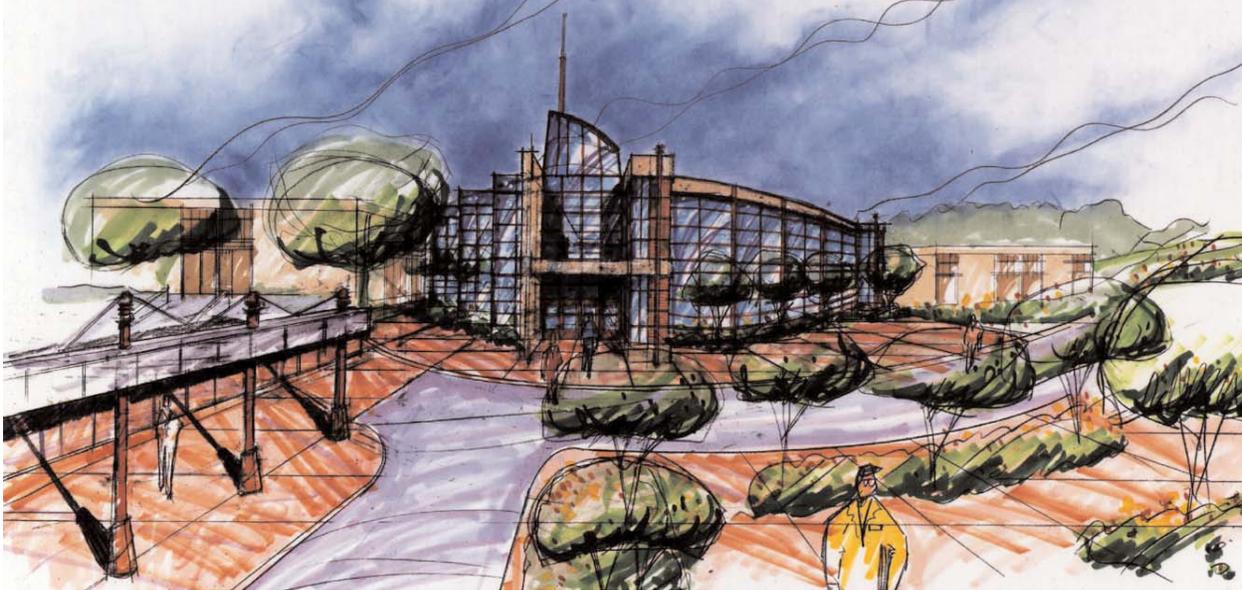
Physical Education Renovations

A renovation and expansion to the existing Gymnasium is proposed to support the Physical Education programs and to address gender equity and adaptive physical education requirements. Reconfiguration of the existing fields will be part of this project and will allow for additional parking within the campus loop road.



Recommendations

DESIGN IMAGES



Student Support & Community Services Center - North Entry



Student Support & Community Services Center - West Entry

Existing Analysis

EXISTING ANALYSIS

Skyline College is located in the city of San Bruno on a 125-acre hilltop site. The campus is organized along an east-west axis that steps up the hillside.

The Existing Analysis phase of the planning process involved a study of the existing conditions on the campus in order to identify key planning issues to be addressed in the Master Plan Recommendations.

The findings are summarized in two graphic plates, illustrating patterns and characteristics to guide future development.

The plates include:

- Existing Campus Zoning
- Existing Campus Circulation



Existing Analysis

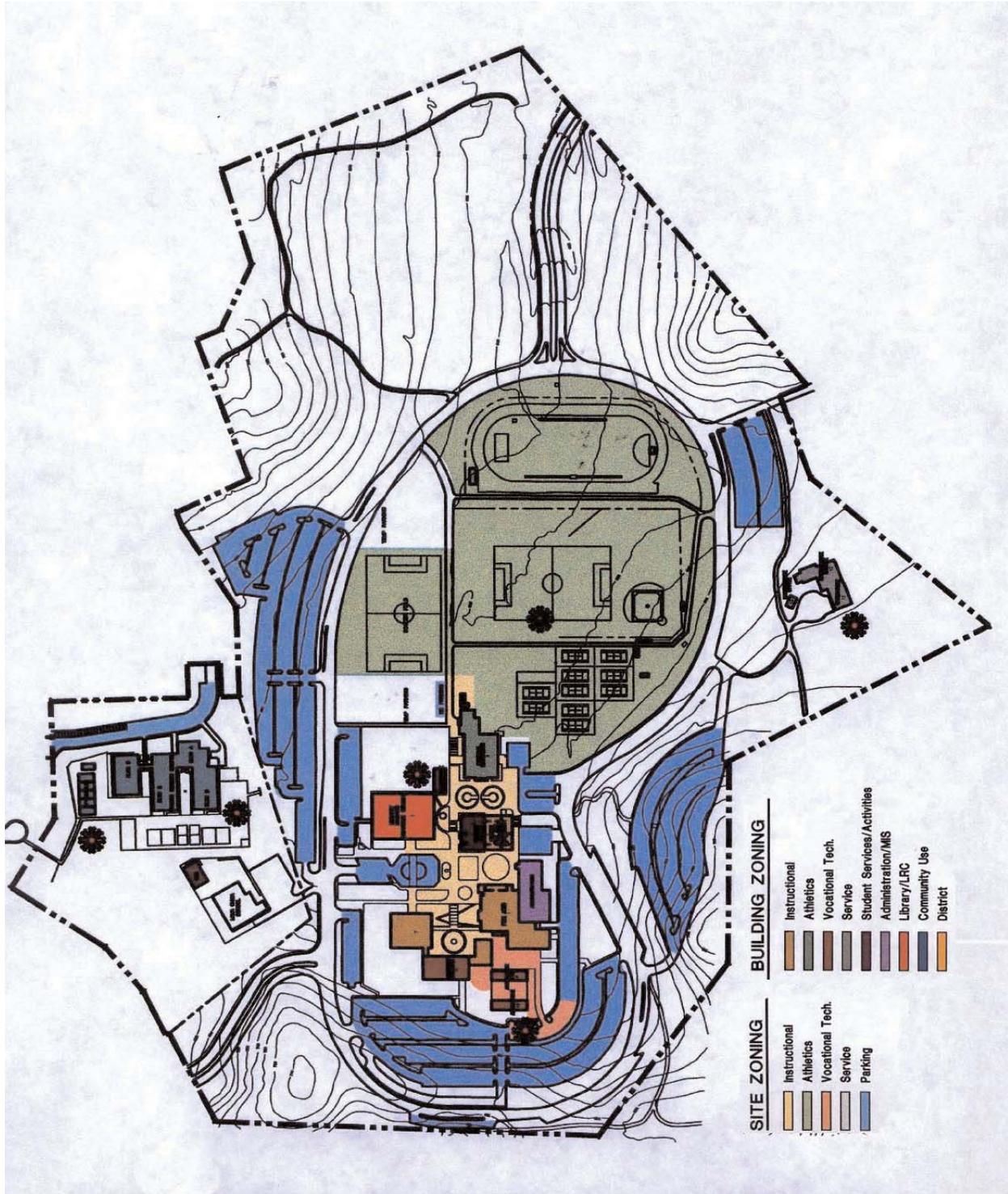
EXISTING CAMPUS ZONING

The Campus Zoning graphic illustrates the functional zoning of the campus in relation to the current building and site uses. Colors are used to indicate the current assigned functions of buildings and to identify the general zoning of uses on the campus.

The following issues were identified in the analysis of Campus Zoning:

- Outdoor gathering spaces for social interaction among students are lacking on campus.
- The main campus quad, which was originally designed as a pedestrian space is currently used for automobile drop-offs and parking.
- With the addition of the Pacific Heights Campus, the instructional areas on the campus become spread out and separated by a major vehicular road.
- Parking lots on campus were originally designed to be located within the loop road, but due to demand have grown outside of the loop.





Skyline College Existing Campus Zoning

Existing Analysis

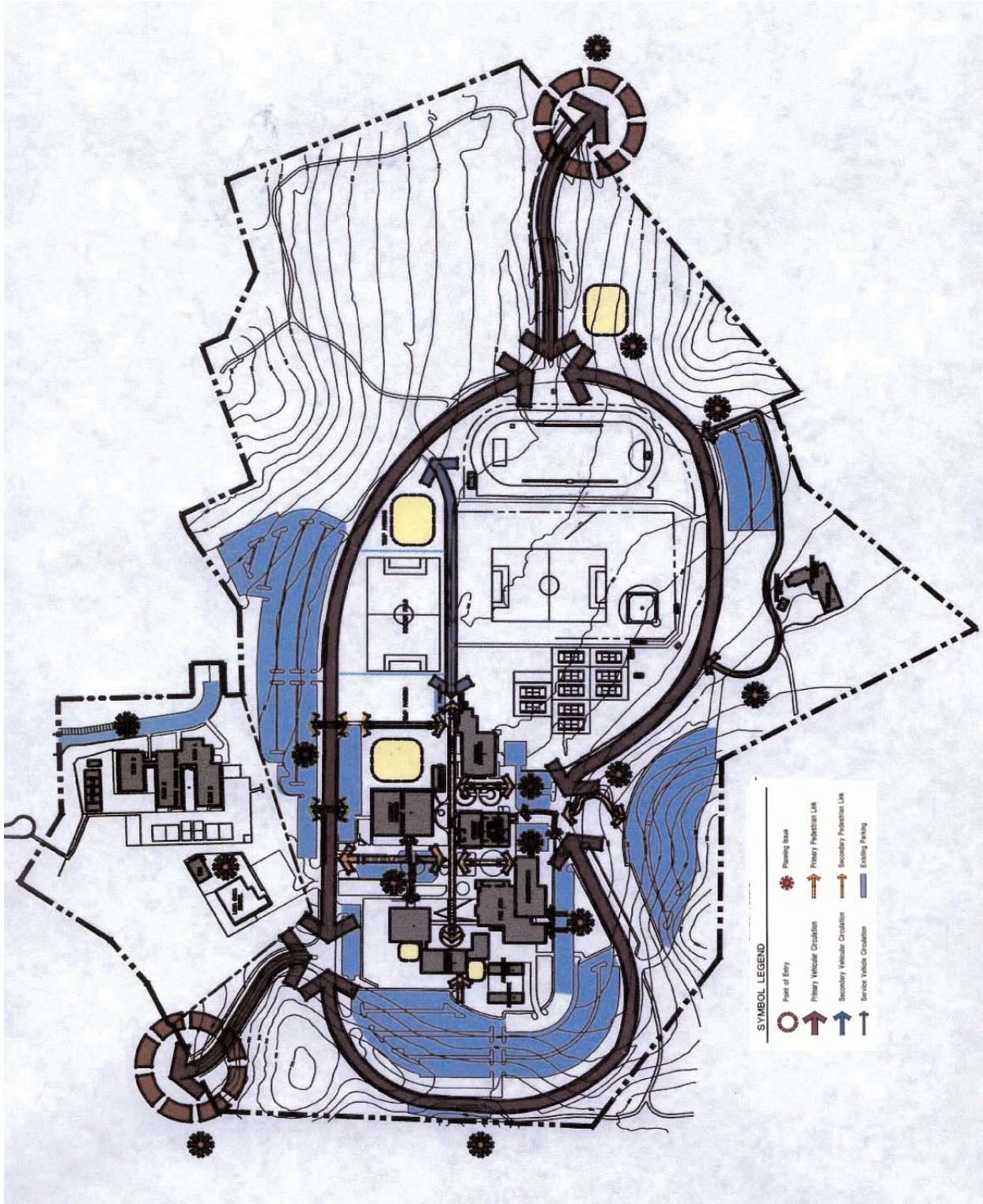
EXISTING CAMPUS CIRCULATION

Vehicular circulation patterns are illustrated on this graphic. Campus entry points and major vehicular circulation routes are indicated along with the areas allocated for parking. Pedestrian circulation patterns are also illustrated on this graphic, in order to understand the complete campus flow.

The following issues were identified in the analysis:

- The main entries to the campus lack proper signage that tells a visitor to the College that they have arrived.
- The primary vehicular drop-off area penetrates the main campus quad and brings vehicles into what was originally planned as an outdoor activity space for students.
- The campus loop road bisects the campus and separates the main campus from the Pacific Heights and expansion.





Skyline College Existing Campus Circulation

Skyline College

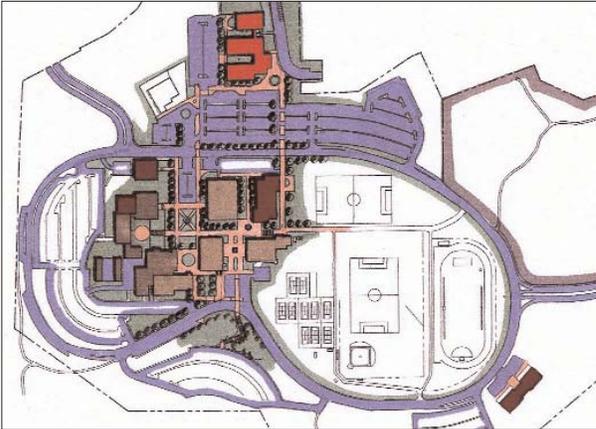
Options Development

Option Development Summary

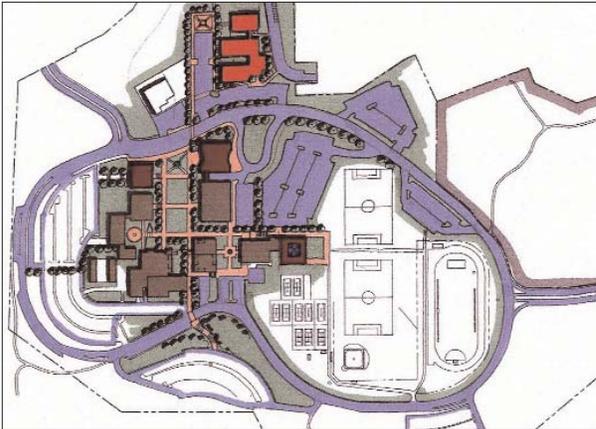
During the Option Development Phase of the Planning Process, the Planning Participants reviewed, discussed and evaluated a series of options. These options served as tools for discussion and the development of these options evolved into the Master Plan Recommendations for the College.

Option 1 was the first to be considered. It represented the recommendations from the 1997 Master Plan along with additional projects that addressed current issues at the College. It served as a foundation for discussion and was the first option to be reviewed by the planning participants. The majority of the recommendations in Option 1 involved reconfiguring interior spaces to accommodate programmatic requirements. A new Student Union was proposed to replace the temporary Bookstore facility, and was located adjacent to the athletic facilities and fields.

Option 2 represented a different direction for development of the campus. It included a new location for the Student Union that would create an identifiable entry to the college and link the main campus area to Pacific Heights. In addition, a number of site and facility projects were identified to address other needs at the College. The planning participants were pleased with a number of the recommendations illustrated in Option 2.



Option 1

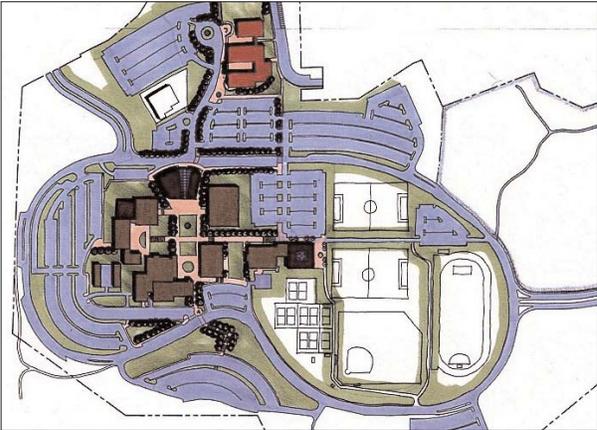


Option 2

Options Development

Option 3 was developed following the review of Options 1 and 2. It represented the majority of recommendations in Option 2 along with additional suggestions from the participants. The Student Union project was developed further to emphasize the entry to the campus as well as define an edge to the renovated main campus quad - a project that would create an active social gathering space for the campus. Recommendations for improving pathways into the campus along with expanding parking areas were also included in Option 3.

Option 3 was selected by the planning participants to be developed further into the "Recommended Master Plan" for Skyline College.



Option 3