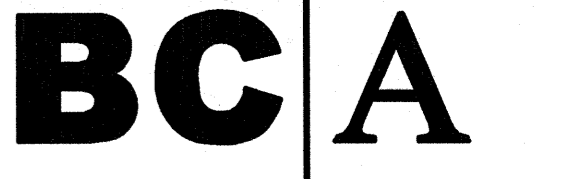


# CAÑADA COLLEGE

## BUILDING 5 & 6 RENOVATIONS

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GENERAL NOTES	GENERAL NOTES (CONT.)	SUPPLEMENTAL GENERAL NOTES (CONTINUED)	DRAWING LEGEND	SHEET INDEX	SHEET INDEX (CONT.)							
<p>1. PRIOR TO SUBMITTING PROPOSAL, BIDDER SHALL EXAMINE CONSTRUCTION DRAWINGS AND SPECIFICATIONS AND SHALL HAVE VISITED THE CONSTRUCTION SITE. HE SHALL BE FAMILIAR WITH THE CONDITIONS UNDER WHICH HE WILL HAVE TO OPERATE AND WHICH WILL IN ANY WAY AFFECT THE WORK UNDER THIS CONTRACT. THE GENERAL CONTRACTOR SHALL NOT DISPUTE, COMPANOR OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, NATURE OR AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO INSPECT THE SITE. BIDDER SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS, REQUIREMENTS, WORK WHICH ARE NOT COVERED IN THE CONTRACT DOCUMENTS.</p> <p>2. THERE WILL BE NO SUBSTITUTION FOR SPECIFIED ITEMS WITHOUT PRIOR APPROVAL UNLESS OTHERWISE NOTED. REQUESTS FOR SUBSTITUTIONS SHALL BE MADE IN ACCORDANCE WITH GENERAL CONDITIONS &amp; DIVISION 1</p> <p>3. THE GENERAL BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED BY GOVERNING AGENCIES IN ORDER TO PERFORM THE WORK.</p> <p>4. THE FINAL LOCATION OF ALL ELECTRICAL AND SIGNAL EQUIPMENT, PANEL BOARDS, FUTURES, ETC., SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.</p> <p>5. DEFINITIONS A. "TYPICAL" MEANS IDENTICAL FOR ALL CONDITIONS, UNLESS OTHERWISE NOTED. B. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATIONS. C. "PROVIDE" MEANS TO FURNISH AND INSTALL. D. "FURNISH" MEANS TO FURNISH AND OTHERS WILL INSTALL.</p> <p>6. DIMENSIONING RULES: A. ALL HORIZONTAL DIMENSIONS SHALL BE TO FACE OF STUD OR COLLAR GRID LINE U.O.N. B. DIMENSIONS NOTED "CLEAR," "CLR," OR "MINIMUM" MUST BE PRECISELY MAINTAINED. C. DIMENSIONS CAN NOT BE MODIFIED WITHOUT APPROVAL OF THE ARCHITECT UNLESS OTHERWISE NOTED. D. VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB UNLESS OTHERWISE NOTED. E. DO NOT SCALE DRAWINGS. IF ANY ITEM OF WORK CANNOT BE LOCATED, DO NOT PROCEED WITH THE WORK WITHOUT THE ARCHITECT'S APPROVAL. F. DIMENSIONS MARKED "V.I.T." OR "VERIFY" SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. G. VERIFY ALL ROUGH OPENING DIMENSIONS FOR FABRICATED WORK WITH THE MANUFACTURER PRIOR TO PROCEEDING WITH CONSTRUCTION. H. DOOR AND WINDOW OPENINGS SHALL BE LOCATED ADJACENT TO PERPENDICULAR WALL UNLESS DIMENSIONED OTHERWISE.</p> <p>7. PROVIDE REQUIRED BACKING, BLOCKING, AND BRACING FOR ALL WALL-MOUNTED FIXTURES, ACCESSORIES AND EQUIPMENT.</p> <p>8. VERIFY AND COORDINATE WALLS THAT MAY REQUIRE NON-TYPICAL THICKNESS OR FRAMING DUE TO ELECTRICAL, MECHANICAL, PLUMBING, STRUCTURAL AND/OR EQUIPMENT REQUIREMENTS.</p> <p>9. ALL GLAZING SHALL CONFORM TO FEDERAL GLAZING REGULATIONS AND CHAPTER 24, UBC.</p> <p>10. ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS STEAMING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION.</p> <p>11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFT-OVER MATERIAL, DEBRIS, TOOLS AND EQUIPMENT FROM THE STANDPOINT OF THE END USER. FOR THIS REASON, WHEN AN ITEM HE SHALL LEAVE ALL AREAS CLEAN AND FREE FROM DUST.</p> <p>12. HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM AT THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABatement, REPAIR, RESTORATION, USE, SPECIFICATION, OR REMOVAL OF PROXYS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THIS AGREEMENT.</p> <p>13. THE GENERAL CONTRACTOR &amp; SUBCONTRACTORS ARE RESPONSIBLE FOR LOCATING &amp; VERIFYING ALL EXISTING UNDERGROUND UTILITIES IN ALL AREAS OF NEW WORK PRIOR TO COMMENCEMENT OF EXCAVATION. EXISTING UTILITIES SHOWN ON THE DRAWING ARE APPROXIMATE ROUTING LOCATIONS AS BEST DETERMINED FROM EXISTING DRAWINGS AND THE COMMUNITY COLLEGE DISTRICT, BUT SHOULD NOT BE CONSIDERED TO REPRESENT ALL THE EXISTING UNDERGROUND UTILITIES.</p> <p>14. ALL TEMPORARY WORK SHALL BE CONSIDERED A PART OF THIS CONTRACT AND NO EXTRA CHARGES WILL BE ALLOWED. THIS SHALL INCLUDE MINOR ITEMS OF MATERIAL OR EQUIPMENT NECESSARY TO MEET THE REQUIREMENTS AND INTENT OF THE PROJECT.</p> <p>15. ALL WALL PENETRATIONS TO EXTERIOR WALLS SHALL BE SEALED AIR/TIGHT. ALL INTERIOR PENETRATIONS SHALL BE SEALED TO PROVIDE A PROFESSIONAL AND FINISHED APPEARANCE.</p> <p>16. THE DRAWINGS AND SPECIFICATIONS DO NOT UNDERTAKE TO SHOW OR LIST EVERY ITEM TO BE PROVIDED, BUT RATHER TO DEFINE THE REQUIREMENTS FOR A FULL AND WORKING SYSTEM FROM THE STANDPOINT OF THE END USER. FOR THIS REASON, WHEN AN ITEM NOT SHOWN OR LISTED IS CLEARLY NECESSARY FOR PROPER USE, CONTROL, OPERATION OF EQUIPMENT WHICH IS SHOWN OR LISTED, PROVIDE ALL ITEMS WHICH WILL ALLOW THE SYSTEM TO FUNCTION PROPERLY AT NO INCREASE IN CONTRACT PRICE ON TIME.</p> <p>17. THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE, IN HIS SCOPE, THE COST FOR COMPLETE FINISHED INSTALLATIONS, INCLUDING ANOMALIES, OF ALL TRADES.</p> <p>18. ALL WORK SHALL CONFORM TO CALIFORNIA CODES, TRADE STANDARDS WHICH GOVERN EACH PHASE OF THE PROJECT, AND ALL APPLICABLE LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.</p> <p>19. THIS DRAWING SET SHALL BE USED IN CONJUNCTION WITH THE CSI FORMAT PROVISIONS APPLIED IN BOOK FORM, COMBINED, THEY ARE THE "CONTRACT DOCUMENTS".</p> <p>20. NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS, ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTOR'S RISK. SEE SPECIFICATIONS FOR SUBMITTAL AND SUBSTITUTION REQUIREMENTS.</p>	<p>21. CONSTRUCTION MATERIAL STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE OR DETERIORATION. FAILURE IN THIS REGARD MAY CAUSE FOR REJECTION OF MATERIAL AND/OR WORK. SELECTION OF MATERIALS ARE THE SOLE RESPONSIBILITY OF CONTRACTOR.</p> <p>22. ALL EQUIPMENT/CABINETS SHALL BE FABRICATED FROM FIELD VERIFIED DIMENSIONS AND APPROVED SHOP DRAWINGS. COORDINATE MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT WITH THIS WORK.</p> <p>23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE AND COSTS ATTRIBUTED TO RAIN WATER DAMAGE DURING THE DURATION OF THIS PROJECT.</p> <p>24. PROTECT AREAS FROM DAMAGE WHICH MAY OCCUR DUE TO TEMPERATURES, WIND, DUST, WATER, ETC. PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED DURING CONSTRUCTION.</p> <p>25. MAINTAIN EXISTING PEDESTRIAN ACCESS ALONG EXISTING ADJACENT STREETS.</p> <p>26. ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY/COUNTY STANDARDS.</p> <p>27. ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.</p> <p>28. NOTIFY THE ARCHITECT IN WRITING AND SEEK CLARIFICATION IF ANY DISCREPANCIES OR OMISSIONS ARE FOUND. CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIAL WORK IF RELATED WORK IS CONTINUED AFTER A DISCREPANCY IS IDENTIFIED.</p> <p>29. NEW FINISHES AND CONSTRUCTION SHALL BE PROTECTED BY THE CONTRACTOR FROM POTENTIAL DAMAGE CAUSED BY CONSTRUCTION ACTIVITY. DAMAGE TO FINISHES OR CONSTRUCTION SHALL BE REPAIRED OR REPLACED (OWNER'S DECISION) BY THE CONTRACTOR WITH IDENTICAL MATERIAL AND/OR FINISHES. CONTRACTOR SHALL MAKE AND MAINTAIN A PHOTOGRAPHIC RECORD NOTEBOOK WITH DATED/INDEXED PHOTOGRAPHS.</p> <p>30. SEE MECHANICAL &amp; PLUMBING DRAWINGS FOR INFORMATION RELATED TO PLUMBING, HEATING, VENTILATION, AND AIR CONDITIONING EQUIPMENT. SEE ARCHITECTURAL PLANS, REFLECTED CEILING PLANS AND ELEVATIONS FOR COORDINATED EQUIPMENT LOCATIONS. IF NOT SHOWN, CONTACT ARCHITECT FOR REVIEW AND DECISION.</p> <p>31. SEE ELECTRICAL DRAWINGS FOR INFORMATION RELATED TO TELECOMMUNICATION EQUIPMENT, POWER, AND LIGHTING FIXTURES AND EQUIPMENT. SEE ARCHITECTURAL PLANS, REFLECTED CEILING LAN AND INTERIOR ELEVATIONS FOR COORDINATED EQUIPMENT LOCATIONS. IF NOT SHOWN, CONTACT ARCHITECT FOR REVIEW AND DECISION.</p> <p>32. PROVIDE ACCESS DOORS REQUIRED FOR ACCESS TO CONCEALED MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT.</p> <p>33. ALL NOTED WORK IS UNDERSTOOD TO BE NEW, UNLESS LABELED AS "E.T." OR "EXISTING".</p>	<p>ENVELOPE MANDATORY MEASURES: A. INSTALLED INSULATING MATERIALS SHALL HAVE BEEN CERTIFIED BY THE MANUFACTURER TO COMPLY WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL. B. ALL INSULATING MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF TITLE 24, PART 2, CALIFORNIA CODE OF REGULATIONS, SECTIONS 707 AND 2802 AND UNIFORM BUILDING CODE, SECTIONS 707 AND 2802.</p> <p>C. ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL AND OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED. D. SITE CONSTRUCTED DOORS, WINDOWS, AND SKYLIGHTS SHALL BE CAULKED BETWEEN THE UNIT AND THE BUILDING AND SHALL BE WEATHERSTRIPPED (EXCEPT FOR UNFRAMED GLASS DOORS AND FIRE DOORS). E. MANUFACTURED DOORS AND WINDOWS INSTALLED SHALL HAVE AIR INFILTRATION RATES CERTIFIED BY THE MANUFACTURER IN ACCORDANCE WITH TITLE 24, PART 6, CALIFORNIA CODE OF REGULATIONS, SECTION 116(c). F. MANUFACTURED FENESTRATION PRODUCTS IN THE ENVELOPE OF THE BUILDING, INCLUDING, BUT NOT LIMITED TO, WINDOWS, SLIDING GLASS DOORS, FRENCH DOORS, SKYLIGHTS, CURTAIN WALLS, AND GARDEN WINDOWS MUST BE LABELED FOR U-VALUE IN ACCORDANCE WITH THE (NFRC) NATIONAL FENESTRATION RATING COUNCIL'S INTERIM U-VALUE RATING PROCEDURE. G. DENSED WALL INSULATION SHALL BE INSTALLED IN ALL OPAQUE PORTIONS OF FRAMING WALLS (EXCEPT DOORS). H. PROOF LOAD TESTS FOR EXPANSION TYPE ANCHOR BOLTS: A. ANCHOR DIAMETER REFERS TO THE THREAD SIZE FOR THE WEDGE CATEGORY AND TO THE ANCHOR OUTSIDE DIAMETER FOR THE SLEEVE CATEGORY. B. APPLY PROOF TEST LOADS TO WEDGE &amp; SLEEVE ANCHORS WITHOUT REMOVING THE NUT IF POSSIBLE. IF NOT, REMOVE NUT AND INSTALL A THREAD-ED COUPLER TO THE SAME TIGHTNESS OF THE ORIGINAL NUT USING A TORQUE WRENCH AND APPLY LOAD. C. FOR SLEEVE INTERNALLY THREADED CATEGORIES, VERIFY THAT THE ANCHOR IS NOT PREVENTED FROM WITHDRAWING BY A BASEPLATE OR OTHER FIXTURES. IF RESTRAINING IS FOUND, LOOSEN AND SHIM OR REMOVE FIXTURE(S) PRIOR TO TESTING. D. REACTION LOADS FROM TEST FIXTURES MUST BE APPLIED CLOSE TO THE ANCHOR BEING TESTED, PROVIDED THE ANCHOR IS NOT PREVENTED FROM WITHDRAWING BY THE FIXTURE(S). E. TEST EQUIPMENT IS TO BE CALIBRATED BY AN APPROVED TESTING LABORATORY IN ACCORDANCE WITH STANDARD PROCEDURES. F. THE FOLLOWING CRITERIA APPLY FOR THE ACCEPTANCE OF INSTALLED ANCHORS: 1. HYDRAULIC RAM METHOD: THE ANCHOR SHOULD HAVE NO OBSERVABLE MOVEMENT AT THE APPLICABLE TEST LOAD. FOR WEDGE AND SLEEVE TYPE ANCHORS, A PRACTICAL WAY TO DETERMINE OBSERVABLE MOVEMENT IS THAT THE WASHER UNDER THE NUT BECOMES LOOSE. DROP IN ANCHORS ARE ONLY TO BE TESTED WITH THIS METHOD. 2. TORQUE WRENCH METHOD: THE APPLICABLE TEST TORQUE MUST BE REACHED WITHIN THE FOLLOWING LIMITS: WEDGE OR SLEEVE TYPE: ONE-HALF (1/2) TURN OF THE NUT, ONE-QUARTER (1/4) TURN OF THE NUT FOR THE 3/8" IN SLEEVE ANCHOR ONLY. 3. TESTING SHOULD OCCUR 24 HOURS MINIMUM AFTER INSTALLATION OF THE SUBJECT ANCHOR ONLY. H. ALL ANCHOR BOLTS OF THE EXPANSION TYPE (LOADED IN EITHER PULL-OUT OR SHEAR) SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING OR CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNEXPECTED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH THE PROSECUTION OF THIS WORK. I. ALL BOLTS MUST HAVE I.C.B.O. APPROVAL. J. ALL ANCHOR BOLTS OF THE EXPANSION TYPE SHALL BE ONE OF THE FOLLOWING: 1. RAVNPLUG CO., INC.-RPM-BOLT-SLEEVE ANCHOR-ICBO NO. 5225. 2. ITW RAMSET/REDHEAD-WEDGE ANCHOR-ICBO NO. 1372 K. POWDER DRIVEN CONCRETE FASTENERS: A. GENERAL: USE POWDER DRIVEN CONCRETE FASTENERS FOR TENSION LOADS IS LIMITED TO SUPPORT OF MINOR LOADS LIKE ACOUSTICAL CEILINGS, DUCT WORK, CONDUIT. B. ALLOWABLE LOADS: IN GENERAL, LOADS SHOULD BE LIMITED TO LESS THAN 100 POUNDS. HOWEVER GREATER LOADS MAY BE PERMITTED FOR SPECIAL CASES WHEN APPROVED BY THE CHECKING SUPERVISOR OR FIELD ENGINEER. C. TESTING: THE OPERATOR, TOOL, AND FASTENER SHALL BE PREQUALIFIED BY THE PROJECT INSPECTOR. HE SHALL OBSERVE THE TESTING OF THE FIRST 10 FASTENER INSTALLATIONS. A TEST "PULL-OUT" LOAD OF NOT LESS THAN TWICE THE DESIGN LOAD, OR 200 POUNDS, WHICHEVER IS GREATER, SHALL BE APPLIED TO THE PIN IN SUCH A MANNER AS NOT TO RESIST THE SPALLING TENDENCY OF THE CONCRETE SURROUNDING THE PIN. THEREAFTER, RANDOM TESTS UNDER THE PROJECT INSPECTOR'S SUPERVISION SHALL BE MADE OF APPROXIMATELY 1 IN 10 PINS, EXCEPT THAT WHEN THE DESIGN LOAD EXCEEDS 100 POUNDS, ONE HALF OF THE PINS SHALL BE TESTED. SHOULD FAILURES OCCUR ON ANY PIN TESTED, ALL INSTALLATIONS MUST BE TESTED AND UNFAR PINS REPLACED. L. ALL POWDER DRIVEN CONCRETE FASTENERS SHALL BE ONE OF THE FOLLOWING: HILTI, INC. 1. DN PINS - WOOD PLATE - ICBO NO. 1290 DN PINS - STEEL TRACK - ICBO NO. 2388 2. ITW RAMSET/REDHEAD DRIBE PIN - WOOD PLATE - ICBO NO. 1147 DRIVE PIN - STEEL TRACK - ICBO NO. 1639 M. SPECIFICATIONS FOR AUTOMATIC END WELDED STUDS MATERIAL: AUTOMATIC END WELDED STUDS SHALL BE NELSON GRANULAR FLUX-FILLED SHEAR CONNECTOR OR ANCHOR STUDS (OR APPROVED EQUAL). STUDS SHALL BE MANUFACTURED OF C-1015 COLD ROLLED STEEL WHICH CONFORMS TO ASTM A108. INSTALLATION: THE STUDS SHALL BE AUTOMATICALLY END WELDED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS IN SUCH A MANNER AS TO PROVIDE COMPLETE FUSION BETWEEN THE END OF THE STUD AND THE PLATE. THERE SHOULD BE NO POROSITY OR EVIDENCE OF LACK OF FUSION BETWEEN THE WELDED END OF THE STUD AND THE PLATE. THE STUD SHALL INCREASE IN LENGTH DURING WELDING APPROXIMATELY 1/8" FOR 5/8" AND UNDER, AND 3/16" FOR OVER 5/8" DIAMETER. WELDING SHALL BE DONE ONLY BY QUALIFIED WELDERS APPROVED BY THE WELDING INSPECTOR. INSPECTION AND TESTS: INSPECTION, IN ACCORDANCE WITH TITLE 24, PART 2, SECTION 2231A.5 AND 2231A.5 OF ALL THE SHOP AND FIELD WELDING OPERATIONS SHALL BE PREPARED TO INCLUDE ALL SIGNIFICANT ENERGY CONSERVATION FEATURES REQUIRED FOR COMPLIANCE WITH THE STANDARDS, BUILDING AREAS THAT ARE UNCONDITIONED AND/OR NOT SUBJECT TO THE STANDARDS ARE INDICATED ON THE DRAWINGS.</p>	<h3>DSA REQUIREMENTS</h3> <p>1. ALL WORK SHALL CONFORM TO THE 2007 EDITION OF TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).</p> <p>2. AS A FACILITY WHICH COMES UNDER THE APPROVAL AND AUTHORITY OF THE DIVISION OF THE STATE ARCHITECT (DSA), THIS PROJECT IS SUBJECT TO DRAWING AND JOB SITE REVIEW BY A REPRESENTATIVE OF DSA.</p> <p>3. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY ADDENDA OR A CHANGE ORDER APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY SECTION 4-336, PART 1, TITLE 24, CCR.</p> <p>4. A PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY THE DIVISION OF THE STATE ARCHITECT SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1, TITLE 24, CCR.</p> <p>5. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.</p> <p>6. A COPY OF PARTS 1 AND 2 OF TITLE 24 SHALL BE KEPT AND AVAILABLE IN THE FIELD DURING CONSTRUCTION.</p> <p>7. DSA SHALL BE NOTIFIED OF THE START OF CONSTRUCTION AND PRIOR TO THE PLACEMENT OF CONCRETE PER SECTION 4-331, PART 1, TITLE 24, CCR.</p> <p>8. THE DIVISION OF THE STATE ARCHITECT IS EXEMPT FROM ARBITRATION OR MEDIATION PROCEDURES.</p> <p>9. SUPERVISION BY THE DIVISION OF THE STATE ARCHITECT PER SECTION 4-334, PART 1, TITLE 24, CCR.</p> <p>10. ADMINISTRATION OF CONSTRUCTION PER PART 1, TITLE 24, CCR; VERIFIED REPORTS PER SEC 4-336, PART 1, TITLE 24, CCR; DUTIES OF ARCHITECT PER SEC 4-331, 4-341, PART 1, TITLE 24 CCR; DUTIES OF CONTRACTOR PER SEC 4-343, TITLE 24, CCR, PART 1.</p> <p>11. TESTING AND INSPECTION: - INSPECTION APPROVED BY DSA AS PER SEC. 4-333 (D) AND 4-342 - TESTS AND TESTING LABORATORIES PER SEC. 4-335 - SPECIAL INSPECTION PER SECTION 4-333(C)</p> <p>12. CHANGES IN LEVEL FOR FLOOR FINISHES SHALL CONFORM WITH CBC SEC. 1124B.2 AND 1124B.3</p> <p>13. ALL TESTS TO CONFORM TO REQUIREMENTS OF SECTION 4-335, PART 1 TITLE 24, AND APPROVED T &amp; I SHEET.</p> <p>14. TESTS OF MATERIALS AND TESTING LABORATORY SHALL BE IN ACCORDANCE WITH SECTION 4-335 OF PART 1, TITLE 24 AND THE DISTRICT SHALL EMPLOY AND PAY THE LABORATORY. COSTS OF RE-TEST MAY BE BACK CHARGED TO THE CONTRACTOR.</p> <p>15. INSPECTOR SHALL BE APPROVED BY DSA. INSPECTION SHALL BE IN ACCORDANCE WITH SECTION 4-333(B).</p> <p>16. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO CONSTRUCT THE SCHOOL BUILDING IN ACCORDANCE WITH TITLE 24, C.C.R. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHERE IN THE FINISH WORK WILL NOT COMPLY WITH SAID TITLE 24, C.C.R. A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DIVISION OF STATE ARCHITECT BEFORE PROCEEDING WITH THE WORK.</p> <p>17. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.</p> <p>18. INSPECTOR OF RECORD REQUIREMENTS A. ONE OR MORE INSPECTORS EMPLOYED BY THE OWNER IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS WILL BE ASSIGNED TO THE WORK. THE INSPECTOR'S DUTIES ARE SPECIFICALLY DEFINED IN SECTION 4-342 OF SAID TITLE 24, PART 1 AND, IN ADDITION SHALL BE AS STIPULATED IN INTERPRETER OF REGULATION DOCUMENT IR A-8.</p> <p>B. INSPECTOR SHALL BE CERTIFIED AS A CLASS [1] INSPECTOR THROUGH THE DIVISION OF THE STATE ARCHITECT INSPECTION AND ADMIN. BUILDING &amp; A NEW EXTERIOR ELEVATOR &amp; STAIR ADDITION.</p> <p>C. INSPECTOR SHALL ALSO BE SPECIFICALLY APPROVED BY THE DIVISION OF THE STATE ARCHITECT FOR THIS PROJECT AT LEAST 10 DAYS PRIOR TO THE START OF ANY WORK FOR THIS PROJECT.</p>	<p>MAIN TITLES BUILDING SECTION WALL SECTION INTERIOR WALL DETAIL DETAIL IS SHOWN AT 10.51 = SHEET NUMBER DETAIL IS SHOWN AT 10.81 = SHEET NUMBER GRID LINE ELEVATION NORTH ARROW DOOR NO., SEE DOOR SCHEDULE SHEETS PER DRAWINGS INDEX WINDOW NO., SEE WINDOW SCHEDULE SHEETS PER DRAWING INDEX ROOM IDENTIFICATION LOBBY = ROOM NAME 8119 = AREA IDENTITY 8- BUILDING OR AREA DESIGNATION 1- FLOOR NUMBER 19- ROOM NUMBER B = FINISH GROUP (SEE FINISH PLANS) 9/A8.6 = INTERIOR ELEVATION DESIGNATION AND DRAWING NUMBER WHERE ELEVATION IS SHOWN A.B.C OR D = ELEVATION IDENTITY NUMBER. NUMBER POINTS TO WALL SHOWN IN ELEVATION ON SHT. A8.1 MATCHLINE F.I.E.C. WALL TYPE, SEE SHEET A10.51 SIGN, SEE SCHEDULE ON SHEET A9.40 GRAVEL EARTH GYP BOARD CONCRETE IN ELEV. STRUCTURAL CONCRETE CONCRETE BLOCK METAL LATH INTERNATIONAL SYMBOL FOR ACCESSIBILITY (INDICATES ACCESSIBLE EQUIPMENT OR FIXTURES)</p> <p>STEEL (LARGE SCALE) PLYWOOD WOOD FRAMING BLOCKING FINISHED WORK BATT INSULATION RIGID INSULATION VAPOR BARRIER STUD WALLS SEE WALL TYPE LEGEND</p> <p>FIRE EXTINGUISHER CABINET WALL TYPE, SEE SHEET A10.51 SIGN, SEE SCHEDULE ON SHEET A9.40 GRAVEL EARTH GYP BOARD CONCRETE IN ELEV. STRUCTURAL CONCRETE CONCRETE BLOCK METAL LATH INTERNATIONAL SYMBOL FOR ACCESSIBILITY (INDICATES ACCESSIBLE EQUIPMENT OR FIXTURES)</p>	<h3>PROJECT DESCRIPTION</h3> <p>THIS PROJECT CONSISTS OF AN ALTERATION TO AN EXISTING 40,000 SF COLLEGE CLASSROOM AND ADMIN. BUILDING &amp; A NEW EXTERIOR ELEVATOR &amp; STAIR ADDITION.</p> <p>TYPE I-A CONSTRUCTION PRIMARY OCCUPANCY: GROUP B - OFFICE, WORK ROOM</p> <h3>MECHANICAL</h3> <p>M0.1 MECHANICAL LEGENDS, NOTES, ABBREVIATIONS &amp; DRAWING INDEX M0.2 TITLE 24 MANDATORY MEASURES AND COMPLIANCE FORMS M0.3 TITLE 24 MANDATORY MEASURES AND COMPLIANCE FORMS MD1.1 MECHANICAL DEMOLITION PLAN - FIRST FLOOR MD1.2 MECHANICAL DEMOLITION PLAN - SECOND FLOOR MD1.3 MECHANICAL DEMOLITION PLAN - THIRD FLOOR</p>	<h3>SHEET INDEX (CONT.)</h3> <h4>MECHANICAL (CONT.)</h4> <p>M2.1 COVER SHEET M2.2 ARCHITECTURAL ABBREVIATIONS M2.3 CODE REVIEW - BUILDING EXISTING CALCULATIONS M2.4 FIRST &amp; SECOND FLOOR EXITING PLANS M2.5 THIRD FLOOR EXITING PLAN M2.6 MECHANICAL HYDRONIC PLAN - SECOND FLOOR M2.7 MECHANICAL HYDRONIC PLAN - THIRD FLOOR M2.8 MECHANICAL ROOF PLAN M2.9 MECHANICAL RISE/DIAPHRAGM M3.1 MECHANICAL PIPING DIAGRAMS M3.2 ENLARGED MECHANICAL DUCTWORK PLAN M3.3 ENLARGED MECHANICAL HYDRONIC PLAN M4.1 MECHANICAL EQUIPMENT SCHEDULES M5.1 MECHANICAL CONTROL DIAGRAMS M5.2 MECHANICAL CONTROL DIAGRAMS M6.1 MECHANICAL DETAILS M6.2 MECHANICAL DETAILS</p> <h4>PLUMBING</h4> <p>P0.1 PLUMBING LEGENDS, NOTES, ABBREVIATIONS &amp; DRAWING INDEX P0.2 PLUMBING DEMOLITION PLAN - FIRST FLOOR P0.3 PLUMBING DEMOLITION PLAN - SECOND FLOOR P0.4 PLUMBING DEMOLITION PLAN - THIRD FLOOR P1.1 SECOND FLOOR DEMOLITION PLAN - PLUMBING P1.2 PLUMBING PLAN - FIRST FLOOR P1.3 PLUMBING PLAN - SECOND FLOOR P1.4 PLUMBING PLAN - THIRD FLOOR P2.1 ENLARGED DEMOLITION PLAN - PLUMBING P2.2 ENLARGED PLAN - PLUMBING P2.3 ENLARGED PLAN - PLUMBING P2.4 ENLARGED PLAN - PLUMBING P2.5 PLUMBING EQUIPMENT SCHEDULES P6.1 PLUMBING DETAILS P6.2 PLUMBING DETAILS</p> <h4>ELECTRICAL</h4> <p>E0.1 ELECTRICAL SYMBOLS LIST, GEN. NOTES, ABBREVIATIONS, &amp; SHEET INDEX E0.2 LUMINAIRE SCHEDULE &amp; TITLE 24 CALCULATIONS E0.3 TITLE 24 CALCULATIONS E0.4 OUTDOOR TITLE 24 CALCULATIONS ED1.1 FIRST FLOOR DEMOLITION PLAN - ELECTRICAL ED1.2 SECOND FLOOR DEMOLITION PLAN - ELECTRICAL ED1.3 THIRD FLOOR DEMOLITION PLAN - ELECTRICAL E2.1 FIRST FLOOR PLAN - LIGHTING E2.2 SECOND FLOOR PLAN - LIGHTING E2.3 THIRD FLOOR PLAN - LIGHTING E3.1 FIRST FLOOR PLAN - POWER E3.2 SECOND FLOOR PLAN - POWER E3.3 THIRD FLOOR PLAN - POWER E3.4 ROOF PLAN - POWER E6.1 PANEL SCHEDULES E6.2 PANEL SCHEDULES E7.1 DETAILS</p> <h4>TECHNOLOGY</h4> <p>T0.1 TECHNOLOGY SYMBOL SHEET T4.1 FIRST FLOOR T4.2 TECHNOLOGY SECOND FLOOR T4.3 TECHNOLOGY THIRD FLOOR T5.1 ENLARGED FLOOR PLANS AND ONE LINE DIAGRAMS T6.1 TECHNOLOGY DETAIL SHEET</p> <h4>FIRE ALARM</h4> <p>FA0.1 FIRE ALARM SYMBOL LIST, NOTES, MATRIX &amp; DRAWING INDEX FA1.1 FIRE ALARM PLAN - FIRST FLOOR FA2.1 FIRE ALARM PLAN - SECOND FLOOR FA3.1 FIRE ALARM PLAN - THIRD FLOOR FA4.1 FIRE ALARM RISER DIAGRAM AND CALCULATIONS</p>						
<h3>SUPPLEMENTAL GENERAL NOTES</h3>		<p>1. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.</p> <p>2. LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING OR CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNEXPECTED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH THE PROSECUTION OF THIS WORK.</p> <p>3. THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED THEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF BCA ARCHITECTS, AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF BCA ARCHITECTS.</p>	<p>16. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO CONSTRUCT THE SCHOOL BUILDING IN ACCORDANCE WITH TITLE 24, C.C.R. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHERE IN THE FINISH WORK WILL NOT COMPLY WITH SAID TITLE 24, C.C.R. A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DIVISION OF STATE ARCHITECT BEFORE PROCEEDING WITH THE WORK.</p> <p>17. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.</p> <p>18. INSPECTOR OF RECORD REQUIREMENTS A. ONE OR MORE INSPECTORS EMPLOYED BY THE OWNER IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS WILL BE ASSIGNED TO THE WORK. THE INSPECTOR'S DUTIES ARE SPECIFICALLY DEFINED IN SECTION 4-342 OF SAID TITLE 24, PART 1 AND, IN ADDITION SHALL BE AS STIPULATED IN INTERPRETER OF REGULATION DOCUMENT IR A-8.</p> <p>B. INSPECTOR SHALL BE CERTIFIED AS A CLASS [1] INSPECTOR THROUGH THE DIVISION OF THE STATE ARCHITECT INSPECTION AND ADMIN. BUILDING &amp; A NEW EXTERIOR ELEVATOR &amp; STAIR ADDITION.</p> <p>C. INSPECTOR SHALL ALSO BE SPECIFICALLY APPROVED BY THE DIVISION OF THE STATE ARCHITECT FOR THIS PROJECT AT LEAST 10 DAYS PRIOR TO THE START OF ANY WORK FOR THIS PROJECT.</p>	<h3>PROJECT DESCRIPTION</h3> <p>THIS PROJECT CONSISTS OF AN ALTERATION TO AN EXISTING 40,000 SF COLLEGE CLASSROOM AND ADMIN. BUILDING &amp; A NEW EXTERIOR ELEVATOR &amp; STAIR ADDITION.</p> <p>TYPE I-A CONSTRUCTION PRIMARY OCCUPANCY: GROUP B - OFFICE, WORK ROOM</p>	<h3>PROJECT DIRECTORY</h3> <table><tr><td><b>CLIENT</b> San Mateo County Community College District Josee Nunez, Vice Chancellor Facilities Maintenance &amp; Operations 3401 GSM Drive San Mateo, CA 94402 [T] (650) 574-6512 [F] (650) 574-6574</td><td><b>MECHANICAL, PLUMBING &amp; ELECTRICAL ENGINEER</b> Hormoz Janssens Interface Engineering 214 Grant Ave., #450 San Francisco, CA 94108 [T] (415) 489-7240 [F] (415) 489-7289 Hormoz@ieice.com</td></tr><tr><td><b>ARCHITECT</b> Paul Bunton, Principal Bunton Clifford Associates 210 Hammond Avenue Fremont, CA 94539 [T] (510) 445-1000 [F] (510) 445-1005 paul@bcainc.com</td><td><b>ESTIMATOR</b> Tony Kanastob Kanastob &amp; Associates 370 El Portal Way San Jose, CA 95123 [T] (408) 281-0371 [F] (408) 516-9798 tony@kanastob.com</td></tr><tr><td><b>STRUCTURAL ENGINEER</b> Patrick Chow Rinne &amp; Peterson 1121 San Antonio Road, Ste. C200 Palo Alto, CA 94303 [T] (650) 428-2860 [F] (650) 428-2861</td><td><b>CIVIL ENGINEER</b> Matt Schober Triad/Holmes Associates 777 Woodside Rd., #424 Redwood City, CA 94061 [T] (650) 366-0216 [F] (650) 366-0298 st@thinc.com</td></tr></table>	<b>CLIENT</b> San Mateo County Community College District Josee Nunez, Vice Chancellor Facilities Maintenance & Operations 3401 GSM Drive San Mateo, CA 94402 [T] (650) 574-6512 [F] (650) 574-6574	<b>MECHANICAL, PLUMBING &amp; ELECTRICAL ENGINEER</b> Hormoz Janssens Interface Engineering 214 Grant Ave., #450 San Francisco, CA 94108 [T] (415) 489-7240 [F] (415) 489-7289 Hormoz@ieice.com	<b>ARCHITECT</b> Paul Bunton, Principal Bunton Clifford Associates 210 Hammond Avenue Fremont, CA 94539 [T] (510) 445-1000 [F] (510) 445-1005 paul@bcainc.com	<b>ESTIMATOR</b> Tony Kanastob Kanastob & Associates 370 El Portal Way San Jose, CA 95123 [T] (408) 281-0371 [F] (408) 516-9798 tony@kanastob.com	<b>STRUCTURAL ENGINEER</b> Patrick Chow Rinne & Peterson 1121 San Antonio Road, Ste. C200 Palo Alto, CA 94303 [T] (650) 428-2860 [F] (650) 428-2861	<b>CIVIL ENGINEER</b> Matt Schober Triad/Holmes Associates 777 Woodside Rd., #424 Redwood City, CA 94061 [T] (650) 366-0216 [F] (650) 366-0298 st@thinc.com	<h3>VICINITY MAP</h3> <p>NO SCALE</p>
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ARCHITECTURAL DRAWING ABBREVIATIONS

SYMBOLS

&	AND ANGLE	CUFT	CUBIC FOOT
∠	ANGLE	CUIN	CUBIC INCH
⊙	AT	CUST	CUSTODIAN
CL	CENTERLINE	CUYD	CUBIC YARD
∅	DIAMETER OR ROUND		
(E)	EXISTING	D	DRAIN
(N)	NEW	DBL	DOUBLE
d	PENNY (NAILS)	DEMO	DEMOLISH, DEMOLITION
⊥	PERPENDICULAR	DEP	DEPRESSED
PL	PLATE	DEPT	DEPARTMENT
#	POUND OR NUMBER	DET	DETAIL
		DF	DRINKING FOUNTAIN
A/C	AIR CONDITIONING	DH	DOUBLE HUNG
A/E	ARCHITECT/ENGINEER	DIA	DIAMETER
AB	ANCHOR BOLT	DIAG	DIAGONAL
ABAN	ABANDON	DIFF	DIFFUSER
ABC	AGGREGATE BASE COURSE	DM	DIMENSION
ABV	ABOVE	DISP	DISPENSER
AC	ASPHALTIC CONCRETE	DIV	DIVISION
ACC	ACCESS(IBLE)	DMPF	DAMP/PROOFING
ACST	ACOUSTICAL	DMT	DEMOUNTABLE
ACT	ACOUSTICAL CEILING TILE	DN	DOWN
AD	AREA DRAIN	DR	DOOR
ADDM	ADDENDUM	DRB	DRAINBOARD
ADH	ADHESIVE	DRLV	DOOR LOUVER
ADJ	ADJUSTABLE	DS	DOWNSPOUT
ADJC	ADJACENT	DSP	DRY STANDPIPE
AFF	ABOVE FINISHED FLOOR	DT	DRAIN TILE
AFO	ABOVE FINISHED GRADE	DVTL	DOVETAIL
AGGR	AGGREGATE	DW	DISHWASHER
AHU	AIR HANDLING UNIT	DWG	DRAWING
AL	ALUMINUM	DWL	DOWEL
ALT	ALTERNATE	DWR	DRAWER
ANC	ANCHOR, ANCHORAGE		
APLD	APPLIED	E	EAST
APPRX	APPROXIMATE	EA	EACH
ARCH	ARCHITECT(URAL)	EAR	EXHAUST AIR REGISTER
ASC	ABOVE SUSPENDED CEILING	EB	EXPANSION BOLT
ASF	ABOVE STAGE FINISH	EE	EACH END
ASPH	ASPHALT	EF	EACH FACE
ASSY	ASSEMBLY	EFS	EXTERIOR FINISH SYSTEM
ASYM	ASYMMETRICAL	EHD	EXTERIOR HAND DRYER
AWG	AMERICAN WIRE GAGE	EIFS	EXTERIOR INSULATION AND FINISH SYSTEM
		EJ	EXPANSION JOINT
BC	BACK OF CURB	EL	ELEVATION
BD	BOARD	ELAST	ELASTOMERIC
BITUM	BITUMINOUS	ELEC	ELECTRIC(AL)
BLDG	BUILDING	ELEV	ELEVATOR
BLK	BLOCK	EM	EXPANDED METAL
BLKG	BLOCKING	EMER	EMERGENCY
BLW CLG	BELOW CEILING	EN	EDGE NAILING
BLW FFLR	BELOW FINISH FLOOR	ENCL	ENCLOSE(URE)
BLW	BELOW	ENGR	ENGINEER
BM	BENCH MARK	ENTR	ENTRANCE
BN	BOUNDARY NAILING	EP	ELECTRICAL PANELBOARD
BOT	BOTTOM	EQ	EQUAL
BRCG	BRACING	EQUIP	EQUIPMENT
BRDG	BRIDGING	ESC	ESCUTCHEON
BRG	BEARING	ESCL	ESCALATOR
BRK	BRICK	ESMT	EASEMENT
BRKT	BRACKET	EW	EACH WAY
BRS	BRASS	EW	ELECTRIC WATER COOLER
BRZ	BRONZE	EWH	ELECTRICAL WATER HEATER
BS	BOTH SIDES	EWS	EYE WASH STATION
BSMT	BASEMENT	EXC	EXCAVATE
BTWN	BETWEEN	EXG	EXISTING
BUR	BUILT UP ROOFING	EXH	EXHAUST
BW	BOTH WAYS	EXP	EXPOSED
		EXPN	EXPANSION
C&G	CURB AND GUTTER	EXS	EXTRA STRONG
CAB	CABINET	EXT	EXTERIOR
CAD	CADMIUM		
CB	CATCH BASIN	F/F	FACE TO FACE
CBB	CEMENTITIOUS BACKER BOARD	FA	FIRE ALARM
CEM	CEMENT	FAB	FABRIC
CER	CERAMIC	FBD	FIBERBOARD
CFCI	CONTRACTOR FURNISH CONTRACTOR INSTALLED	FBRK	FIRE BRICK
		FCBRK	FACE BRICK
CFLG	COUNTERFLASHING	FD	FLOOR DRAIN
CFDI	CONTRACTOR FURNISH OWNER INSTALLED	FDN	FOUNDATION
		FE	FIRE EXTINGUISHER
CG	CORNER GUARD	FEC	FIRE EXTINGUISHER CABINET
CHBD	CHALKBOARD	LNTL	LINTEL
CHFR	CHAMFER	FF	FLOOR FINISH
CI	CAST IRON	FFA	FROM FLOOR ABOVE
CIR	CIRCLE	FFB	FROM FLOOR BELOW
CIRC	CIRCULAR, CIRCUMFERENCE	FFEL	FINISHED FLOOR ELEVATION
CJ	CONSTRUCTION JOINT	FFL	FINISHED FLOOR LINE
CL	CHAIN LINK	FGL	FIBERGLASS
CLG	CEILING	FHC	FIRE HOSE CABINET
CLJ	CONTROL JOINT	FHMS	FLATHEAD MACHINE SCREW
CLL	CONTRACT LIMIT LINE	FHWS	FLATHEAD WOOD SCREW
CLOS	CLOSURE	FIN	FINISH(ED)
CLR	CLEAR(ANCE)	FJT	FLUSH JOINT
CLRM	CLASSROOM	FLASH	FLASH(ING)
CMPST	COMPOSITION	FLDG	FOLDING
CMU	CONCRETE MASONRY UNIT	FLG	FLOORING
CNCL	CONCEALED	FLR	FLOOR
CNR	CORNER	FLUR	FLUORESCENT
CNTR	COUNTER	FN	FIELD NAILING
COL	COLUMN	FOC	FACE OF CONCRETE
COM	COMMON	FOF	FACE OF FINISH
COMB	COMBINATION	FOG	FACE OF GRID
COMPT	COMPARTMENT	FOM	FACE OF MASONRY
CONC	CONCRETE	FOS	FACE OF STUDS
CONF	CONFERENCE	FPL	FIREPLACE
CONN	CONNECTION	FPPRF	FIREPROOF(ING)
CONSTR	CONSTRUCTION	FR	FRAME(D), (ING)
CONT	CONTINUOUS (ATION)	FRG	FIBER REINFORCED GYPSUM
CONTR	CONTRACT(OR)	FRP	FIBERGLASS REINFORCED PLASTIC
COORD	COORDINATE	FRTW	FIRE RETARDANT TREATED WOOD
CORR	CORRIDOR	FRZ	FREEZER
CPR	COPPER	FS	FAR SIDE
OPRS	COMPRESS(ED), (ION), (IBLE)	FSN	FASTEN, FASTENER
GPT	CARPET(ED)	FT	FOOT OR FEET
CRS	COLD ROLLED STEEL	FTG	FOOTING
CS	CAST STONE	FURC	FURRED (ING)
CSG	CASING	FUT	FUTURE
CSK	COUNTERSUNK	FWC	FABRIC WALL COVERING
CSMT	CASEMENT		
CSWK	CASEWORK	GA	GAGE
CT	CERAMIC TILE	GAL	GALLON
CTB	CERAMIC TILE BASE	GALV	GALVANIZED
CTF	CERAMIC TILE FLOOR	GB	GRAB BAR
CTG	COATING		
CTR	CENTER		

GFRC	GLASS FIBER REINFORCED CONCRETE
GI	GALVANIZED IRON
GL	GLASS
GLU LAM	GLUE LAMINATED
GLZ	GLAZING
GLZCMU	GLAZED CONCRETE MASONRY UNITS
GND	GROUND
GPC	GYPSUM PLASTER CEILING
GR LN	GRADE LINE
GR BM	GRADE BEAM
GR	GRADE, (ING)
GRBD	GARBAGE DISPOSER
GSB	GYPSUM SHEATHING BOARD
GSS	GALVANIZED STEEL SHEET
GST	GLAZED STRUCTURAL TILE
GT	GROUT
GVL	GRAVEL
GYP	GYPSUM
HB	HOSE BIBB
HC	HOLLOW CORE
HD	HEAVY DUTY
HD JT	HEAD JOINT
HDAS	HEADED ANCHOR STUD
OFF	OFFICE
OFCI	OWNER FURNISHED - CONTRACTOR INSTALLED
OFF	OFFICE
OFOI	OWNER FURNISHED - OWNER INSTALLED
OFS	OUTSIDE FACE OF STUD
OHMS	OHMS
OHWS	OVERHEAD WOOD SCREW
OPH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
OPQ	OPAQUE
OPR	OPERABLE
ORD	OVERFLOW ROOF DRAIN
OVFL	OVERFLOW
OVHD	OVERHEAD
PA	PUBLIC ADDRESSES
PAR	PARALLEL
PAT	PATTERN
PB	PANIC BAR
PBD	PARTICLE BOARD
PCC	PORTLAND CEMENT PRECAST CONCRETE
PCP	PORTLAND CEMENT PLASTER
PE	PEDESTAL
PERF	PERFORATE(D)
PERIM	PERIMETER
PERP	PERPENDICULAR
PGBD	PEGBOARD
PH	PHASE
PHS	PHILLIPS HEAD SCREW
PI	POINT OF INTERSECTION
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLBG	PLUMBING
PLYWD	PLYWOOD
PNEU	PNEUMATIC
PNL	PANEL
PNT	PAINT(ED)
POL	POLISHED
POLY	POLYETHYLENE
PORC	PORCELAIN
PORT	PORTABLE
PR	PAIR
PRCST	PRECAST
PREFAB	PREFABRICATE(D)
PREFIN	PREFINISHED
PREFMD	PREFORMED
PRKG	PARKING
PRML	PREMOLDED
PROJ	PROJECT
PROP	PROPERTY
PSCONC	PRESTRESSED CONCRETE
PT	POINT
PTCONC	POST TENSIONED CONCRETE
PTD	PAPER TOWEL DISPENSER
PTN	PARTITION
PTR	PAPER TOWEL RECEPTOR
PVC	POLYVINYL CHLORIDE
PVG	PAVE(D), (ING)
PVMT	PAVEMENT
QT	QUARRY TILE
QTB	QUARRY TILE BASE
QTF	QUARRY TILE FLOOR
QTR	QUARTER
QTY	QUANTITY
R	RISER
RA	RETURN AIR
RAB	RABBIT
RAD	RADIUS
RB	RESILIENT BASE
RBR	RUBBER
RCP	REINFORCED CONCRETE PIPE
RCVR	RECEIVER
RDGNS	RIGID INSULATION
RDWY	ROADWAY
REBAR	REINFORCING STEEL BARS
REC	RECESSED
RECT	RECTANGULAR
REF	REFERENCE
REFL	REFLECT(ED), (IVE), (OR)
REFR	REFRIGERATOR
REG	REGISTER
REINF	REINFORCE(D), (ING), (MENT)
REMO	REMOVE(ABLE)
REP	REPAIR
REPL	REPLACE
REQD	REQUIRED
RESIL	RESILIENT
RET	RETURN
REV	REVISION(S), REVISED
RF	RESILIENT FLOORING
RFG	ROOFING
RFH	ROOF HATCH
RH	RIGHT HAND
RHMS	ROUND HEAD MACHINE SCREW
RHR	RIGHT HAND REVERSE
RHWS	ROUND HEAD WOOD SCREW
RL	ROOF LEADER
RLL	RAILING
RM	ROOM
RND	ROUND
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RS	ROUGH SAWN
RTF	RUBBER TILE FLOORING
RTU	ROOF TOP UNIT
RV	ROOF VENT
RVL	REVEAL
RVS	REVERSE
RVT	REVERSE (SIDE)
RWD	RIVET(ED)
RWL	REDWOOD RAIN WATER LEADER
S	SOUTH
S2S	SURFACED TWO SIDES
S4S	SURFACED FOUR SIDES
SA	SUPPLY AIR
SALV	SALVAGE
SAT	SUSPENDED ACOUSTICAL TILE
SB	SPLASH BLOCK
SBSTR	SUBSTRATE
SC	SOLID CORE
SCD	SEAT COVER DISPENSER
SCHE	SCHEDULE
SCP	SCUPPER
SCRN	SCREEN
SD	STORM DRAIN
SDBL	SANDBLAST
SECT	SECTION
SGL	SINGLE
SHR	SHOWER
SHT	SHEET(ING)
SHTHG	SHEATHING
SHV	SHELVES (ING)
SIM	SIMILAR
SKLT	SKYLIGHT
SLD	SEALED
SLDG	SLIDE (ING)
SLDR	SOLDER
SLNT	SEALANT
SLV	SLEEVE
SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION
SMLS	SEAMLESS
SND	SANITARY NAPKIN DISPENSER
SNDINS	SOUND INSULATION
SNDU	SANITARY NAPKIN DISPOSAL UNIT
SNT	SEALANT
SPC	SUSPENDED PLASTER CEILING
SPD	SOAP DISPENSER
SPEC	SPECIFICATION(S) (ED)
SPRT	SUPPORT
SQ	SQUARE
SSK	SERVICE SINK
SST	STAINLESS STEEL
STA	STATIC
STAG	STAGGERED
STC	SOUND TRANSMISSION CLASS
STD	STANDARD
STG	SEATING
STIF	STIFFENER
STIR	STIRRUP
STL	STEEL
STOR	STORAGE
STR	STRAIGHT
ST	STREET
STRCT	STRUCTURAL
STU	STRUCT
SUSP	SUSPENDED
SV	SHEET VINYL
SYMM	SYMMETRICAL
SYNTH	SYNTHETIC
SYS	SYSTEM
T	TREAD
T & B	TOP AND BOTTOM
TB	THRU BOLT
TBE	THREADED BOTH ENDS
TBM	TEMPORARY BENCH MARK
TD	TOWEL DISPENSER
TDR	TOWEL DISPENSER/RECEPTACLE
TEL	TELEPHONE
TEMP	TEMPORARY
TER	TERRAZZO
TFA	TO FLOOR ABOVE
TFB	TO FLOOR BELOW
T & G	TONGUE & GROOVE
THD	THREAD(ED)
THERM	THERMAL
THK	THICK(NESS)
THRES	THRESHOLD
TKBD	TACKBOARD
TMPD	TEMPERED
TOB	TOP OF BEAM
TOC	TOP OF CURB
TOF	TOP OF FOOTING
TOFF	TOP OF FINISH FLOOR
TOJ	TOP OF JOIST
TOL	TOLERANCE
TOM	TOP OF MASONRY
TOP	TOP OF PARAPET
TOPV	TOP OF PAVEMENT
TOS	TOP OF SHEATHING
TOSL	TOP OF SLAB
TOST	TOP OF STEEL
TOW	TOP OF WALL
TPD	TOILET PAPER DISPENSER
TPTN	TOILET PARTITION
TS	TUBE STEEL
TWLB	TOWEL BAR
TV	TELEVISION
TYP	TYPICAL
UC	UNDERCUT
UGND	UNDERGROUND
UL	UNDERWRITERS LABORATORY
UNFIN	UNFINISHED
UN	UNLESS OTHERWISE NOTED
UON	UNDER
UR	URINAL

MVBL	MOVABLE MEMBRANE WATER PROOFING
MWP	MEMBRANE WATER PROOFING
N	NORTH
NA	NOT APPLICABLE
NAT	NATURAL
NCOMBL	NONCOMBUSTIBLE
NE	NOT EXCEEDING
NF	NEAR FACE
NIC	NOT IN CONTRACT
NLB	NON-LOAD BEARING
NM	NONMETALLIC
NO	NUMBER
NOM	NOMINAL
NR	NOISE REDUCTION
NRC	NOISE REDUCTION COEFFICIENT
NRCA	NATIONAL ROOFING CONTRACTORS ASSOCIATION
NS	NEAR SIDE
NTS	NOT TO SCALE
O/O	OUT TO OUT
OA	OVERALL
OBS	OBSOLETE
OC	ON CENTER(S)
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED - CONTRACTOR INSTALLED
OFF	OFFICE
OFOI	OWNER FURNISHED - OWNER INSTALLED
OFS	OUTSIDE FACE OF STUD
OHMS	OHMS
OHWS	OVERHEAD WOOD SCREW
OPH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
OPQ	OPAQUE
OPR	OPERABLE
ORD	OVERFLOW ROOF DRAIN
OVFL	OVERFLOW
OVHD	OVERHEAD
PA	PUBLIC ADDRESSES
PAR	PARALLEL
PAT	PATTERN
PB	PANIC BAR
PBD	PARTICLE BOARD

**CODE SUMMARY**

APPLICABLE BUILDING CODE:  
1. CALIFORNIA BUILDING CODE - 2007 ED. (2006 IBC)

DESCRIPTION:  
2. AN INTERIOR RENOVATION TO AN EXISTING THREE-STORY, 40,000 GSF COLLEGE STUDENT SERVICES & CLASSROOM BUILDING. NEW WORK ALSO INCLUDES EXT. ELEVATOR & REPLACEMENT OF (E) EXTERIOR STAIRS.  
3. PRIMARY OCCUPANCY IS GROUP B.  
4. TYPE I-A CONSTRUCTION (602.2).  
5. NO AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT SPACE. NEW FIRE SPRINKLERS SHALL BE ADDED TO INDIVIDUAL ROOMS AS REQUIRED BY CODE.  
6. FOR CODE ANALYSIS, BUILDING 8 SHALL BE CLUSTERED WITH BUILDINGS 5 AND 6.

OCCUPANCY CLASSIFICATION:  
7. PRIMARY OCCUPANCY: GROUP B - EDUCATIONAL OCCUPANCIES FOR STUDENTS ABOVE THE 12TH GRADE (304).  
8. ASSEMBLY ROOMS WITH OCCUPANT LOAD < 50 SHALL ALSO BE OCCUPANCY GROUP B (303.1, EX. 2).  
9. SECONDARY OCCUPANCIES ARE A-2 (BLDG. 5 CAFETERIA), A-3 (BLDG. 6 MULTI-PURPOSE ROOM AND SEVERAL LARGE BLDG. 5 CLASSROOMS) AND S-1 (FOOD SERVICES STORAGE ROOMS).

HEIGHT LIMITATIONS (TABLE 503):  
10. GRADE PLANE = 662.3' (FROM SHT. A0.61)  
11. MAXIMUM ALLOWABLE HEIGHT = UNLIMITED  
12. ACTUAL HEIGHT = 32'-10"  
13. MAXIMUM ALLOWABLE STORIES = UNLIMITED  
14. ACTUAL NO. OF STORIES = 4

ALLOWABLE FLOOR AREA (CHAPTER 5, TABLE 503)  
15. MAXIMUM ALLOWABLE AREA/STORY = UNLIMITED

ACTUAL FLOOR AREA  
16. ACTUAL AREA/STORY = 21,879 SF MAX. (COMBINING BLDG. 5 SECOND FLR. AND BLDG. 8 FIRST FLR., AS THEY'RE ON THE SAME STORY).  
17. ACTUAL TOTAL AREA =  
BLDG. 5/6 GROUND FLR. = 12,288 SF  
BLDG. 5 FIRST FLR. = 12,323 SF  
BLDG. 5 SECOND = 17,654 SF  
BLDG. 8 FIRST FLR. = 4,225 SF  
BLDG. 8 SECOND FLR. = 3,540 SF  
TOTAL = 50,032 SF

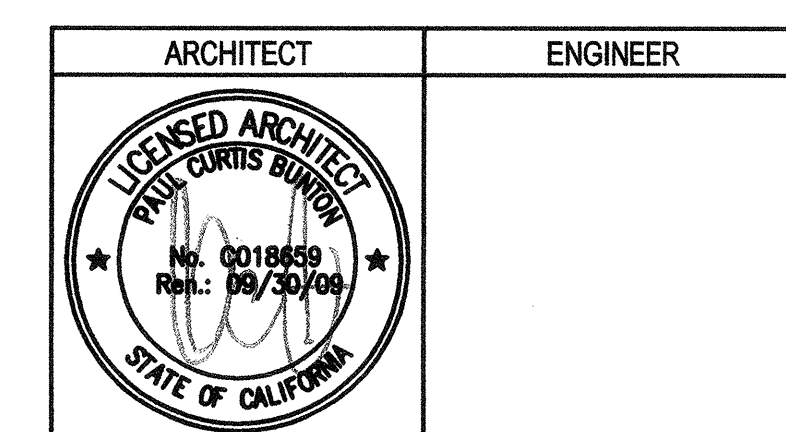
OCCUPANCY SEPARATIONS: SPACES COMPLY WITH CBC 508.3.3 SEPARATED OCCUPANCIES.  
18. SEPARATIONS ARE DETERMINED WITH TABLE 508.3.3 - NO SPRINKLER SYSTEM THROUGHOUT (NEW SPRINKLERS PROVIDED ONLY IN AREAS REQUIRED BY CODE) AT THIRD FLOOR, PER CBC 903.2.1.  
19. SEPARATION BETWEEN B & A: 2-HR.  
20. SEPARATION BETWEEN B & S-1: NONE  
21. SEPARATION BETWEEN A & S-1: 2-HR.  
22. SEPARATION BETWEEN A & A: NONE

FIRE RESISTIVE CONSTRUCTION (CH. 5 & 6)  
23. MECH. ROOM W/ ANY ONE PIECE OF FURNACE EQUIPMENT > 400GJTU SHALL BE EITHER 1 HR. CONSTRUCTION OR HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM (TABLE 508.2)  
24. STORAGE ROOMS > 100 SF SHALL BE EITHER 1 HR. CONSTRUCTION OR HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM (TABLE 508.2)  
25. WASTE COLLECTION ROOM > 100 SF SHALL BE EITHER 1 HR. CONSTRUCTION OR HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM (TABLE 508.2)

EXITING REQUIREMENTS  
26. SEE SHEETS A0.61 THROUGH A0.63 FOR EXITING PLANS AND ANALYSIS.

AUTOMATIC SPRINKLER SYSTEMS  
27. APPROVED AUTOMATIC SPRINKLER SYSTEMS IN NEW BUILDINGS AND STRUCTURES SHALL BE PROVIDED IN THE LOCATIONS DESCRIBED IN CBC SEC. 903.2.  
28. SINCE BLDGS. 5, 6 AND 8 ARE EXISTING, WITH INTERIOR RENOVATION ONLY, AND THE STRUCTURE IS AN EXISTING TYPE I-A CONSTRUCTION, SECTION 903.2 DOES NOT APPLY.

FOOTNOTES



- GENERAL NOTES
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REVISION HISTORY	REMARKS	DATE

TRAINING STATUS	DATE
● DSA PLAN CHECK	08/29/08
● DSA BACK CHECK	01/22/09
○ BIDDING	
○ CONSTRUCTION	

FILE NO. 41-C1  
IDENTIFICATION STAMP  
DIV. OF THE STATE ARCHITECT  
01- 110074  
AR. FL. 225  
DATE MAR 19 2009

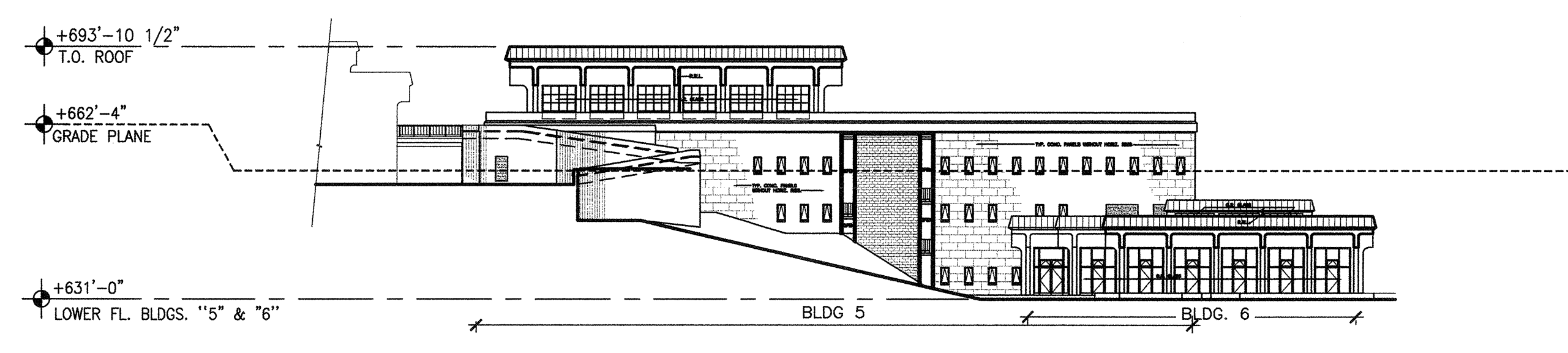
**BUILDINGS 5 & 6 RENOVATIONS**  
San Mateo County Community College District

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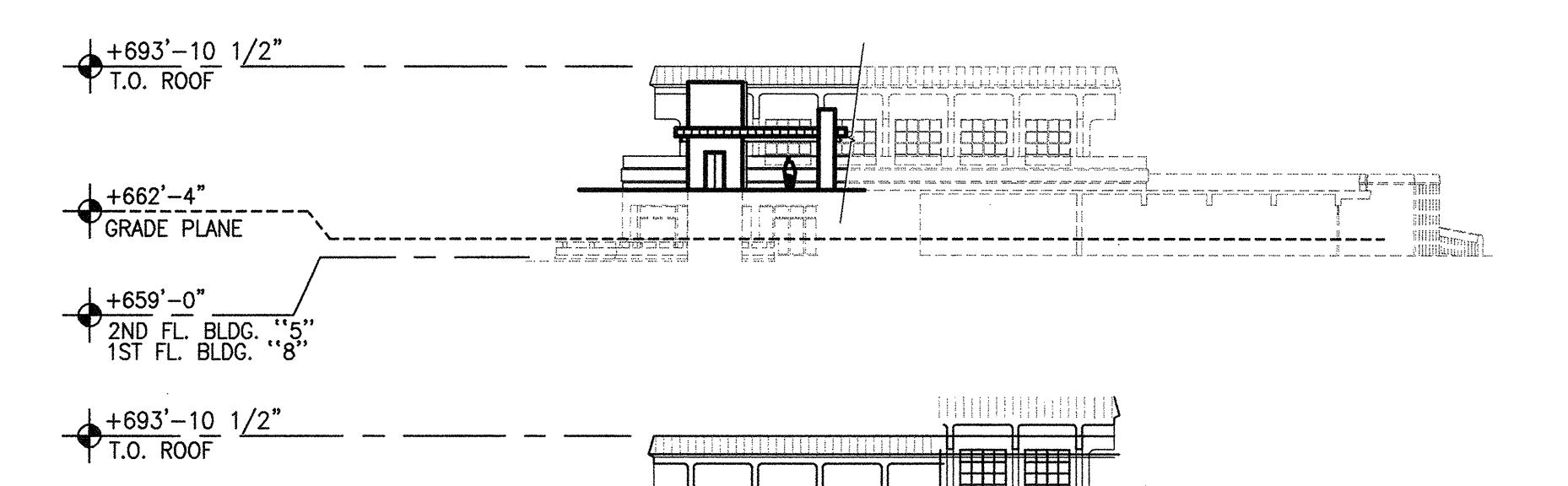
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CODE REVIEW - BUILDING HEIGHT CALCULATIONS

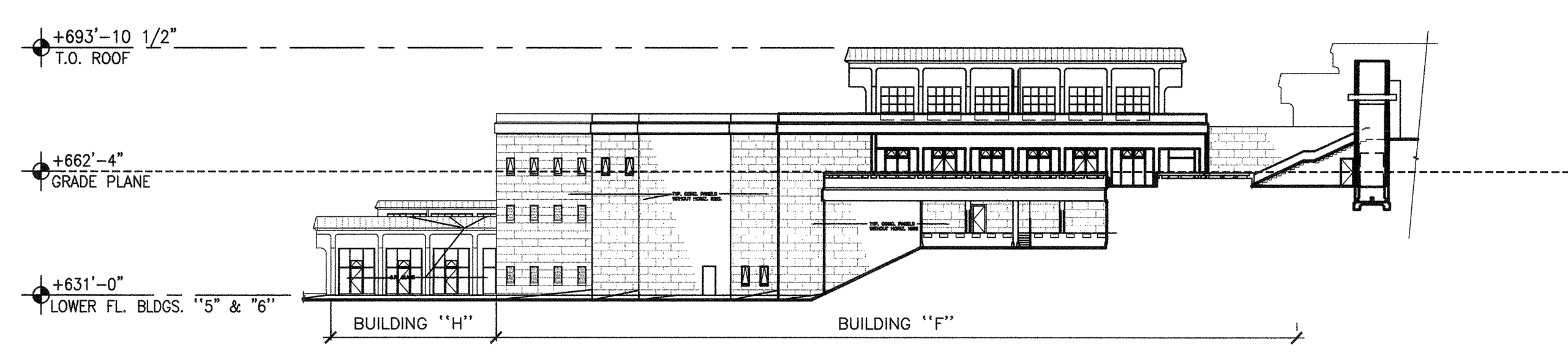
Date	08/29/08	Drawing Number	
Scale	AS NOTED		<b>A0.5</b>
Project Number	07013		



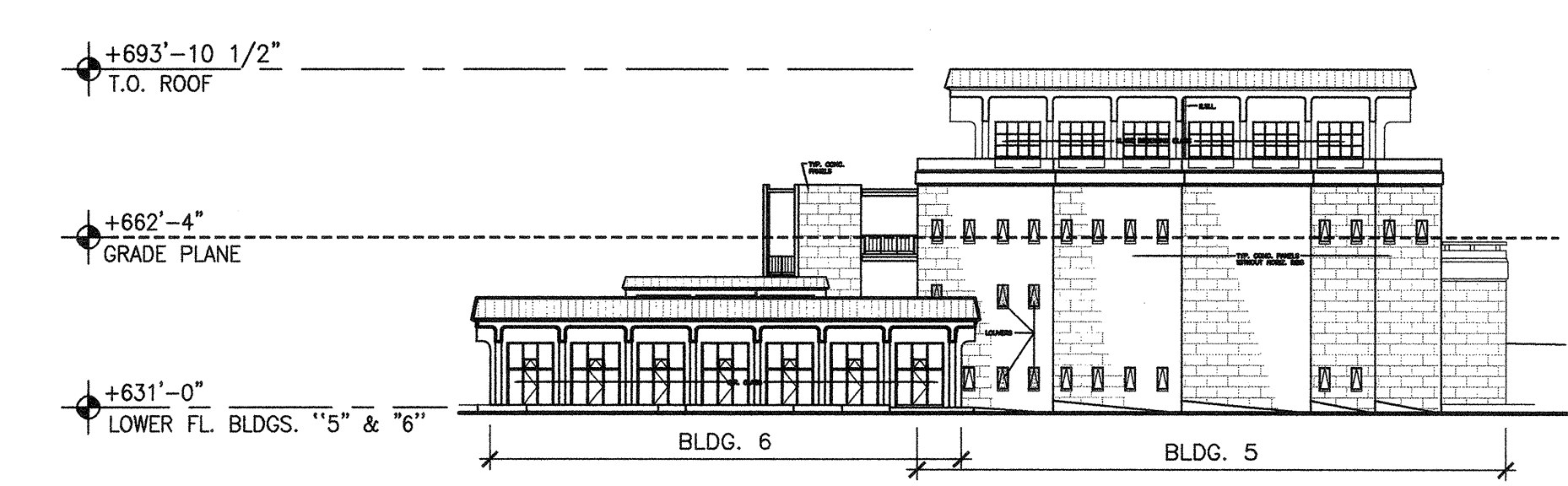
**NORTH ELEVATION**



**EAST ELEVATION**



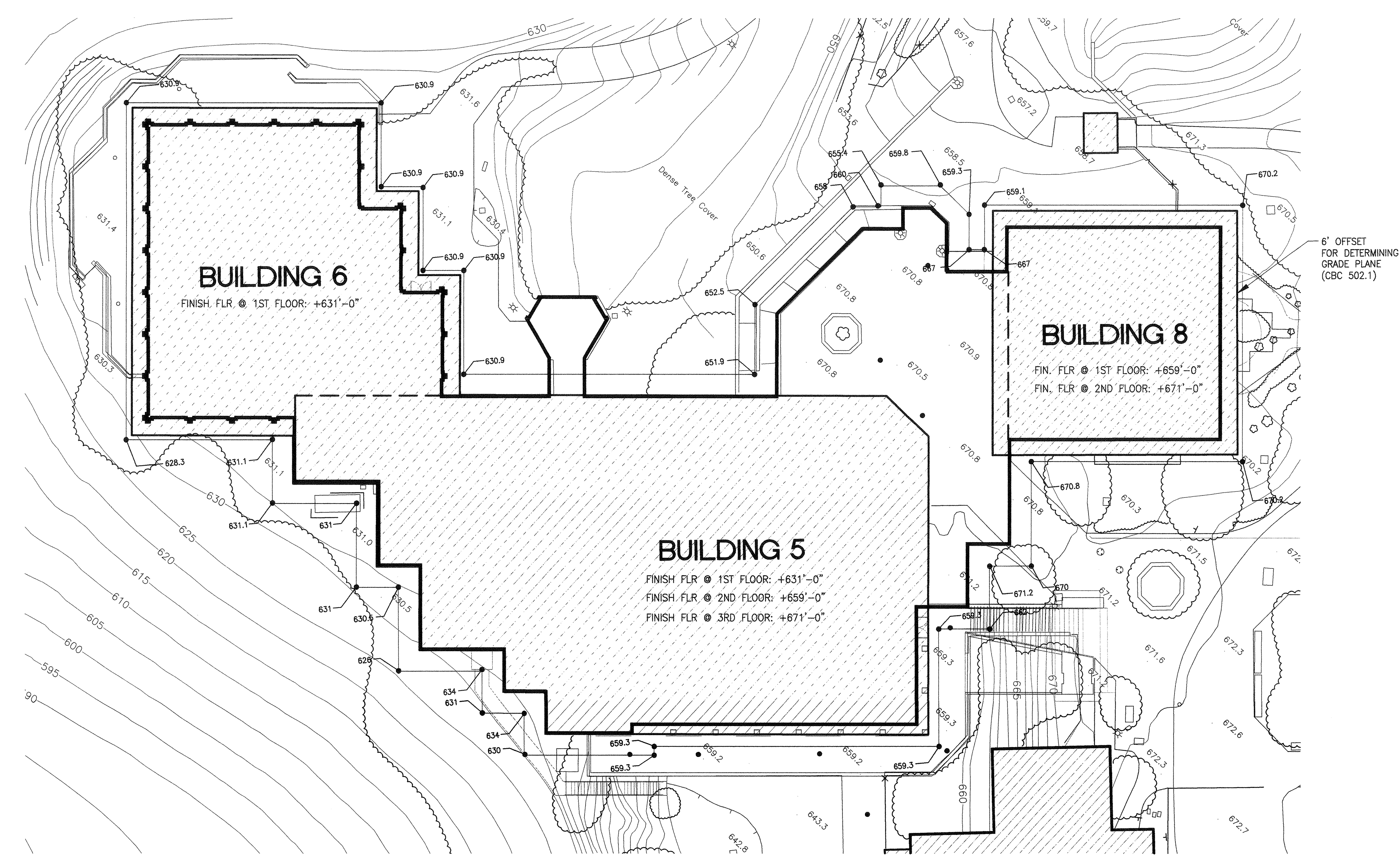
**SOUTH ELEVATION**



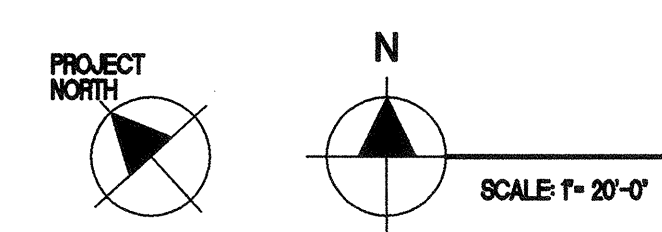
**WEST ELEVATION**

**GRADE PLANE EXTERIOR ELEVATIONS**

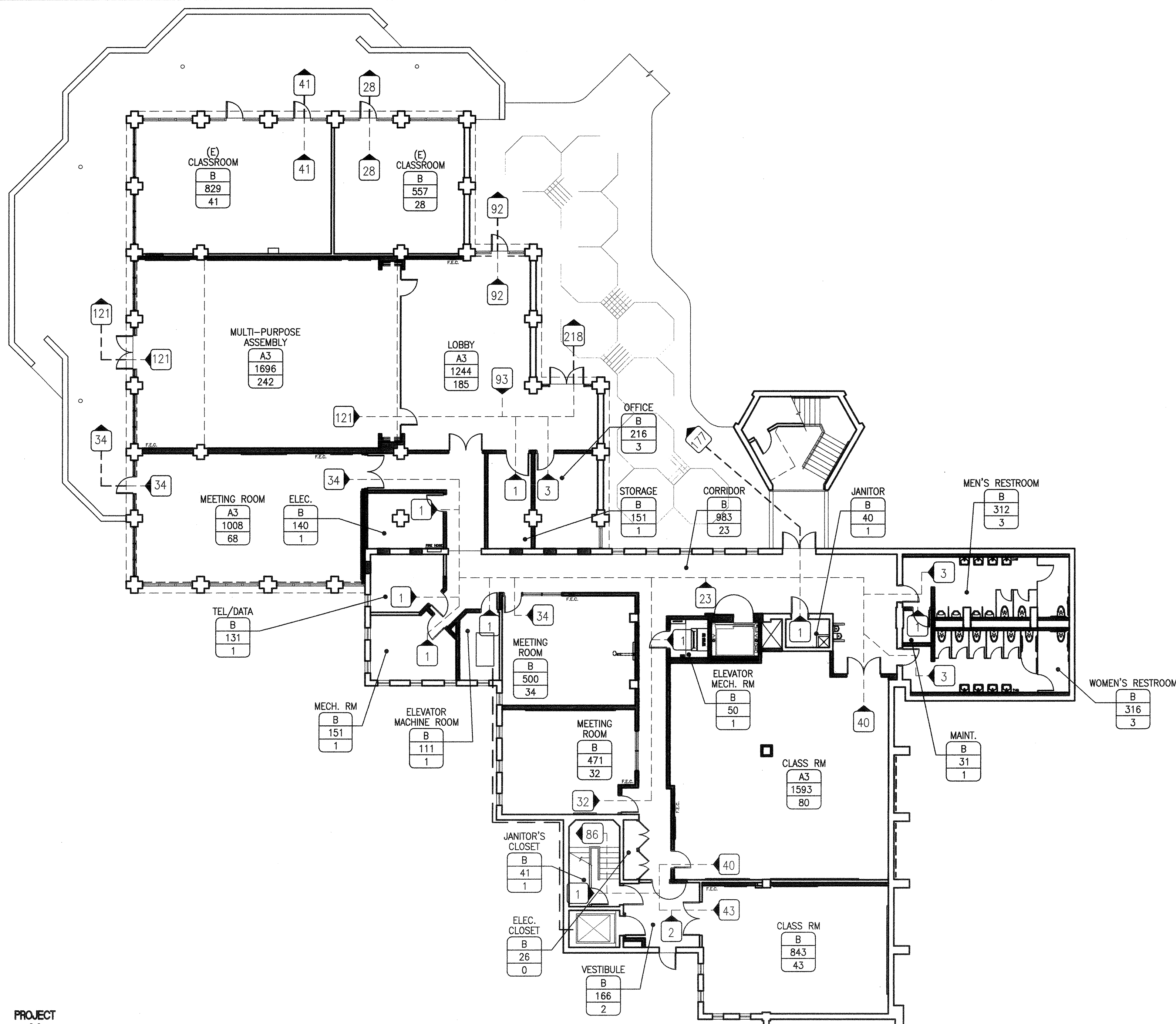
SCALE 1"=30'-0"



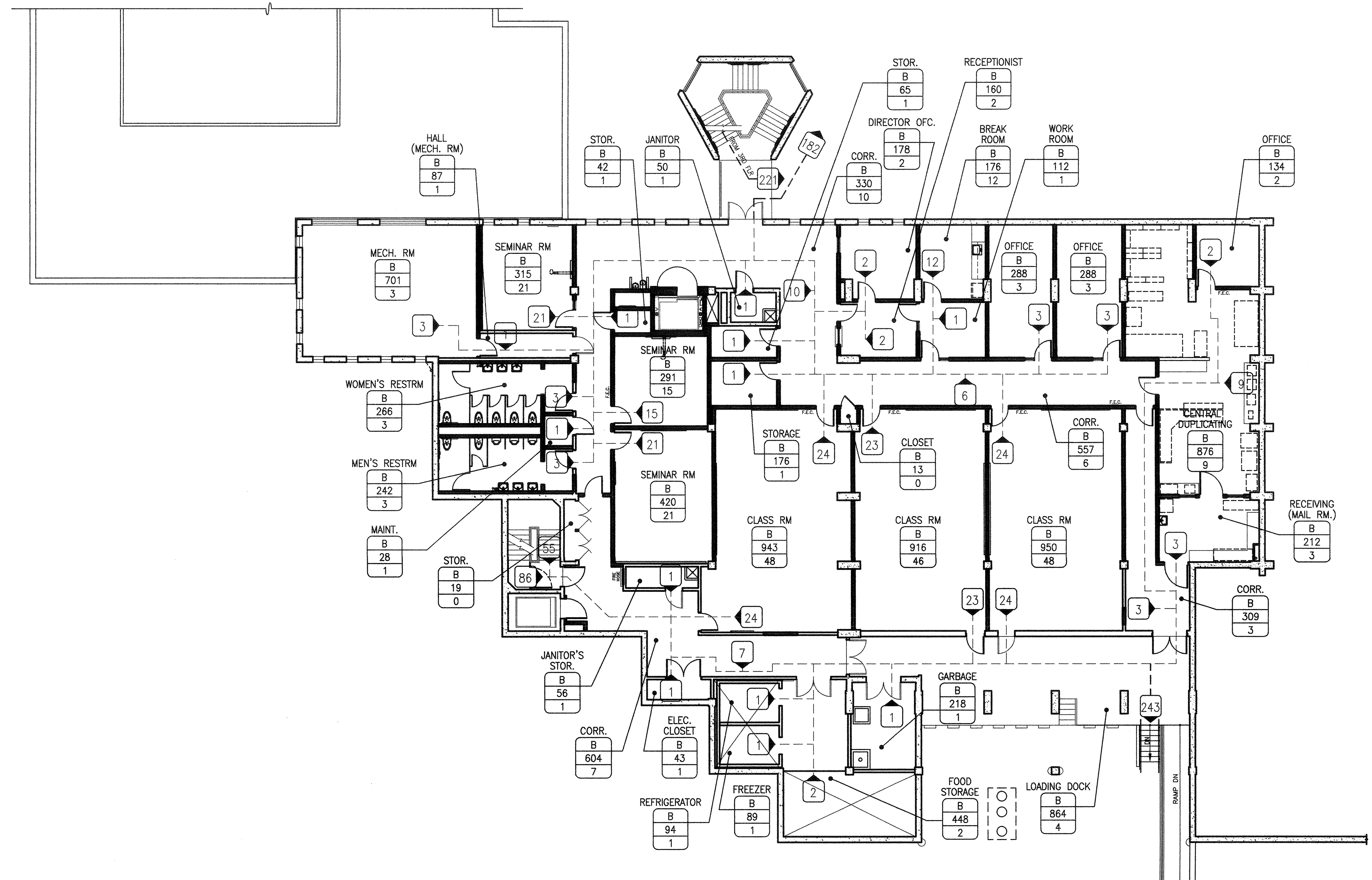
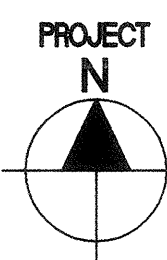
**GRADE PLANE SITE PLAN**



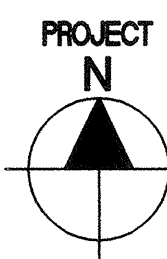
2



**FIRST FLOOR EXITING PLAN**  
N.T.S. 1



**SECOND FLOOR EXITING PLAN**  
N.T.S. 2

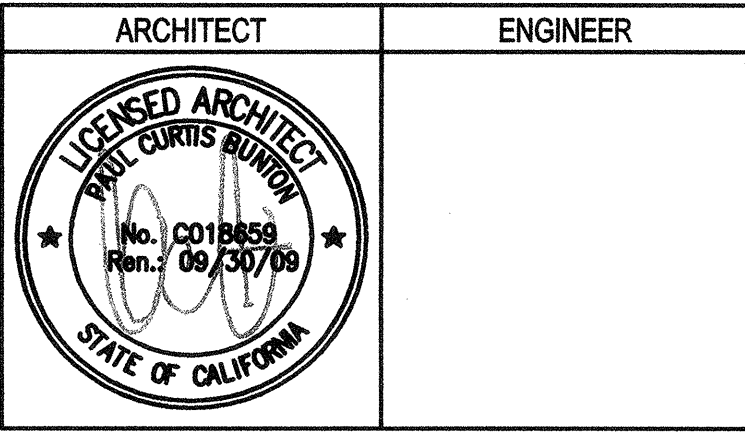


**GENERAL NOTES**

- OCCUPANT LOAD FACTORS ARE ACCORDING TO CBC SECTION 1004, TABLE NO. 1004.1.1.
- SHAFT AREA EXCLUDED FROM GROSS FLOOR AREA (CBC 1002).
- WHERE OCCUPANT LOAD SIGN IS REQUIRED THE ROOM SHALL BE POSTED WITH A SIGN NEAR THE MAIN EXIT FROM THE ROOM. REFER TO SIGNAGE SCHEDULE FOR DETAIL (CBC 1004.3).
- COMMON PATH OF EGRESS TRAVEL IS 75' MAX. (CBC 1014.3).
- MAX ENTRANCE TRAVEL DISTANCE FROM ANY POINT IN AN OCCUPIED SPACE IS 200' (CBC TABLE 1016.1 FOR NON-SPRINKLERED BUILDINGS).



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REVISION HISTORY	REMARKS	DATE

**EXIT PLAN LEGEND**

- AREA IDENTITY/CODE ANALYSIS**
- LOBBY = ROOM NAME  
B = OCCUPANCY GROUP  
900 = FLOOR AREA - SQUARE FEET  
45 = OCCUPANT LOAD (CBC TABLE 10-A)  
• = OCCUPANT LOAD SIGN REQUIRED WHEN NOTED - SEC 1004.3 - REF SIGNAGE SCHEDULE
- AREA OF 1 HR FIRE RESISTIVE CORRIDOR CONSTRUCTION - SEC 1005
- PATH OF EGRESS - 1 = CUMULATIVE OCCUPANT LOAD
- EXIT SIGN - REF ELEC  
PANIC HARDWARE DEVICE - REF DOOR SCHED AND HARDWARE GROUP

**OCCUPANT LOAD SCHEDULE**

SPACE USE	OCCUPANT LOAD FACTOR SF / OCCUPANT
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 GROSS
ASSEMBLY WITHOUT FIXED SEATS UNCONCENTRATED (TABLES & CHAIRS) CONCENTRATED (CHAIRS NOT FIXED)	15 NET 7 NET
BUSINESS AREAS	100 GROSS
EDUCATIONAL CLASSROOM AREA	20 NET
KITCHENS, COMMERCIAL	200 GROSS
MERCANTILE (SERVARY)	30 GROSS

**BUILDINGS 5 & 6 RENOVATIONS**  
San Mateo County Community College District

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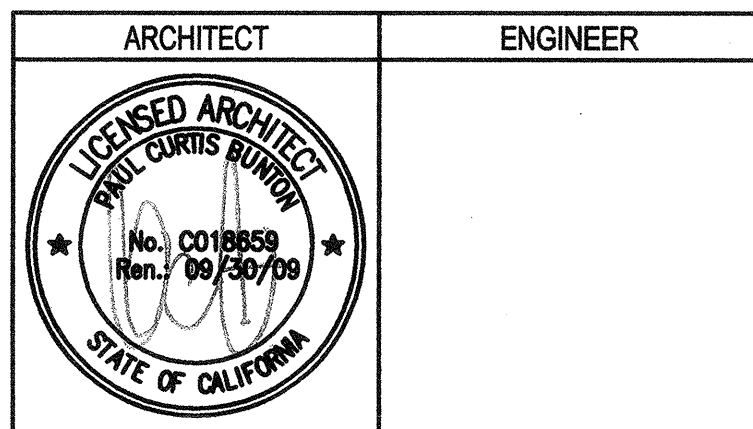
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FIRST & SECOND FLOOR EXITING PLANS

Date: 08/29/08  
Scale: AS NOTED  
Project Number: 07013  
Drawing Number: **A0.61**

### GENERAL NOTES

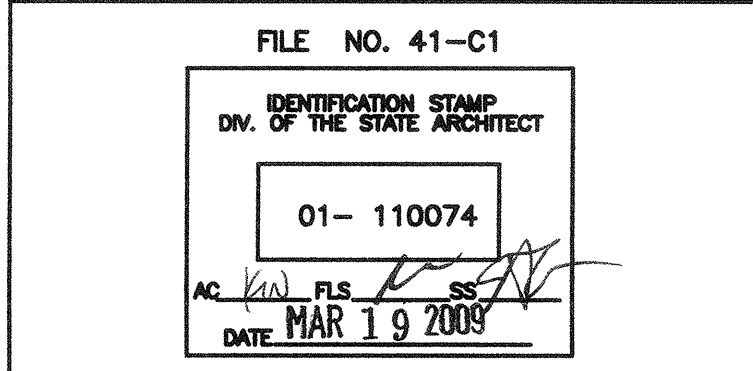
- OCCUPANT LOAD FACTORS ARE ACCORDING TO CBC SECTION 1004, TABLE NO. 1004.1.1.
- SHAFT AREA EXCLUDED FROM GROSS FLOOR AREA (CBC 1002).
- WHERE OCCUPANT LOAD SIGN IS REQUIRED THE ROOM SHALL BE POSTED WITH A SIGN NEAR THE MAIN EXIT FROM THE ROOM. REFER TO SIGNAGE SCHEDULE FOR DETAIL (CBC 1004.3).
- COMMON PATH OF EGRESS TRAVEL IS 75' MAX. (CBC 1014.3).
- MAX ENTRANCE TRAVEL DISTANCE FROM ANY POINT IN AN OCCUPIED SPACE IS 200' (CBC TABLE 1016.1 FOR NON-SPRINKLERED BUILDINGS).



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REVISION HISTORY	REMARKS	DATE

DRAWING STATUS	DATE
● DSA PLAN CHECK	08/29/08
● DSA BACK CHECK	01/22/09
○ REDLINE	
○ CONSTRUCTION	



## BUILDINGS 5 & 6 RENOVATIONS

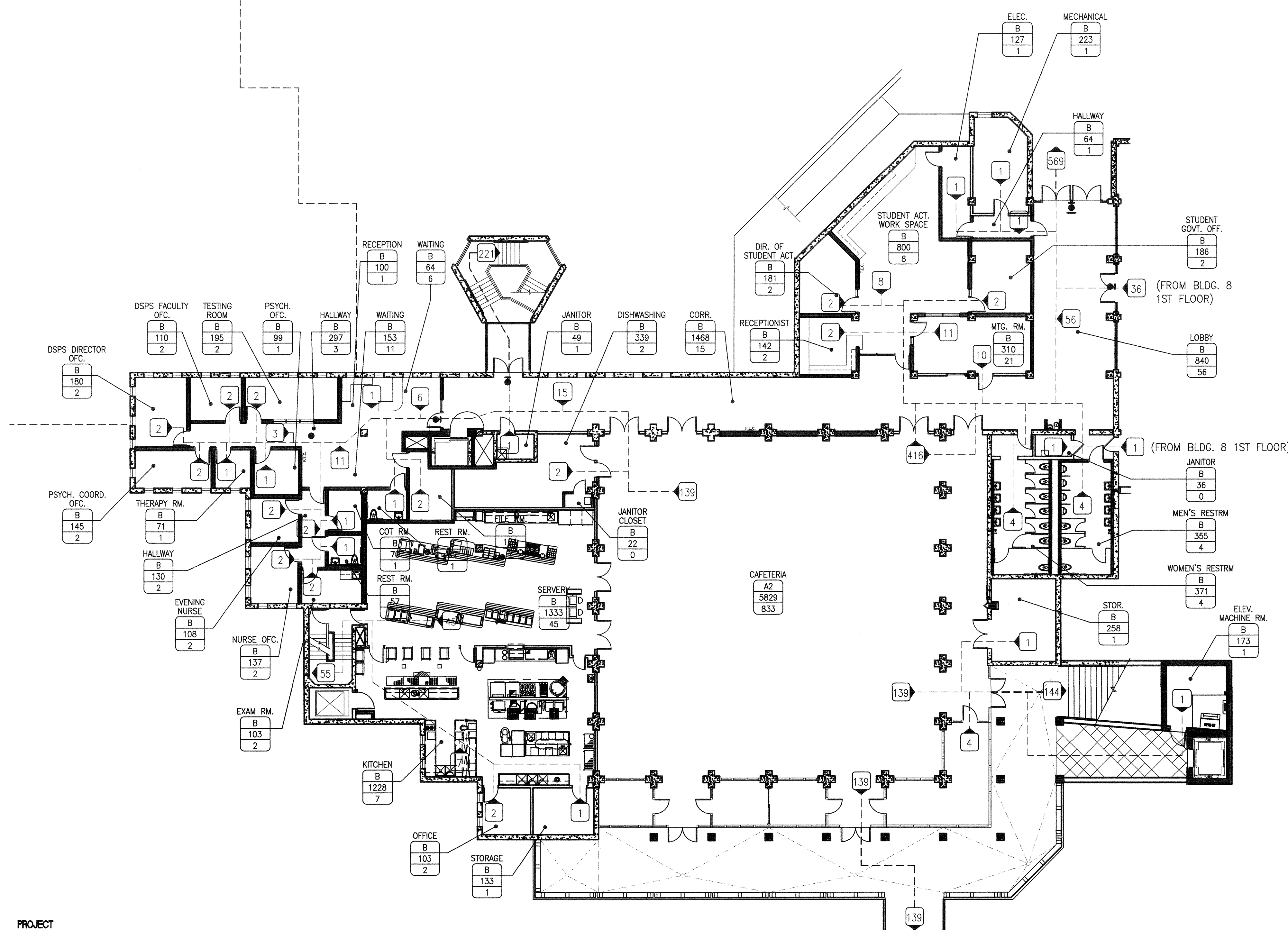
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### THIRD FLOOR EXITING PLANS

Date	08/29/08	Drawing Number	A0.62
Scale	AS NOTED		
Project Number	07013		



THIRD FLOOR EXITING PLAN  
N.T.S. 1

### EXIT PLAN LEGEND

**AREA IDENTITY/CODE ANALYSIS**  
 LOBBY = ROOM NAME  
 B = OCCUPANCY GROUP  
 900 = FLOOR AREA - SQUARE FEET  
 45 = OCCUPANT LOAD (CBC TABLE 10-A)  
 • = OCCUPANT LOAD SIGN REQUIRED WHEN NOTED - SEC 1004.3 - REF SIGNAGE SCHEDULE

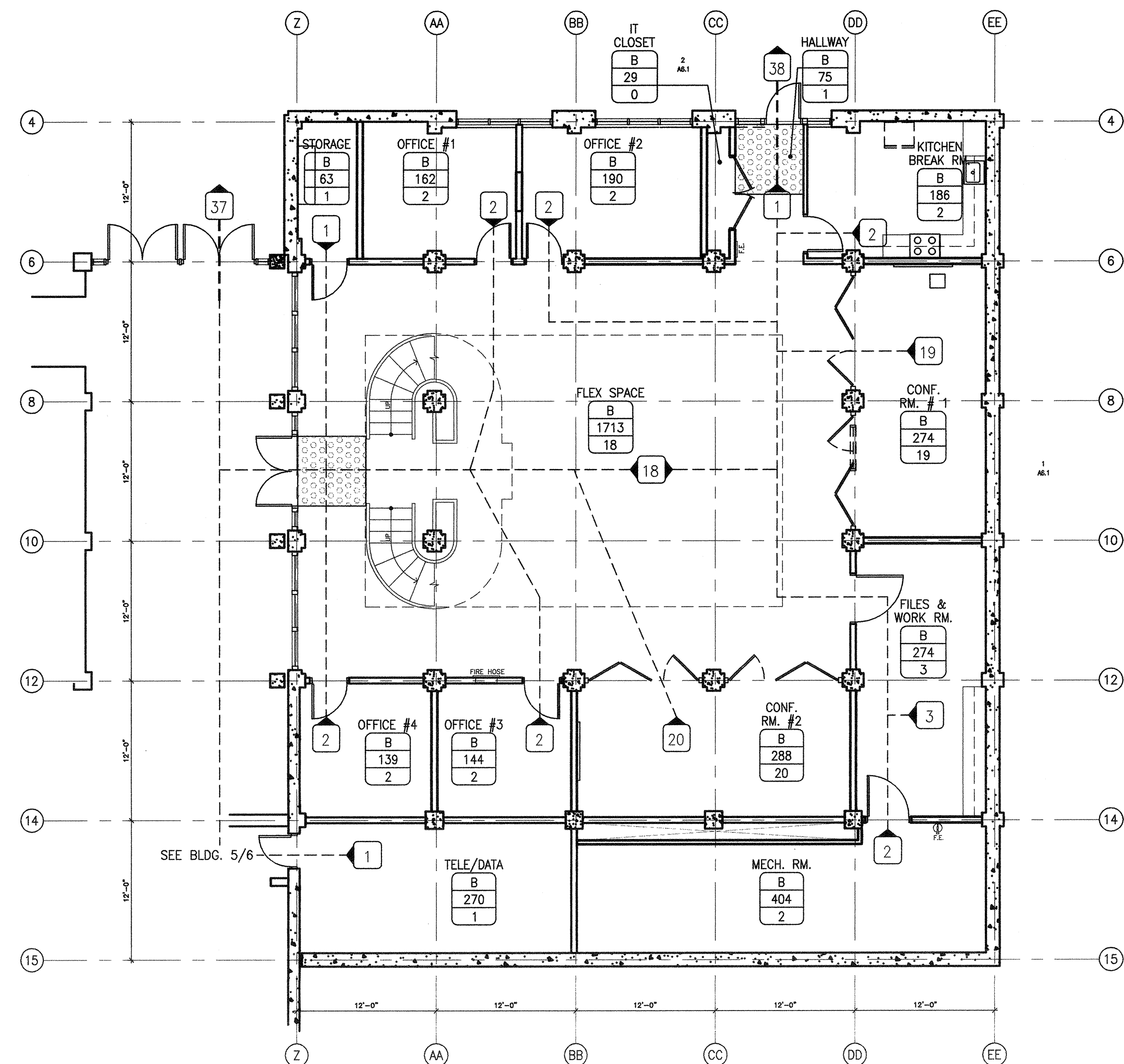
AREA OF 1 HR FIRE RESISTIVE CORRIDOR CONSTRUCTION - SEC 1005

PATH OF EGRESS - 1 = CUMULATIVE OCCUPANT LOAD

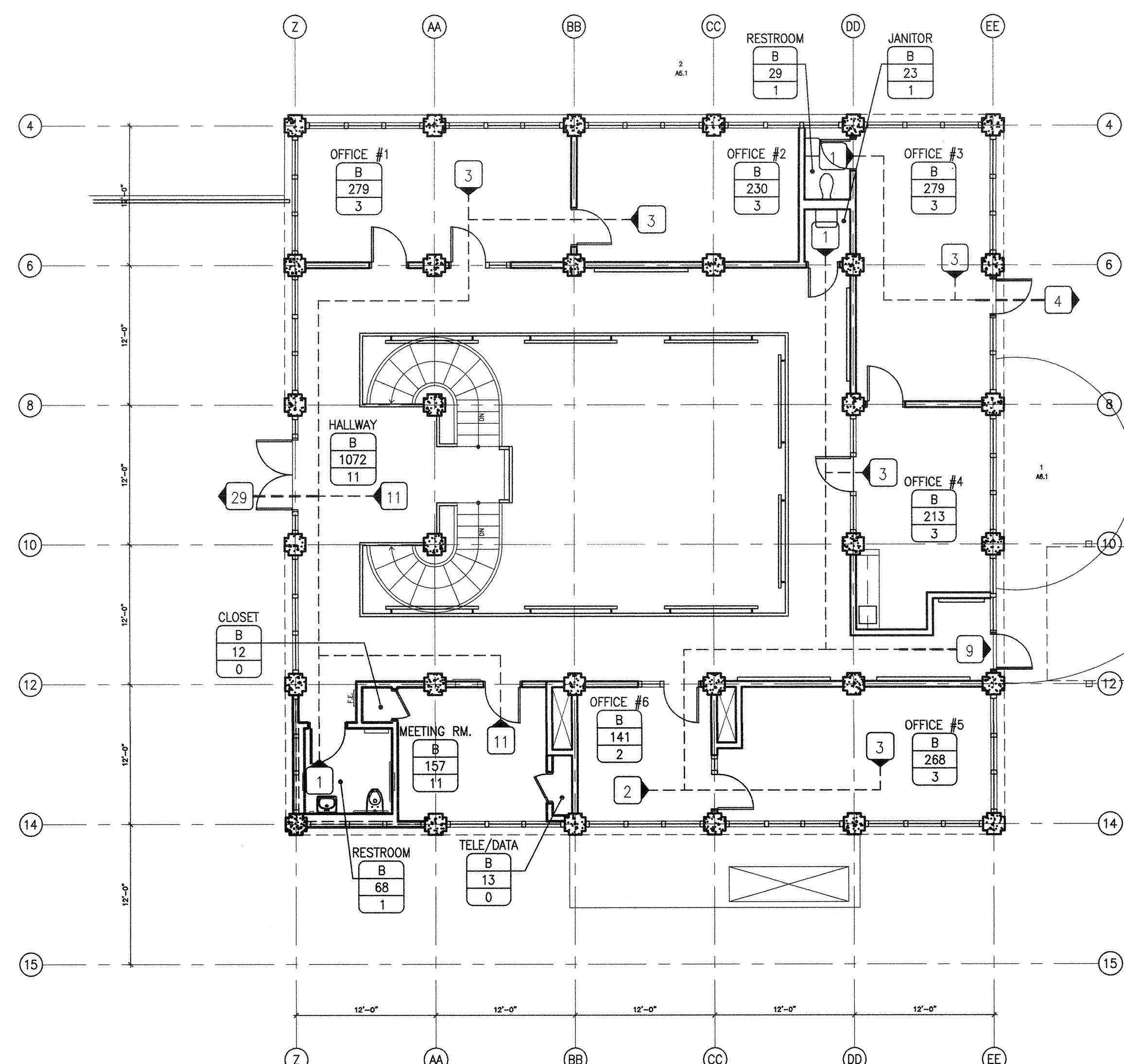
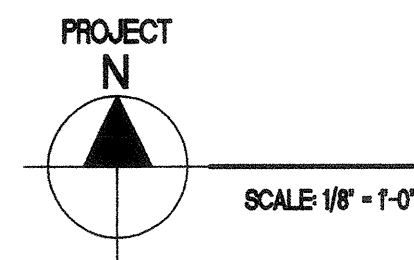
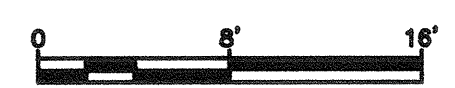
EXIT SIGN - REF ELEC  
 PANIC HARDWARE DEVICE - REF DOOR SCHED AND HARDWARE GROUP

### OCCUPANT LOAD SCHEDULE

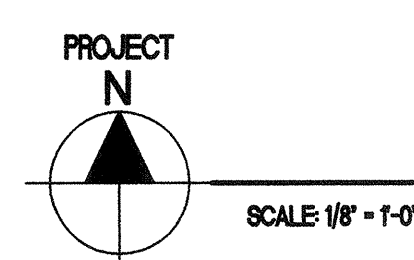
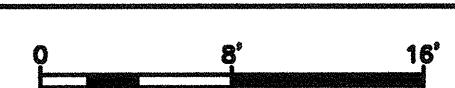
SPACE USE	OCCUPANT LOAD FACTOR SF / OCCUPANT
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 GROSS
ASSEMBLY WITHOUT FIXED SEATS UNCONCENTRATED (TABLES & CHAIRS) CONCENTRATED (CHAIRS NOT FIXED)	15 NET 7 NET
BUSINESS AREAS	100 GROSS
EDUCATIONAL CLASSROOM AREA	20 NET
KITCHENS, COMMERCIAL	200 GROSS
MERCANTILE (SERVERY)	30 GROSS



FIRST FLOOR EXITING PLAN



SECOND FLOOR EXITING PLAN



NOTE:  
BUILDING 8 IS SHOWN FOR  
REFERENCE ONLY AND,  
UNLESS NOTED OTHERWISE,  
IS NOT IN THE PROJECT  
SCOPE OF WORK.

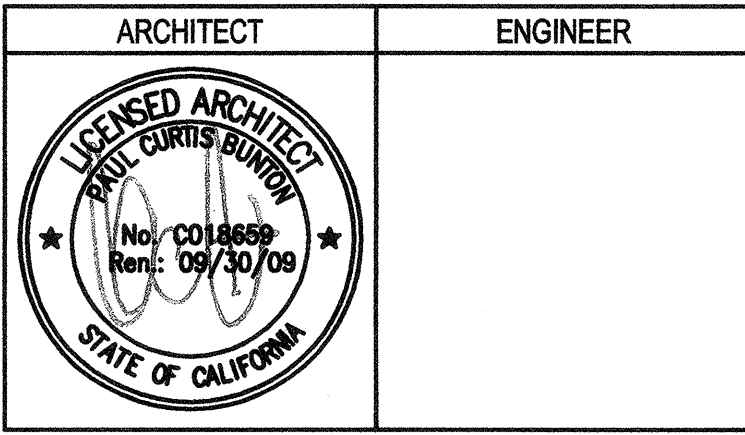
GENERAL NOTES

- OCCUPANT LOAD FACTORS ARE ACCORDING TO CBC SECTION 1004, TABLE NO. 1004.1.1.
- SHAFT AREA EXCLUDED FROM GROSS FLOOR AREA (CBC 1002).
- WHERE OCCUPANT LOAD SIGN IS REQUIRED THE ROOM SHALL BE POSTED WITH A SIGN NEAR THE MAIN EXIT FROM THE ROOM. REFER TO SIGNAGE SCHEDULE FOR DETAIL (CBC 1004.3).
- COMMON PATH OF EGRESS TRAVEL IS 75' MAX. (CBC 1014.3).
- MAX ENTRANCE TRAVEL DISTANCE FROM ANY POINT IN AN OCCUPIED SPACE IS 200' (CBC TABLE 1016.1 FOR NON-SPRINKLERED BUILDINGS).



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REMARKS	DATE

EXIT PLAN LEGEND

- AREA IDENTITY/CODE ANALYSIS
- LOBBY = ROOM NAME
  - B = OCCUPANCY GROUP
  - 900 = FLOOR AREA - SQUARE FEET
  - 45 = OCCUPANT LOAD (CBC TABLE 10-A)
  - = OCCUPANT LOAD SIGN REQUIRED WHEN NOTED - SEC 1004.3 - REF SIGNAGE SCHEDULE
- AREA OF 1 HR FIRE RESISTIVE CORRIDOR CONSTRUCTION - SEC 1005
- 1 = PATH OF EGRESS - 1 = CUMULATIVE OCCUPANT LOAD
- EXIT SIGN - REF ELEC
- PANIC HARDWARE DEVICE - REF DOOR SCHED AND HARDWARE GROUP

OCCUPANT LOAD SCHEDULE

SPACE USE	OCCUPANT LOAD FACTOR SF / OCCUPANT
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 GROSS
ASSEMBLY WITHOUT FIXED SEATS UNCONCENTRATED (TABLES & CHAIRS) CONCENTRATED (CHAIRS NOT FIXED)	15 NET 7 NET
BUSINESS AREAS	100 GROSS
EDUCATIONAL CLASSROOM AREA	20 NET
KITCHENS, COMMERCIAL	200 GROSS
MERCANTILE (SERVERY)	30 GROSS

FILE NO. 41-C1

OPERATION STAMP THE STATE ARCHITECT

01- 110074

DATE MAR 19 2008

DRAWING STATUS

- DSA PLAN CHECK
- DSA BACK CHECK
- BIDDING
- CONSTRUCTION

DATE 08/29/08

DATE 01/22/08

**BUILDINGS 5 & 6 RENOVATIONS**

San Mateo County Community College District

DSA SUBMITTAL

**CAÑADA COLLEGE**

4200 Farm Hill Boulevard  
Redwood City, CA 94061

BUILDING 8  
EXITING PLANS

Date 08/29/08  
Scale AS NOTED  
Project Number 07013

Drawing Number **A0.63**

CAMPUS BUILDING PLAN

DSA APPLICATION NUMBERS

- BUILDING 1: 27796
- BUILDING 2: 41554, 01-105352
- BUILDING 3: 27796, 01-105352,  
01-105227, 01-106992
- BUILDING 5: 27796
- BUILDING 6: 27796
- BUILDING 7: 01-108959
- BUILDING 8: 27796, 51829, 01-109554,  
01-106937
- BUILDING 9: 01-106448
- BUILDING 13: 27796
- BUILDING 16: 27796, 01-107611
- BUILDING 17: 27796, 01-105352
- BUILDING 18: 27796, 01-107611
- BUILDING 19: 01-103409
- BUILDING 20: 01-103409
- BUILDING 21: 01-103409
- BUILDING 22: 01-103529

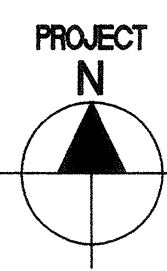
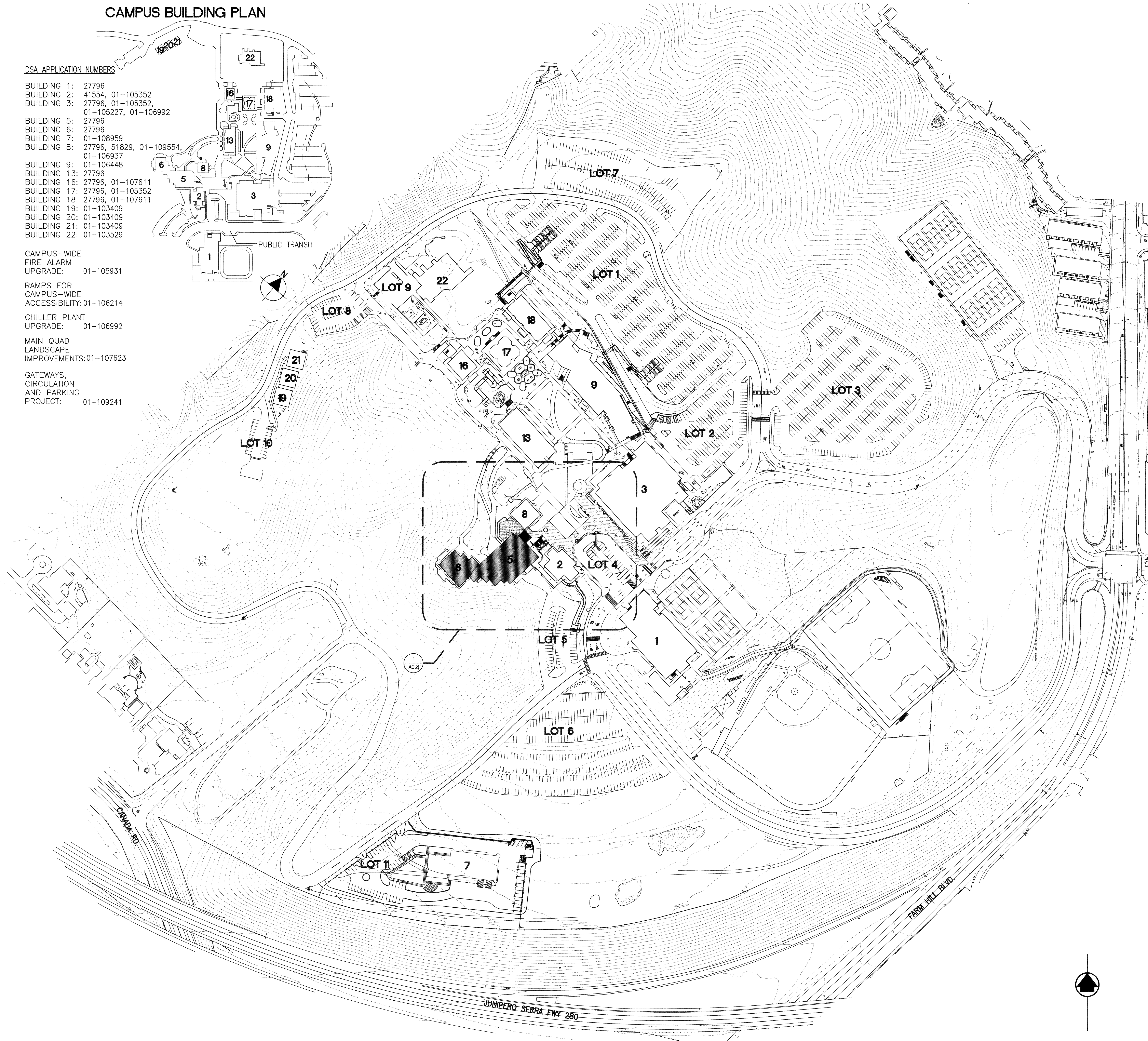
CAMPUS-WIDE  
FIRE ALARM  
UPGRADE: 01-105931

RAMPS FOR  
CAMPUS-WIDE  
ACCESSIBILITY: 01-106214

CHILLER PLANT  
UPGRADE: 01-106992

MAIN QUAD  
LANDSCAPE  
IMPROVEMENTS: 01-107623

GATEWAYS,  
CIRCULATION  
AND PARKING  
PROJECT: 01-109241



SCALE: NOT TO SCALE

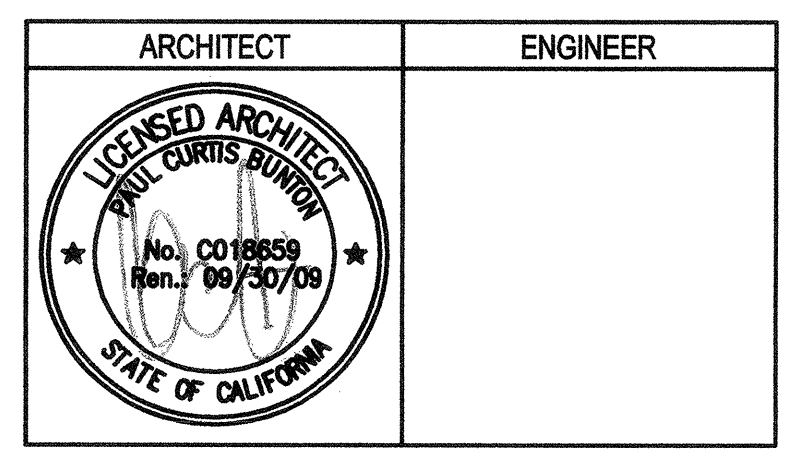
OVERALL CAMPUS PLAN



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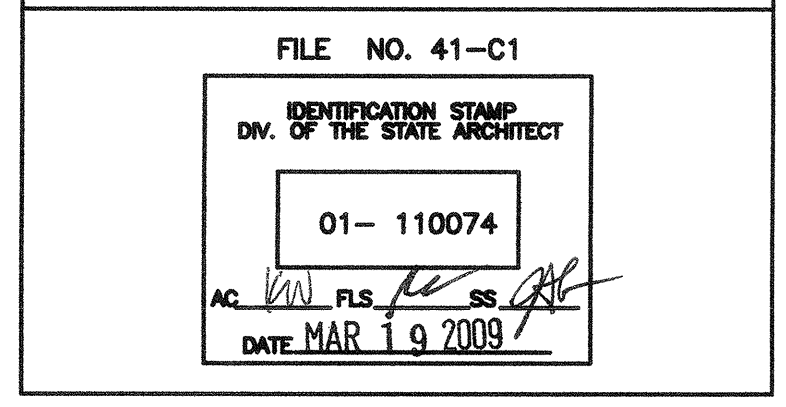
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REMARKS	DATE

DATE
08/29/08
11/22/09

DRAWING STATUS

- DSA BY ARCH CHECK
- DSA BACK CHECK
- BIDDING
- CONSTRUCTION



**BUILDINGS 5 & 6  
RENOVATIONS**

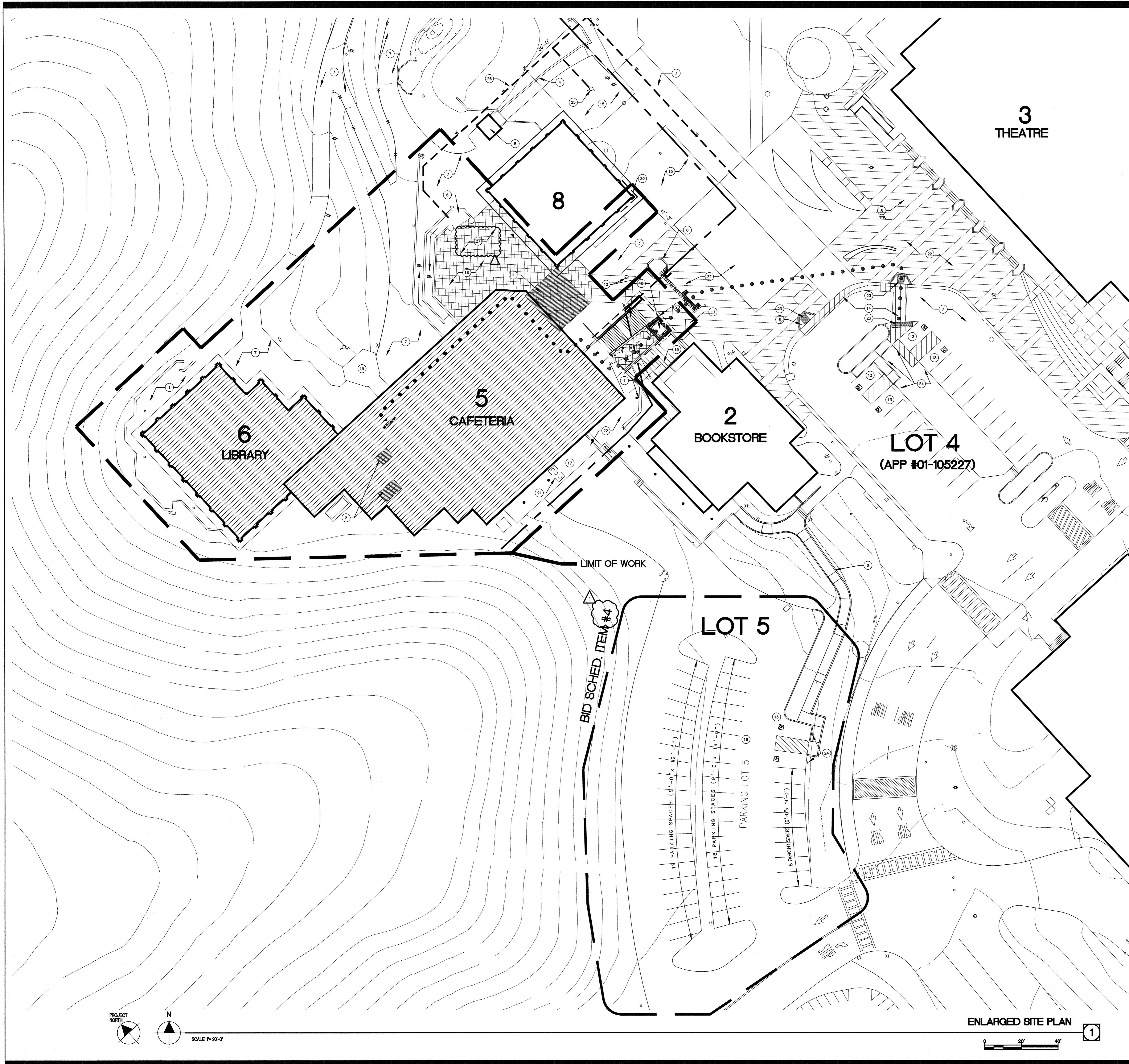
San Mateo County Community  
College District

DSA SUBMITTAL

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OVERALL CAMPUS PLAN

Date	08/29/08	Drawing Number	
Scale	AS NOTED		<b>A0.7</b>
Project Number	07013		



**SHEET NOTES**

- 1 ACCESSIBLE RESTROOMS BELOW, SEE SHT. A2.3
- 2 ACCESSIBLE RESTROOM, SEE SHT. A2.4
- 3 (E) CATCH BASIN
- 4 (E) CONCRETE WALL
- 5 (E) EXTERIOR ELEVATOR (DSA #51829)
- 6 (E) ACCESSIBLE RAMP (DSA #01-105227)
- 7 (E) A/C PAVING
- 8 (E) RAISED PLANTER
- 9 (E) CONCRETE BENCHES
- 10 CONCRETE STAIRS & ELVATOR, SEE 2/A7.1
- 11 (E) PHONE BOOTH
- 12 (E) MANHOLE COVER
- 13 (E) ACCESSIBLE PARKING WITH SIGNAGE (DSA #01-105227)
- 14 (E) ACCESSIBLE STRIPED PATH OF TRAVEL
- 15 (E) PLANTING AREA
- 16 (E) A/C PARKING LOT SHALL BE RETURNED TO PRE-CONSTRUCTION CONDITION. PARKING STRIPING, DIRECTIONAL ARROWS, PARKING CURBS AND SIGNAGE SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION OR REPLACED WITH NEW.
- 17 (E) CONCRETE BALCONY, SEE SHT. A2.3
- 18 (E) CONCRETE DECK
- 19 (E) CONCRETE STAIRS
- 20 LIMIT OF PVC WATERPROOFING MEMBRANE WORK
- 21 UNDERGROUND GREASE INTERCEPTOR, AT LOADING DOCK
- 22 (E) CONCRETE PAVING
- 23 TRUNCATED DOMES, PER 24/A10.2.1
- 24 SIGNAGE AT ACCESSIBLE PARKING SPACES SHALL INCLUDE MINIMUM FINE \$250\* BELOW INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- 25 (E) FIRE HYDRANT #16 PER STATOAMM REPORT
- 26 (E) 12" DIA. WATER LINE
- 27 RELOCATE (E) UMBRELLA TABLES TO THIS LOCATION, AND PLACE PER OWNER'S DIRECTION (SEE SHEET NOTE 17/A1.3)

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**GENERAL NOTES**

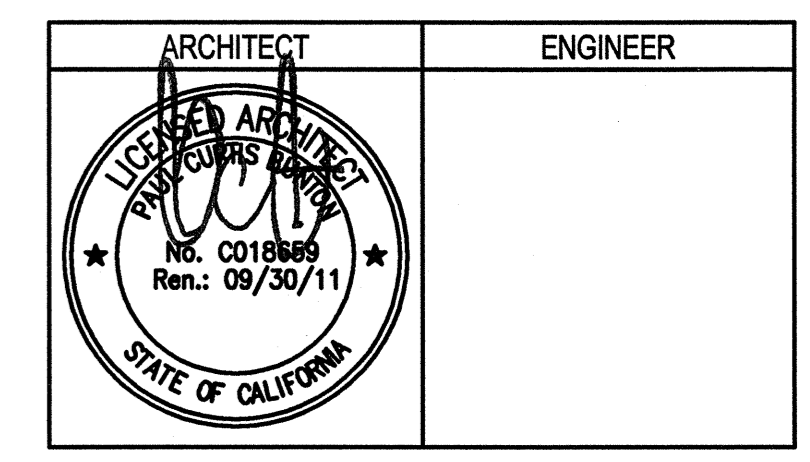
- A. SEE CAMPUS BUILDING PLAN ON SHEET A0.7 FOR DSA APPLICATION NUMBERS FOR CAMPUS STRUCTURES.  
 B. SEE SHEET A0.7 FOR OVERALL CAMPUS PLAN.  
 C. SEE SHEETS A2.1 THROUGH A2.4 FOR FLOOR PLANS.

**LEGEND**

- (E) RESTROOMS
- CONCRETE PAVING/SIDEWALK
- 20'-0" FIRE LANE
- AREA OF WORK
- ASSUMED PROPERTY LINE
- ACCESSIBLE ENTRY TO BUILDING
- ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1" BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGE NOT EXCEEDING 1" MAX. AND AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LEVEL THAN 5% UNLESS OTHERWISE INDICATED.
- CONTRACTOR TO VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT, AND PATH OF TRAVEL COMPLIES WITH CBC 11338.
- (E) & (N) FIRE HYDRANT
- 250'-0" RADIUS CIRCLE AT FIRE HYDRANT



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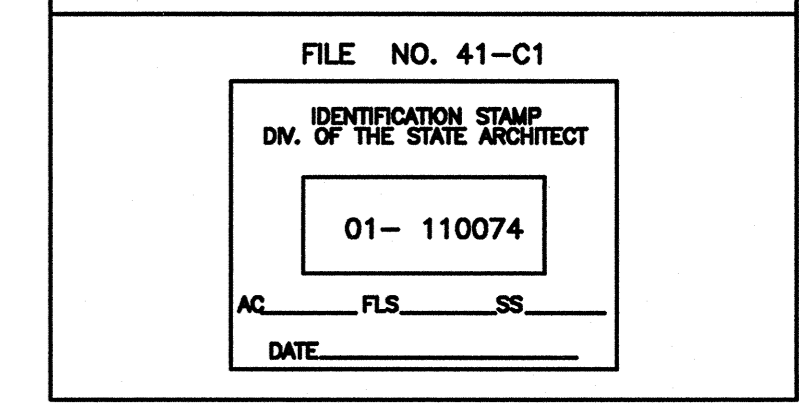


REVISIONS

NO.	DESCRIPTION	DATE
1	ADDENDUM NO. 1	08/18/09

REVISIONS	DATE

DRAWING STATUS	DATE
● DSA PLAN CHECK	08/29/08
● DSA BACK CHECK	01/22/09
● BIDDING	08/18/09
○ CONSTRUCTION	



**BUILDINGS 5 & 6 RENOVATIONS**

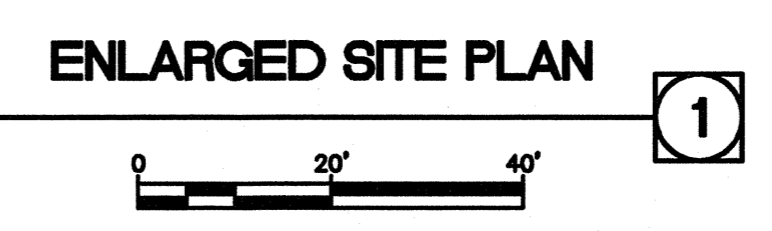
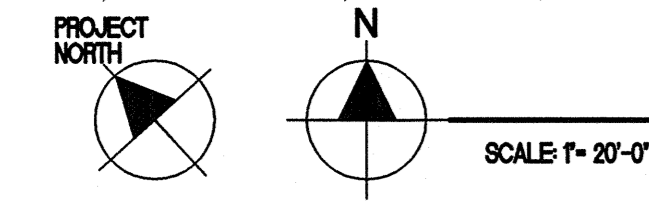
San Mateo County Community College District

**BID ADDENDA**

**CAÑADA COLLEGE**  
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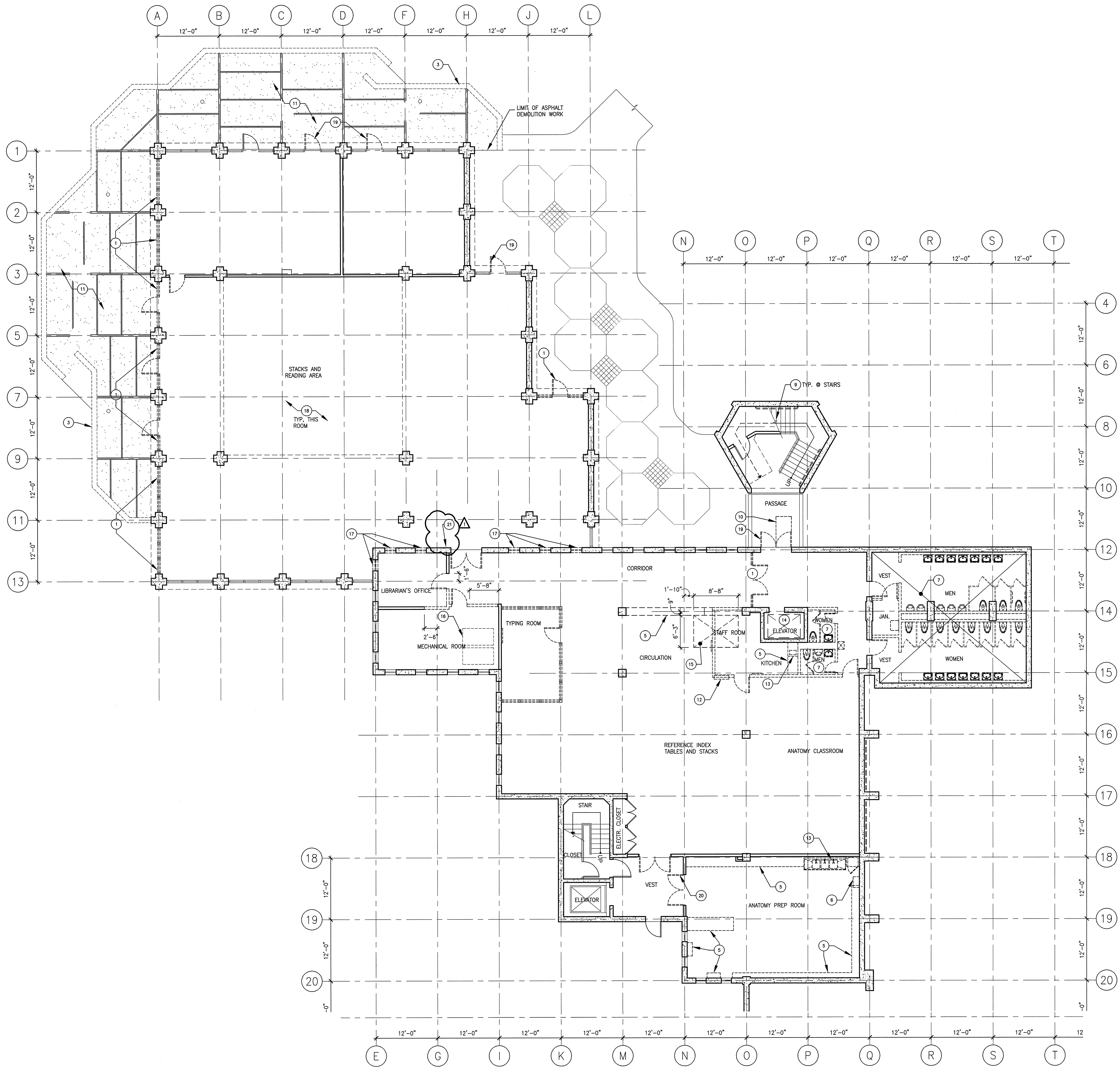
**ENLARGED SITE PLAN**

Date: 08/29/08  
 Drawing Number: A0.8  
 Scale: AS NOTED  
 Project Number: 07013







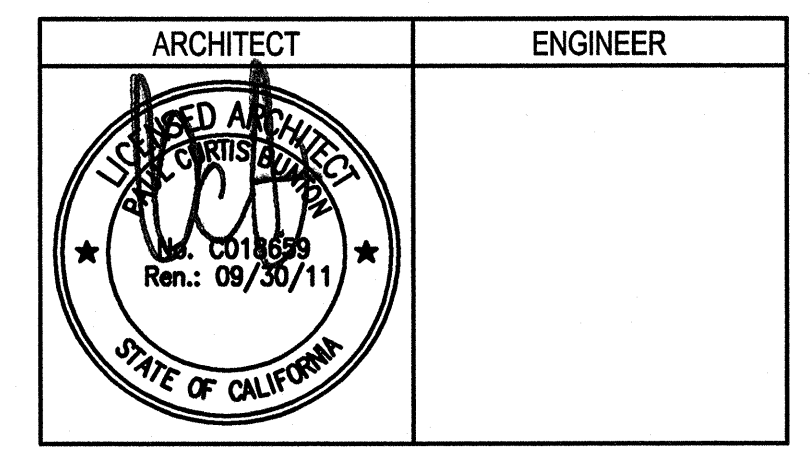


**SHEET NOTES**

- 1 REMOVE (E) STOREFRONT ASSEMBLY
- 2 NOT USED
- 3 REMOVE (E) WOODEN BENCH SEATS
- 4 NOT USED
- 5 REMOVE (E) CASEWORK
- 6 REMOVE & SALVAGE (E) TELECOM/IT EQUIPMENT. DELIVER TO ON-CAMPUS LOCATION PER OWNER'S DIRECTION.
- 7 REMOVE ALL RESTROOM FINISHES, FIXTURES, STUD WALL PARTITIONS, ACCESSORIES, ELECTRICAL & PLUMBING DOWN TO CONCRETE SUBSTRATE. CAP ELECTRICAL & PLUMBING @ WALLS/FLOOR.
- 8 NOT USED
- 9 REMOVE (E) STAIR NOSINGS @ CONCRETE STAIRS
- 10 REMOVE (E) RUBBER MAT & ASSOCIATED AUTOMATIC DOOR OPENER EQUIPMENT
- 11 REMOVE (E) ASPHALT PAVING & WOOD SPACERS
- 12 REMOVE (E) FIREHOSE CABINET. CAP PLUMBING @ SLAB
- 13 REMOVE (E) SINK. CAP PLUMBING @ WALL
- 14 REMOVE (E) ELEVATOR, GUIDERAILS AND ALL ASSOCIATED EQUIPMENT
- 15 SAWCUT CONC. SLAB FOR (N) ELEVATOR AND EXCAVATE (N) PIT AND ELEVATOR RAM
- 16 REMOVE MOTOR FOR DEMOLISHED ELEVATOR (SEE NOTE 14 ABOVE). OTHER ELEVATOR MOTOR TO BE RELOCATED. CONFIRM UNIT TO BE DEMOLISHED W/ OWNER PRIOR TO CONSTRUCTION.
- 17 REMOVE (E) WINDOW AND FRAME
- 18 CUT (E) STEEL BOLT PROTRUDING FROM FLOOR AND GRIND THEM DOWN FLUSH WITH TOP OF SLAB. PATCH FLOOR PRIOR TO INSTALLING NEW FLOOR FINISH.
- 19 REMOVE (E) ENTRANCE DOOR(S), STOREFRONT ASSEMBLY TO REMAIN
- 20 REMOVE (E) DOOR AND FRAME
- 21 REMOVE (E) FIRE HOSE CABINET. PATCH AND PAINT WALL



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REMARKS	DATE
ADDENDUM NO. 1	09/18/09

DRAWING STATUS	DATE
● DSA PLAN CHECK	08/28/08
● DSA BACK CHECK	01/22/09
● BIDDING	09/18/09
○ CONSTRUCTION	

FILE NO. 41-C1

IDENTIFICATION STAMP  
 DIV. OF THE STATE ARCHITECT

01-110074

AC FLS SS

DATE

**GENERAL NOTES**

- A. PATCH AND REPAIR ALL SURFACES AFFECTED BY MODERNIZATIONS TO MATCH EXISTING ADJACENT SURFACES, U.O.N.
- B. REMOVE ALL (E) WALL MOUNTED ACCESSORIES. SALVAGE AND SURRENDER ALL TO OWNER. PATCH AND REPAIR ALL HOLES; PAINT TO MATCH.
- C. ABOVE THE CEILING, RE-ATTACH ELECTRICAL CONDUITS AND OTHER UTILITIES TO THE WALLS TO RESTORE (E) CONDITIONS AFTER RENOVATION OF INTERIOR WALLS.
- D. REPLACE ANY MISSING OR DAMAGED CEILING ACOUSTICAL TILES OR PANELS TO MATCH EXISTING. PAINT AS REQUIRED TO PROVIDE MATCHING FINISH.
- E. CAP (E) PIPES BEHIND WALL SURFACE. PATCH & REPAIR TO MATCH ADJACENT SURFACE. SEE MECH. DWGS. FOR OTHER RELATED WORK.
- F. REMOVE ALL (E) FLOOR AND CEILING FINISHES, AND WINDOW TREATMENTS, U.O.N.
- G. FOR ADDITIONAL DEMOLITION SCOPE, SEE THE REFLECTED CEILING, MECHANICAL, PLUMBING AND ELECTRICAL DEMOLITION PLANS.

**LEGEND**

- REMOVE EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN
- ▨ REMOVE EXISTING CONCRETE SLAB, PATCH AND REPAIR U.O.N.
- REMOVE (E) DOOR AND FRAME
- (E) DOOR AND FRAME TO REMAIN

**BUILDINGS 5 & 6 RENOVATIONS**

San Mateo County Community College District

**BID ADDENDA**

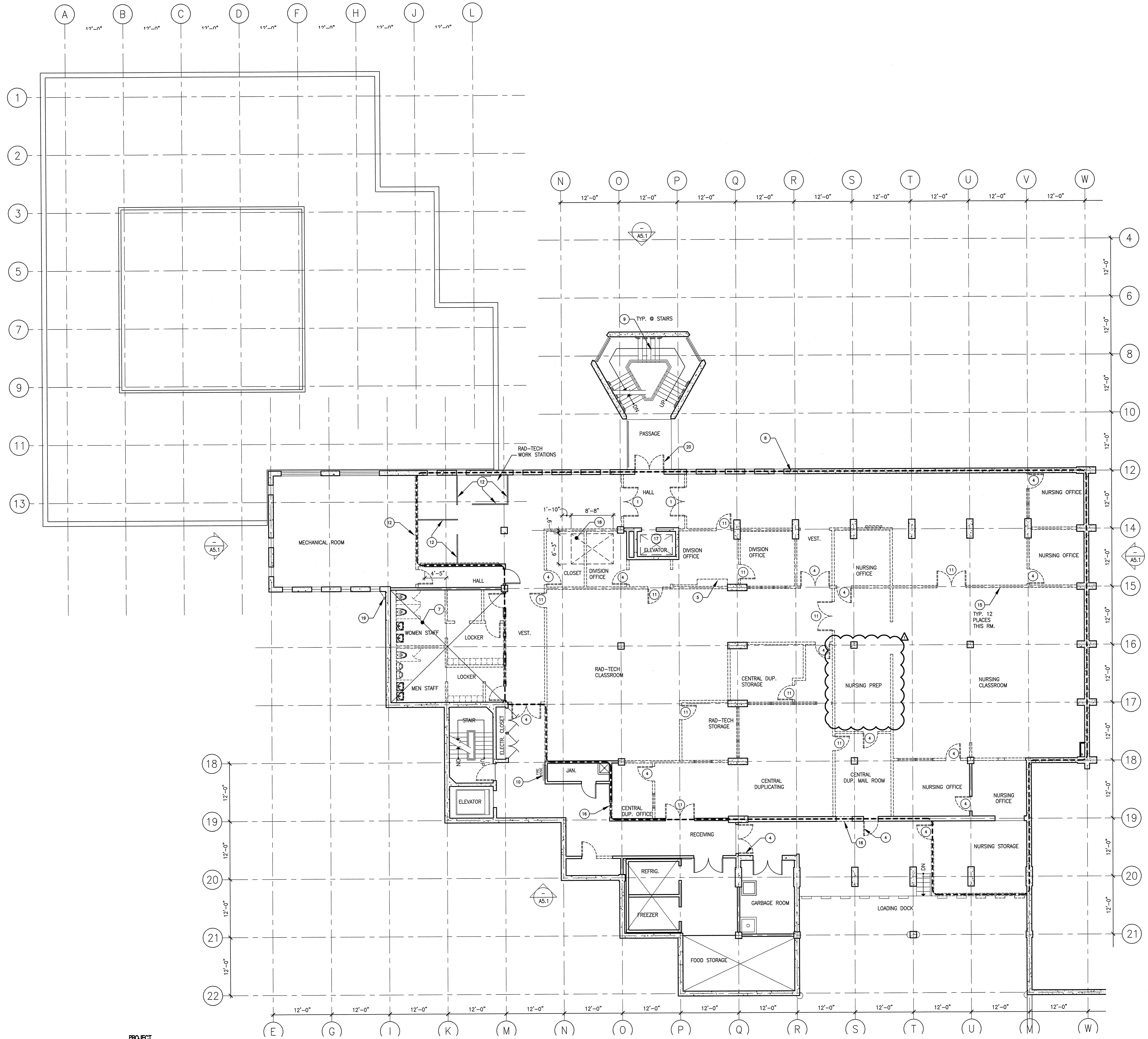
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**FIRST FLOOR DEMOLITION PLAN**

Date: 08/29/08  
 Scale: AS NOTED  
 Project Number: 07013

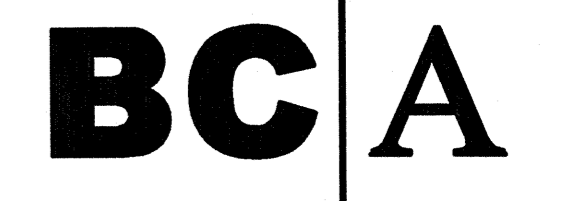
Drawing Number: **A1.1**

**FIRST FLOOR DEMOLITION PLAN** 1



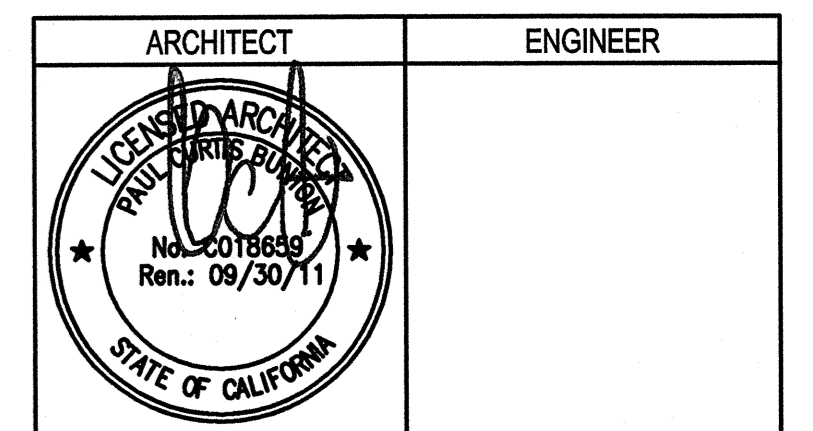
**SHEET NOTES**

- 1 REMOVE (E) STOREFRONT ASSEMBLY
- 2 NOT USED
- 3 NOT USED
- 4 REMOVE (E) DOOR AND FRAME
- 5 REMOVE (E) CASEWORK
- 6 NOT USED
- 7 REMOVE ALL RESTROOM FINISHES, FIXTURES, STUD WALL PARTITIONS, ACCESSORIES, ELECTRICAL & PLUMBING DOWN TO CONCRETE SUBSTRATE. CAP ELECTRICAL & PLUMBING @ WALLS/FLOOR.
- 8 REMOVE ALL (E) FLOOR FINISHES THIS AREA
- 9 REMOVE (E) STAIR NOSINGS @ CONCRETE STAIRS
- 10 (E) FIRE HOSE CABINET TO REMAIN.
- 11 REMOVE & SALVAGE (E) DOOR & HARDWARE (INCLUDING HINGES). STORE FOR LATER REUSE (SEE SHT. A9.2)
- 12 REMOVE & SALVAGE (E) OFFICE PARTITIONS.
- 13 REMOVE (E) "HANDS FREE" SINKS.
- 14 REMOVE PORTION OF (E) PARTITION FOR (N) DOOR OPENING.
- 15 REMOVE (E) ELEVATOR, GUIDERAILS AND ALL ASSOCIATED EQUIPMENT
- 16 SAWCUT CONCRETE SLAB FOR (N) ELEVATOR. RELOCATE ALL (E) UTILITY LINES TO REMAIN THAT ARE ABOVE, BELOW OR IN THE (E) SLAB AREA AND WILL BE AFFECTED BY CONSTRUCTION
- 17 REMOVE (E) EXTERIOR TV ANTENNA + WIREHOLD
- 18 REMOVE (E) DOOR, FRAME TO REMAIN



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REMARKS	DATE
ADDENDUM NO. 1	09/18/09

ISSUE STATUS	DATE
DSA PLAN CHECK	08/28/08
DSA BACK CHECK	01/22/09
BIDDING	09/18/09
CONSTRUCTION	

FILE NO. 41-C1

IDENTIFICATION STAMP  
DIV. OF THE STATE ARCHITECT

01- 110074

AC FLS SS

DATE

**GENERAL NOTES**

- A. PATCH AND REPAIR ALL SURFACES AFFECTED BY MODERNIZATIONS TO MATCH EXISTING ADJACENT SURFACES, U.O.N.
- B. REMOVE ALL (E) WALL MOUNTED ACCESSORIES, SALVAGE AND SURRENDER ALL TO OWNER. PATCH AND REPAIR ALL HOLES; PAINT TO MATCH.
- C. ABOVE THE CEILING, RE-ATTACH ELECTRICAL CONDUITS AND OTHER UTILITIES TO THE WALLS TO RESTORE (E) CONDITIONS AFTER RENOVATION OF INTERIOR WALLS.
- D. REPLACE ANY MISSING OR DAMAGED CEILING ACoustICAL TILES OR PANELS TO MATCH EXISTING. PAINT AS REQUIRED TO PROVIDE MATCHING FINISH.
- E. CAP (E) PIPES BEHIND WALL SURFACE. PATCH & REPAIR TO MATCH ADJACENT SURFACE. SEE MECH. DWGS. FOR OTHER RELATED WORK.
- F. REMOVE ALL (E) FLOOR AND CEILING FINISHES AND WINDOW TREATMENTS, U.O.N.
- G. FOR ADDITIONAL DEMOLITION SCOPE, SEE THE REFLECTED CEILING, MECHANICAL, PLUMBING AND ELECTRICAL DEMOLITION PLANS.

**LEGEND**

- REMOVE EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN
- ▨ REMOVE EXISTING CONCRETE SLAB, PATCH AND REPAIR U.O.N.
- REMOVE (E) DOOR AND FRAME
- (E) DOOR AND FRAME TO REMAIN

**BUILDINGS 5 & 6 RENOVATIONS**

San Mateo County Community College District

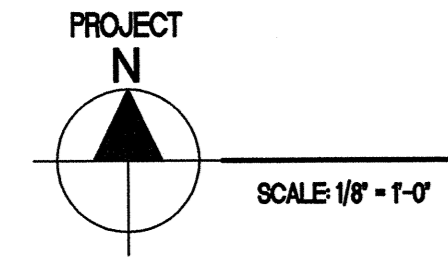
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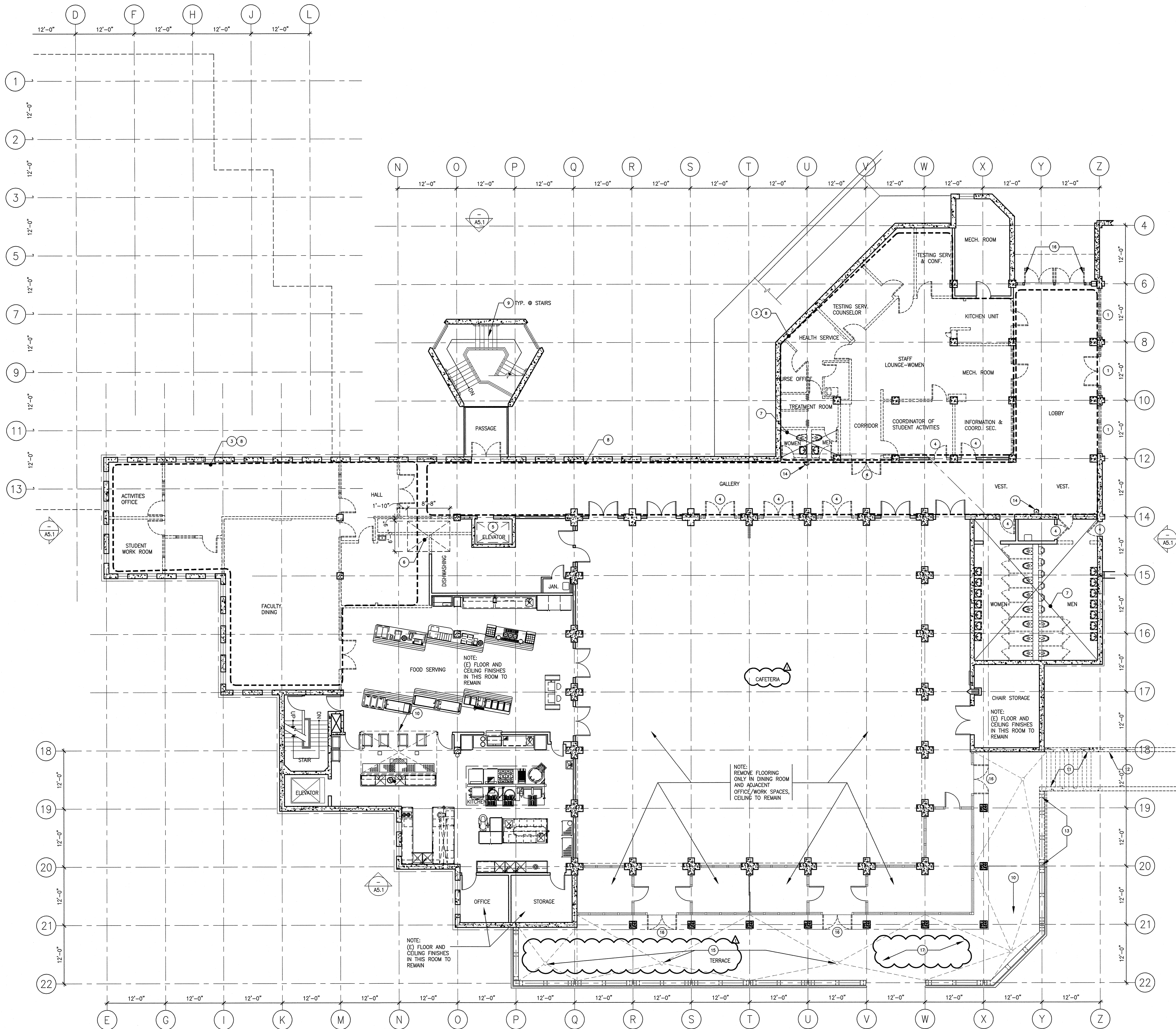
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SECOND FLOOR  
DEMOLITION PLAN

Date 08/29/08  
Drawing Number A1.2  
Scale AS NOTED  
Project Number 07013

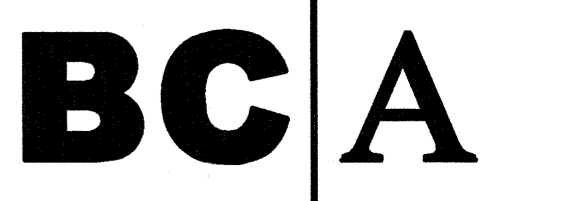
**SECOND FLOOR DEMOLITION PLAN**





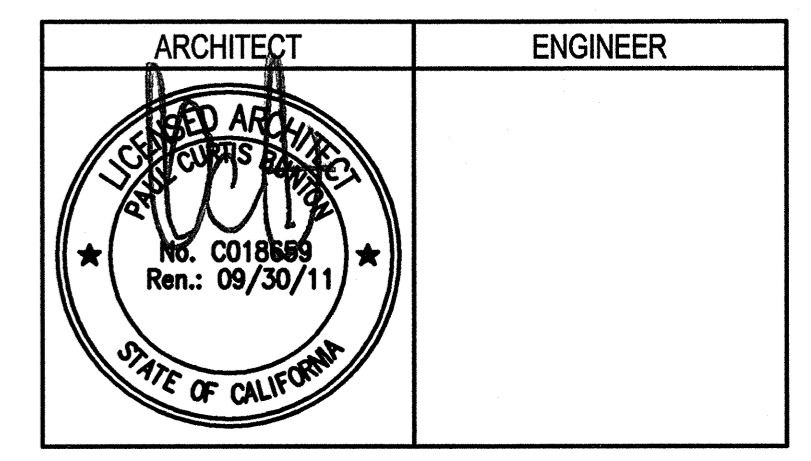
**SHEET NOTES**

- 1 REMOVE (E) STOREFRONT ASSEMBLY
- 2 (E) PARTITION TO REMAIN
- 3 REMOVE (E) PARTITIONS, INTERIOR DOORS, CASEWORK & INTERIOR WINDOWS THIS AREA.
- 4 REMOVE (E) DOOR AND FRAME
- 5 REMOVE (E) ELEVATOR, GUIDERAILS AND ALL ASSOCIATED EQUIPMENT
- 6 SAWCUT CONCRETE SLAB FOR (N) ELEVATOR, RELOCATE ALL (E) UTILITY LINES TO REMAIN THAT ARE ABOVE, BELOW OR IN THE (E) SLAB AREA AND WILL BE AFFECTED BY CONSTRUCTION
- 7 REMOVE ALL RESTROOM FINISHES, FIXTURES, STUD WALL PARTITIONS, ACCESSORIES, ELECTRICAL & PLUMBING DOWN TO CONCRETE SUBSTRATE. CAP ELEC. & PLUMBING @ WALLS/FLOOR.
- 8 REMOVE ALL (E) FLOOR FINISHES THIS AREA
- 9 REMOVE (E) STAIR NOSINGS @ CONCRETE STAIRS
- 10 (E) CONSTRUCTION TO REMAIN
- 11 REMOVE (E) CONCRETE STAIRS & METAL RAILINGS
- 12 REMOVE (E) CONCRETE RETAINING WALL
- 13 REMOVE (E) CONCRETE SEAT WALL
- 14 REMOVE (E) DRINKING FOUNTAIN. CAP PLUMBING @ WALL
- 15 REMOVE (E) DECK DRAIN AND LEADER
- 16 REMOVE (E) DOOR, FRAME TO REMAIN
- 17 REMOVE (E) UMBRELLA TABLES BOLTED TO THE TERRACE AND RELOCATE THEM TO THE UPPER PATIO (SEE NOTE 27/40.8). DO NOT BOLT TABLES TO DECK AT NEW LOCATION.



architecture  
planning  
interiors

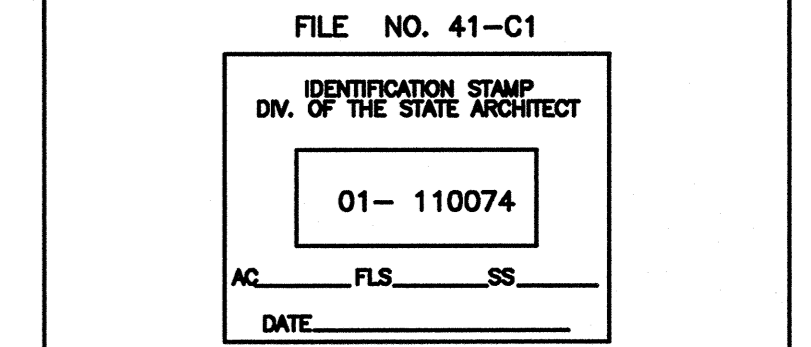
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REMARKS	DATE
ADDENDUM NO. 1	09/18/09

DRAWING STATUS	DATE
● DSA PLAN CHECK	08/28/08
● DSA BACK CHECK	01/22/09
● BIDDING	09/18/09
○ CONSTRUCTION	



**GENERAL NOTES**

- A. PATCH AND REPAIR ALL SURFACES AFFECTED BY MODERNIZATIONS TO MATCH EXISTING ADJACENT SURFACES. U.O.N.
- B. REMOVE ALL (E) WALL MOUNTED ACCESSORIES. SALVAGE AND SURRENDER ALL TO OWNER. PATCH AND REPAIR ALL HOLES. PAINT TO MATCH.
- C. ABOVE THE CEILING, RE-ATTACH ELECTRICAL CONDUITS AND OTHER UTILITIES TO THE WALLS TO RESTORE (E) CONDITIONS AFTER RENOVATION OF INTERIOR WALLS.
- D. REPLACE ANY MISSING OR DAMAGED CEILING ACOUSTICAL TILES OR PANELS TO MATCH EXISTING. PAINT AS REQUIRED TO PROVIDE MATCHING FINISH.
- E. CAP (E) PIPES BEHIND WALL SURFACE. PATCH & REPAIR TO MATCH ADJACENT SURFACE. SEE MECH. DWGS. FOR OTHER RELATED WORK.
- F. REMOVE ALL (E) FLOOR AND CEILING FINISHES AND WINDOW TREATMENTS. U.O.N.
- G. FOR ADDITIONAL DEMOLITION SCOPE, SEE THE REFLECTED CEILING, MECHANICAL, PLUMBING AND ELECTRICAL DEMOLITION PLANS.

**LEGEND**

- REMOVE EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN
- REMOVE EXISTING CONCRETE SLAB, PATCH AND REPAIR U.O.N.
- REMOVE (E) DOOR AND FRAME
- (E) DOOR AND FRAME TO REMAIN

**BUILDINGS 5 & 6 RENOVATIONS**

San Mateo County Community College District

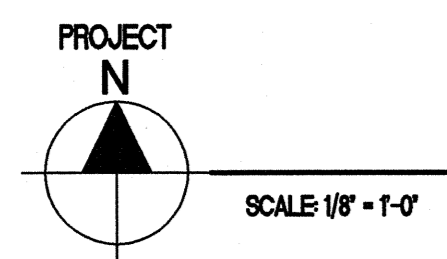
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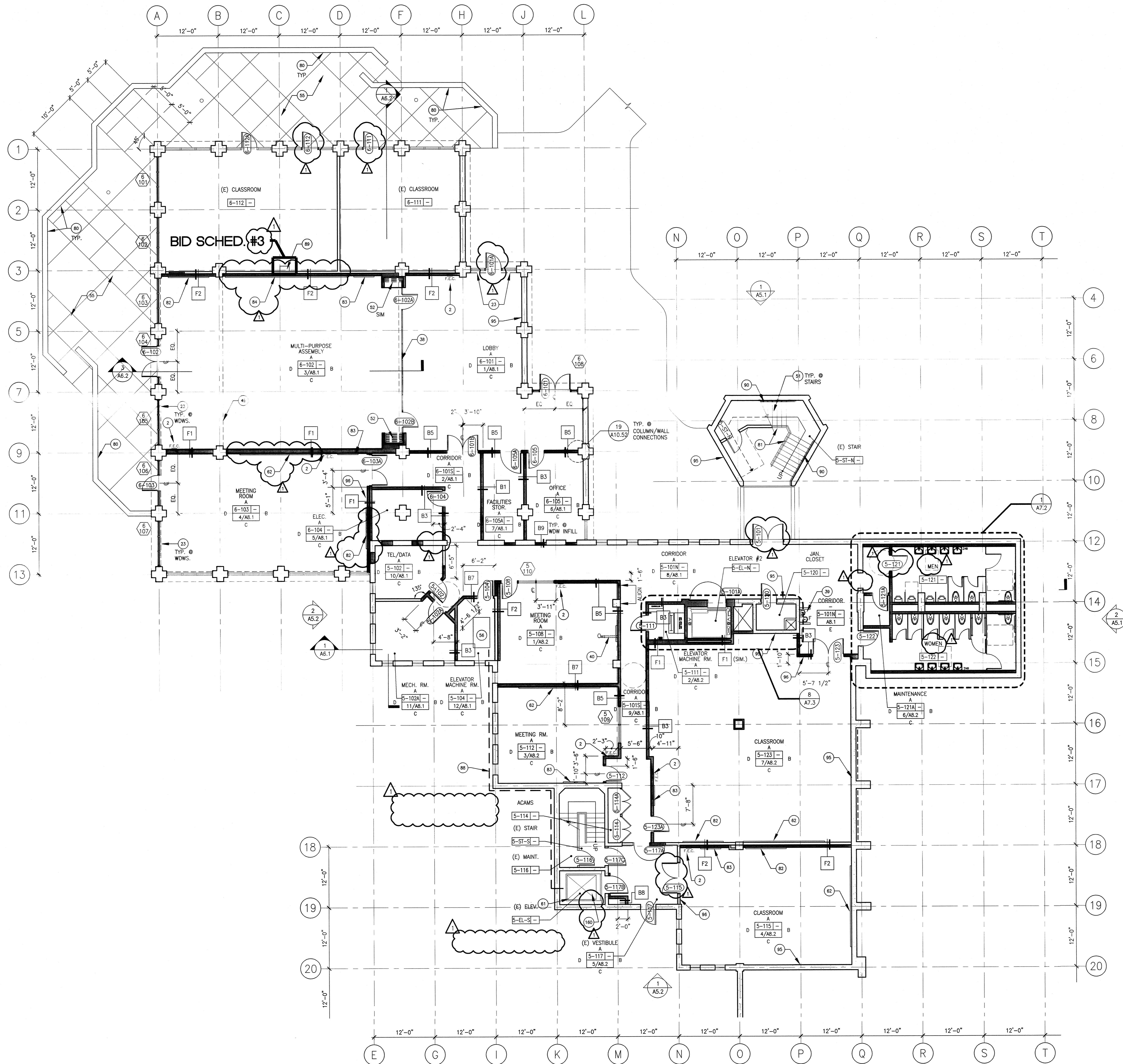
**CAÑADA COLLEGE**  
4200 Farm Hill Boulevard  
Redwood City, CA 94061

**THIRD FLOOR DEMOLITION PLAN**

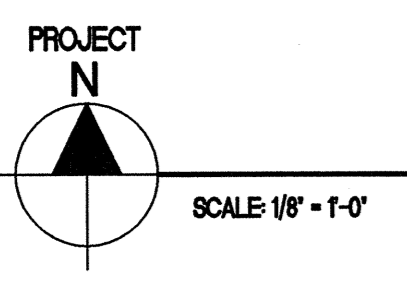
Date: 08/29/08  
Scale: AS NOTED  
Project Number: 07013  
Drawing Number: **A1.3**

**THIRD FLOOR DEMOLITION PLAN**





**FIRST FLOOR PLAN**



**SHEET NOTES**

- 2 FIRE EXTINGUISHER (2AB-10C) IN SEMI-RECESSED CABINET (SEE DET. 25/A10.52 & 11/A10.62)
- 23 ROLLER SHADES
- 38 OPERABLE PANEL PARTITION. (SEE DETS. 19 & 20/A10.91)
- 39 HI LO DRINKING FOUNTAIN. (SEE DETS. 13, 14, 18 & 19/A10.62)
- 40 ELECTRONIC WHITEBOARD. (SEE DET. 12/A10.62)
- 49 LINE OF SOFFIT ABOVE
- 51 REPLACEMENT NOSING W/ CONTRASTING COLOR STRIPS AT (E) CONCRETE STAIRS. TYP. (SEE DET. 17/A10.21)
- 52 POCKET FOR STORING FOLDING PARTITION. SEE 14/A10.9.2
- 53 CONCRETE PAVING AT DECK. (SEE DETS. 21 & 22/A10.21)
- 54 RELOCATE (E) ELEVATOR MOTOR AND APPURTENANCES, EQUIPMENT AND ACCESSORIES (AS REQUIRED) TO THIS LOCATION
- 61 (E) ELEVATOR TO REMAIN
- 62 16"-0" W. MARKER BOARD W/ TOP OF MARKER TRAY @ 36" A.F.F. (SEE DETS. 22, 23/A10.51)
- 63 PRE-CAST CONC. CAP AT SEAT WALL. (SEE DET. 12/A10.21)
- 64 MODIFY (E) METAL GUARDRAIL. (SEE DET. 11/A10.21)
- 65 8'-0" W. TACKBOARD
- 66 4'-0" W. TACKBOARD
- 67 24"-0" W. MARKER BOARD W/ TOP OF MARKER TRAY @ 36" A.F.F. (SEE DETS. 22, 23/A10.51)
- 68 PROVIDE (N) HYDRAULIC LINE FROM (E) ELEVATOR TO MOTOR IN RM 5-104
- 69 (E) DATA CABINET TO REMAIN
- 90 ADA-COMPLIANT HANDRAILS. DET 1/A10.21 SIM. SEE 29/A7.3
- 95 (E) CONC WALL TO REMAIN (SEE SHTS A9.41-A9.43 FOR FINISHES)
- 96 WALL MOUNTED PENCIL SHARPENER (BOSTON/X-ACTO MANULA S.S. SERIES) MOUNTED RIGHT HANDED AT 34" AFF
- 100 REPLACE LEAKING ELEVATOR JACK ASSEMBLY

**GENERAL NOTES**

- A. STANDARD DOOR DISTANCES/CLEARANCES ARE AS FOLLOWS:
- 
- B. ALL WALL AND CEILING ACCESS DOORS SHALL BE 1-HOUR RATED IN CORRIDORS AND 2-HOUR RATED IN OCCUPANCY SEPARATION WALLS.
- C. THE FLOOR OR LANDING LENGTH ON EACH SIDE OF AN EXIT DOOR SHALL BE LEVEL (MAX. SLOPE 1/4" PER FOOT) AND CLEAR AT LEAST 60 INCHES IN THE DIRECTION OF THE DOOR SWING (PULL SIDE) AND 48 INCHES ON THE PUSH SIDE, WHEN MEASURED AT RIGHT ANGLES FROM DOOR IN CLOSED POSITION. THE CLEAR WIDTH SHALL EXTEND 24 INCHES BEYOND THE STRIKE ON THE PULL SIDE OF ALL EXTERIOR EXIT DOORS AND 18 INCHES FOR INTERIOR EXIT DOORS. THE CLEAR WIDTH SHALL EXTEND 12 INCHES BEYOND THE STRIKE EDGE OF THE PUSH SIDE OF ALL EXIT DOORS. DOORS SHALL BE EQUIPPED WITH BOTH A LATCH AND CLOSER.
- D. SEE SHEET A9.1 & A9.2 FOR DOOR, WINDOW AND FINISH SCHEDULES. RATED DOORS AND PANIC HARDWARE ARE INDICATED ON THE DOOR SCHEDULE.
- E. PROVIDE ADDITIONAL STUD FRAMING FOR OPENINGS AS INDICATED ON STRUCTURAL PLANS AND ON DOOR AND WINDOW DETAILS.
- F. PROVIDE BACKING IN STUD WALLS FOR ALL WALL-MOUNTED CABINETS AND ACCESSORIES. TYP.

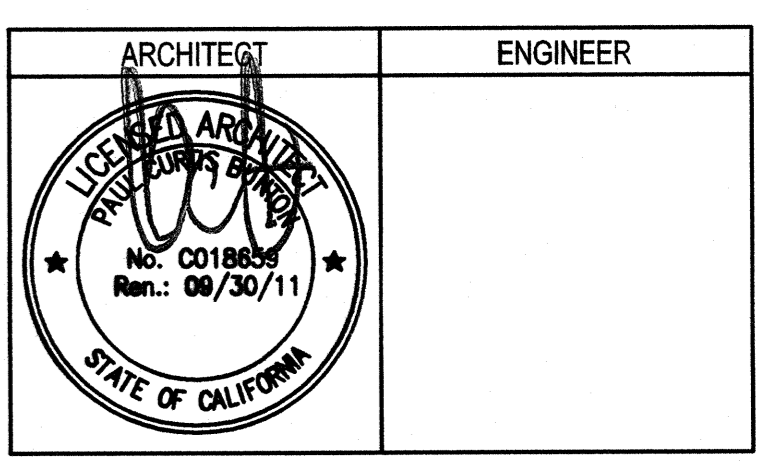
**LEGEND**

- 60" DIA. CLEAR SPACE FOR SINGLE WHEELCHAIR
- 30" x 48" ACCESSIBLE CLEAR SPACE
- (E) CONC. RETAINING WALL. SEE STRUCTURAL DWGS FOR SIZE
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- WALL TYPE. SEE DET. 15/A10.51
- RECESSED FIRE EXTINGUISHER CABINET. SEE DET. 25/A10.51
- WALL MOUNTED FIRE EXTINGUISHER
- FLOOR DRAIN. SEE PLUMBING DWGS



architecture  
planning  
interiors

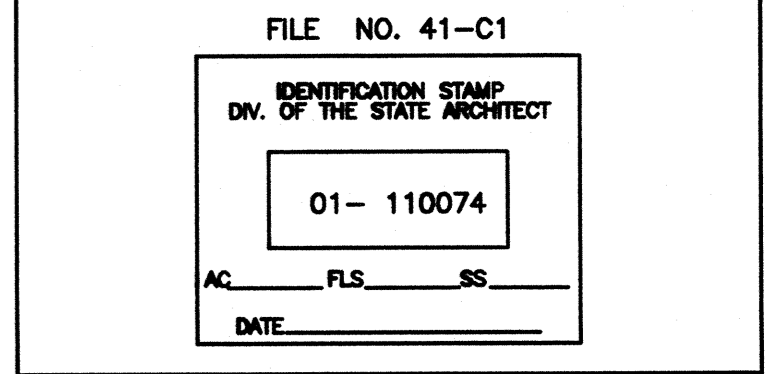
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REVISION HISTORY	REMARKS	DATE
1	ADDENDUM NO. 1	08/18/08

DRAWING STATUS	DATE
● DSA PLAN CHECK	08/28/08
● DSA BACK CHECK	01/22/09
● BIDDING	08/18/09
○ CONSTRUCTION	



**BUILDINGS 5 & 6 RENOVATIONS**

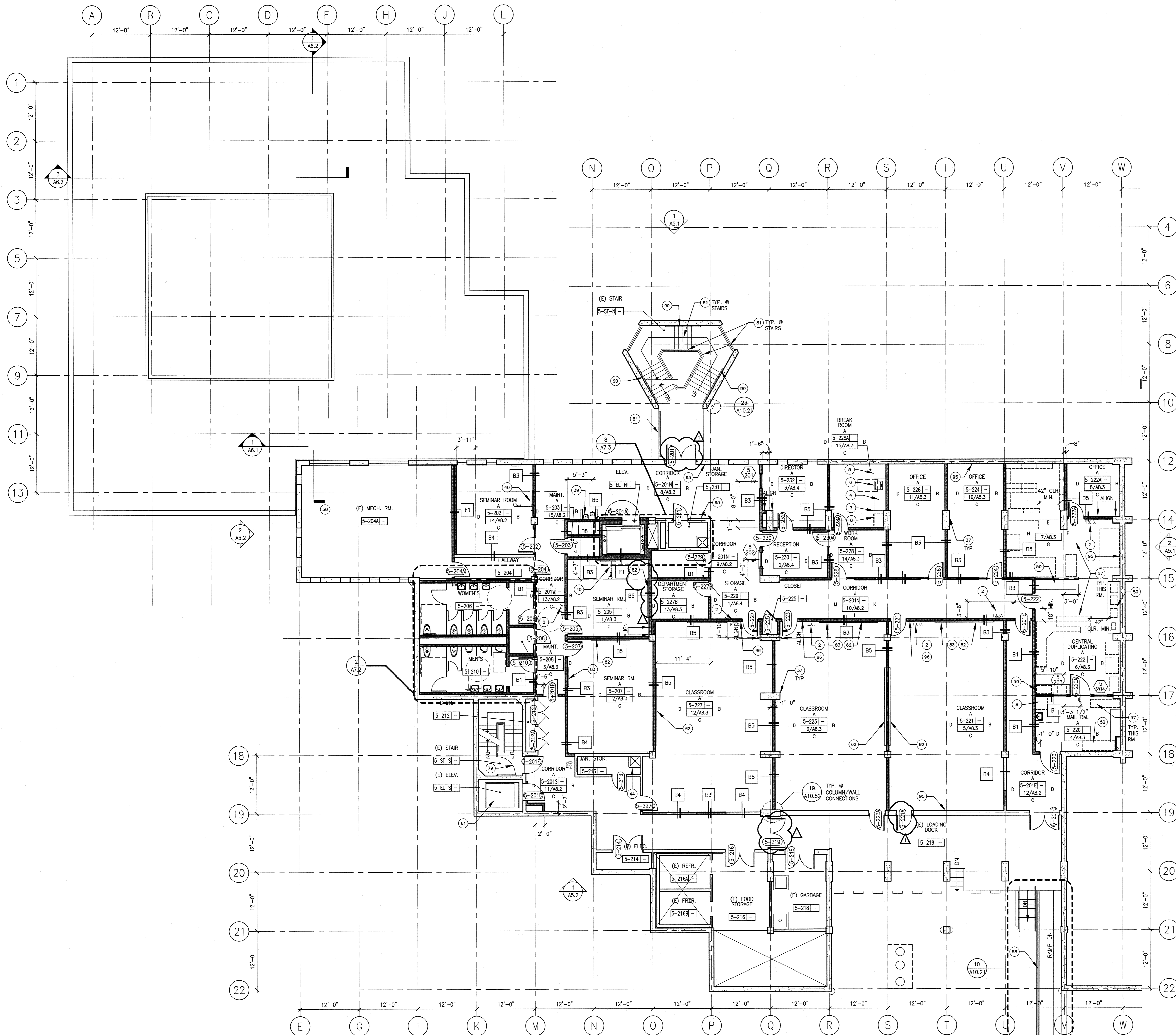
San Mateo County Community College District

**BID ADDENDA**

**CAÑADA COLLEGE**  
4200 Farm Hill Boulevard  
Redwood City, CA 94061

**FIRST FLOOR PLAN**

Date: 08/29/08  
Scale: AS NOTED  
Project Number: 07013  
Drawing Number: A2.1



SECOND FLOOR PLAN

SHEET NOTES

- 2 FIRE EXTINGUISHER (20AB10C) IN SEMI-RECESSED CABINET (SEE DETS 25/A10.52 & 11/A10.62)
- 3 BASE CABINET. (SEE DET. 3/A10.62)
- 4 UPPER CABINET. (SEE DET. 3/A10.62)
- 5 FULL HEIGHT CABINET. (SEE DET. 5/A10.62)
- 6 ACCESSIBLE BASE CABINET W/ SINK. (SEE DET. 1/A10.62)
- 8 SIDE-BY-SIDE REFRIGERATOR SPACE (EQUIPMENT N.I.C.)
- 37 (E) CONCRETE COLUMN TO REMAIN
- 39 HI-LO DRINKING FOUNTAIN (SEE DETS. 13, 14, 18 & 19/A10.62)
- 40 ELECTRONIC WHITEBOARD. (SEE DET. 12/A10.62)
- 44 (E) MOP SINK TO REMAIN
- 50 COUNTER (OPEN BELOW) (SEE DET. 10/A10.62)
- 51 REPLACEMENT NOSING W/ CONTRASTING COLOR STRIPS AT (E) CONCRETE STAIRS, TYP. (SEE DET. 17/A10.21)
- 56 MECHANICAL EQUIPMENT, SEE MECH. PLANS
- 57 OFCI CASEWORK AND DUPLICATION EQUIPMENT
- 58 CONCRETE RAMP AND RAILINGS. (SEE DET. 10/A10.21)
- 59 FIXED SHELVES
- 61 (E) ELEVATOR TO REMAIN
- 62 16'-0" W. MARKER BOARD W/ TOP OF MARKER TRAY @ 36" A.F.F. (SEE DETS. 22, 23/A10.51)
- 79 SWINGING GATE FOR EXIT CONTROL. (SEE DET. 19/A10.21)
- 81 MODIFY (E) METAL GUARDRAIL. (SEE DET. 11/A10.21)
- 82 8'-0" W. TACKBOARD
- 83 4'-0" W. TACKBOARD
- 90 ADA-COMPLIANT HANDRAILS, DET 1/A10.21 SIM. SEE 29/A7.3
- 95 (E) CONC WALL TO REMAIN (SEE SHTS A9.41-A9.43 FOR FINISHES)
- 96 WALL MOUNTED PENCIL SHARPENER (BOSTON/X-ACTO MANULA KS SERIES) MOUNTED RIGHT HANDED AT 34" AFF

GENERAL NOTES

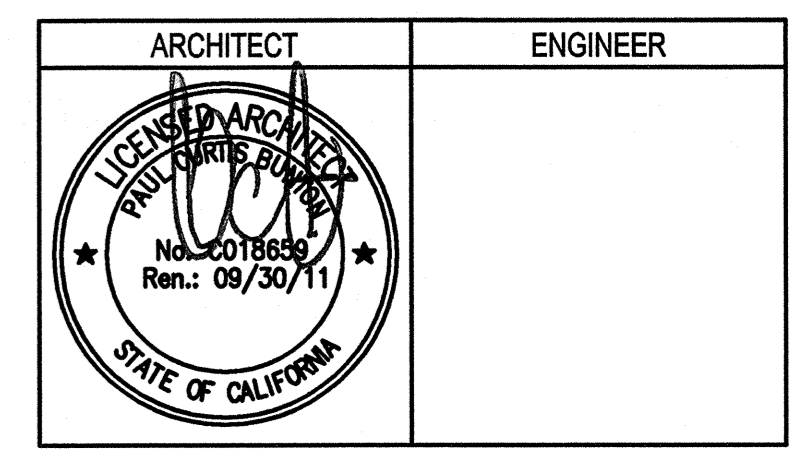
- A. STANDARD DOOR DISTANCES/CLEARANCES ARE AS FOLLOWS:
- 18" CLR. @ INTERIOR DOORS
  - 24" CLR. @ EXTERIOR DOORS
  - 60" CLR. MIN.
  - 48" CLR. MIN. WHERE DOOR IS EQUIPPED WITH A LATCH AND A CLOSER
- B. ALL WALL AND CEILING ACCESS DOORS SHALL BE 1-HOUR RATED IN CORRIDORS AND 2-HOUR RATED IN OCCUPANCY SEPARATION WALLS.
- C. THE FLOOR OR LANDING LENGTH ON EACH SIDE OF AN EXIT DOOR SHALL BE LEVEL (MAX. SLOPE 1/4" PER FOOT) AND CLEAR AT LEAST 60 INCHES IN THE DIRECTION OF THE DOOR SWING (PULL SIDE) AND 48 INCHES ON THE PUSH SIDE, WHEN MEASURED AT RIGHT ANGLES FROM DOOR IN CLOSED POSITION. THE CLEAR WIDTH SHALL EXTEND 24 INCHES BEYOND THE STRIKE ON THE PULL SIDE OF ALL EXTERIOR EXIT DOORS AND 18 INCHES FOR INTERIOR EXIT DOORS. THE CLEAR WIDTH SHALL EXTEND 12 INCHES BEYOND THE STRIKE EDGE OF THE PUSH SIDE OF ALL EXIT DOORS. DOORS SHALL BE EQUIPPED WITH BOTH A LATCH AND CLOSER.
- D. SEE SHEET A9.1 & A9.2 FOR DOOR, WINDOW AND FINISH SCHEDULES. RATED DOORS AND PANIC HARDWARE ARE INDICATED ON THE DOOR SCHEDULE.
- E. PROVIDE ADDITIONAL STUD FRAMING FOR OPENINGS AS INDICATED ON STRUCTURAL PLANS AND ON DOOR AND WINDOW DETAILS.
- F. PROVIDE BACKING IN STUD WALLS FOR ALL WALL-MOUNTED CABINETS AND ACCESSORIES, TYP.

LEGEND

- 60" DIA. CLEAR SPACE FOR SINGLE WHEELCHAIR
- 30", 48" ACCESSIBLE CLEAR SPACE
- (E) CONC. RETAINING WALL. SEE STRUCTURAL DWGS FOR SIZE
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- WALL TYPE, SEE DET. 15/A10.51
- RECESSED FIRE EXTINGUISHER CABINET. SEE DET. 25/A10.51
- WALL MOUNTED FIRE EXTINGUISHER
- F.E.
- FLOOR DRAIN, SEE PLUMBING DWGS



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REMARKS	DATE
ADDENDUM NO. 1	09/18/09

REVISION HISTORY	DATE
DSB PLAN CHECK	08/29/08
DSB BACK CHECK	01/22/09
BIDDING	09/18/09
CONSTRUCTION	

FILE NO. 41-C1  
GENERATION STAMP  
01-110074  
DATE

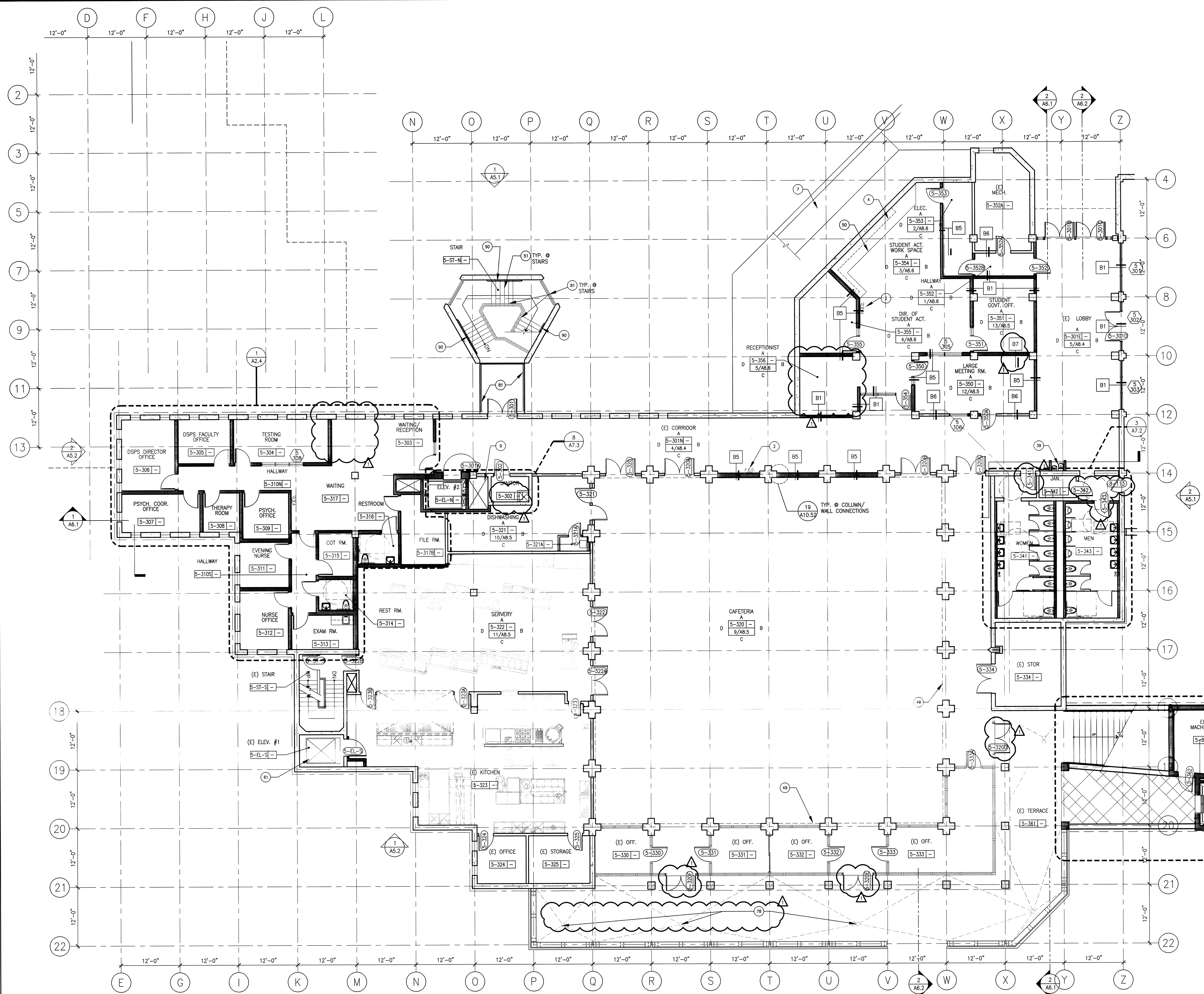
BUILDINGS 5 & 6 RENOVATIONS  
San Mateo County Community College District

BID ADDENDA

CAÑADA COLLEGE  
4200 Farm Hill Boulevard  
Redwood City, CA 94061

SECOND FLOOR PLAN

Date	08/29/08	Drawing Number	
Scale	AS NOTED		A2.2
Project Number	07013		



**SHEET NOTES**

- (2) FIRE EXTINGUISHER (20AB10C) IN SEMI-RECESSED CABINET (SEE DETS 25/A10.52 & 11/A10.62)
- (4) UPPER CABINET. (SEE DET. 3/A10.62)
- (5) ADA RAMP TO REMAIN (OSA #27796)
- (8) MECHANICAL SHAFT
- (30) HI-LO DRINKING FOUNTAIN (SEE DETS. 13, 14, 18 & 19/A10.62)
- (47) CONCRETE STAIRS
- (49) LINE OF SOFFIT ABOVE
- (50) COUNTER (OPEN BELOW) (SEE DET. 10/A10.62)
- (51) REPLACEMENT NOSING W/ CONTRASTING COLOR STRIPS AT (E) CONCRETE STAIRS, TYP. (SEE DET. 17/A10.21)
- (61) (E) ELEVATOR TO REMAIN
- (77) PVC SHEET WATER PROOFING. (SEE SHEET A2.5)
- (78) REPLACE (E) DECK DRAINS AND LEADERS. (SEE DET. 21/A10.21)
- (81) MODIFY (E) METAL GUARDRAIL (SEE DET. 11/A10.21)
- (90) ADA-COMPLIANT HANDRAILS. DET. 1/A10.21 SIM. SEE 29/A7.3
- (95) (E) CONC WALL TO REMAIN (SEE SHITS A9.41-A9.43 FOR FINISHES)

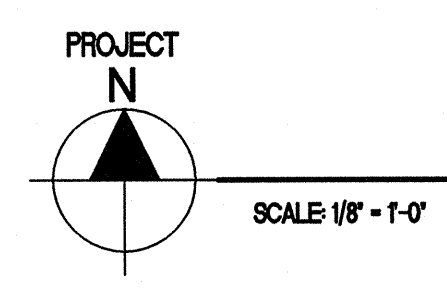
**GENERAL NOTES**

- A. STANDARD DOOR DISTANCES/CLEARANCES ARE AS FOLLOWS:
- 
- B. ALL WALL AND CEILING ACCESS DOORS SHALL BE 1-HOUR RATED IN CORRIDORS AND 2-HOUR RATED IN OCCUPANCY SEPARATION WALLS.
- C. THE FLOOR OR LANDING LENGTH ON EACH SIDE OF AN EXIT DOOR SHALL BE LEVEL (MAX. SLOPE 1/4" PER FOOT) AND CLEAR AT LEAST 60 INCHES IN THE DIRECTION OF THE DOOR SWING (PULL SIDE) AND 48 INCHES ON THE PUSH SIDE, WHEN MEASURED AT RIGHT ANGLES FROM DOOR IN CLOSED POSITION. THE CLEAR WIDTH SHALL EXTEND 24 INCHES BEYOND THE STRIKE ON THE PULL SIDE OF ALL EXTERIOR EXIT DOORS AND 18 INCHES FOR INTERIOR EXIT DOORS. THE CLEAR WIDTH SHALL EXTEND 12 INCHES BEYOND THE STRIKE EDGE OF THE PUSH SIDE OF ALL EXIT DOORS. DOORS SHALL BE EQUIPPED WITH BOTH A LATCH AND CLOSER.
- D. SEE SHEET A9.1 & A9.2 FOR DOOR, WINDOW AND FINISH SCHEDULES. RATED DOORS AND PANIC HARDWARE ARE INDICATED ON THE DOOR SCHEDULE.
- E. PROVIDE ADDITIONAL STUD FRAMING FOR OPENINGS AS INDICATED ON STRUCTURAL PLANS AND ON DOOR AND WINDOW DETAILS.
- F. PROVIDE BACKING IN STUD WALLS FOR ALL WALL-MOUNTED CABINETS AND ACCESSORIES, TYP.

**LEGEND**

- 60" DIA. CLEAR SPACE FOR SINGLE WHEELCHAIR
- 30" x 48" ACCESSIBLE CLEAR SPACE
- (E) CONC. RETAINING WALL. SEE STRUCTURAL DWGS FOR SIZE
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- WALL TYPE, SEE DET. 15/A10.51
- RECESSED FIRE EXTINGUISHER CABINET. SEE DET. 25/A10.51
- WALL MOUNTED FIRE EXTINGUISHER
- FLOOR DRAIN, SEE PLUMBING DWGS

**THIRD FLOOR PLAN**



**BCA**  
 architecture  
 planning  
 interiors

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ARCHITECT

ENGINEER

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REMARKS	DATE
ADDENDUM NO. 1	08/18/09

REVISION	DATE

FILE NO. 41-C1

IDENTIFICATION STAMP  
 DIV. OF THE STATE ARCHITECT

01- 110074

DATE

**BUILDINGS 5 & 6  
 RENOVATIONS**

San Mateo County Community  
 College District

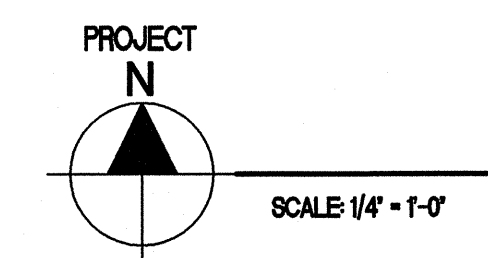
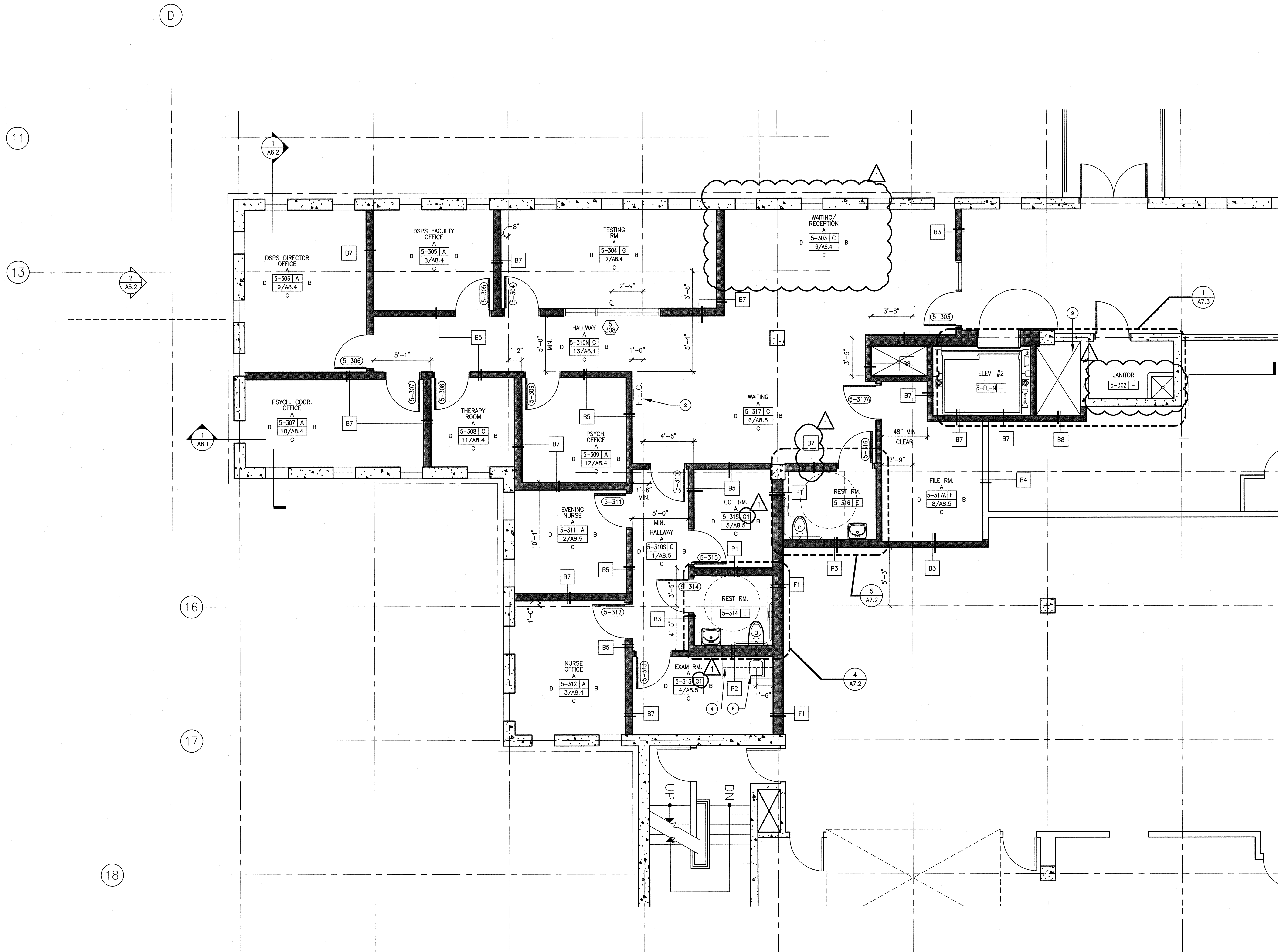
BID ADDENDA

**CAÑADA COLLEGE**  
 4200 Farm Hill Boulevard  
 Redwood City, CA 94061

THIRD FLOOR PLAN

Date: 08/29/08  
 Scale: AS NOTED  
 Project Number: 07013

Drawing Number: **A2.3**



HEALTH + WELLNESS CENTER ENLARGED PLAN 1

**SHEET NOTES**

- 2 FIRE EXTINGUISHER (20AB10C) IN SEMI-RECESSED CABINET (SEE DETS 25/A10.52 & 11/A10.62)
- 4 UPPER CABINET. (SEE DET. 3/A10.62)
- 8 ACCESSIBLE BASE CABINET W/ SINK. (SEE DET. 1/A10.62)
- 9 MECHANICAL SHAFT

**GENERAL NOTES**

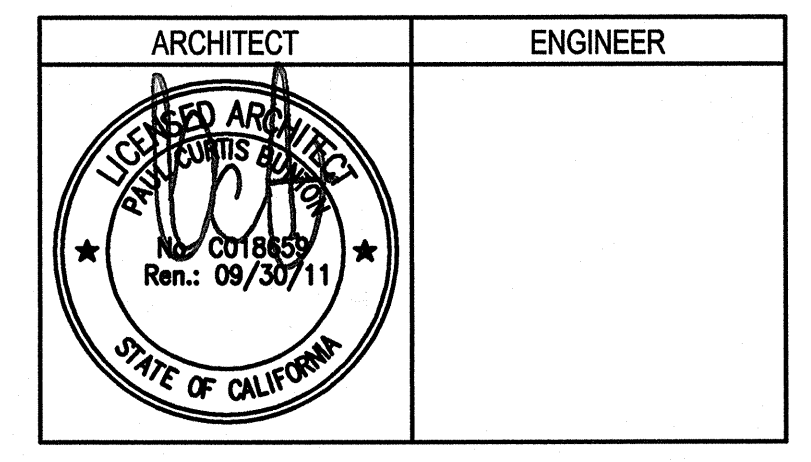
- A. STANDARD DOOR DISTANCES/CLEARANCES ARE AS FOLLOWS:
- 
- B. ALL WALL AND CEILING ACCESS DOORS SHALL BE 1-HOUR RATED IN CORRIDORS AND 2-HOUR RATED IN OCCUPANCY SEPARATION WALLS.
- C. THE FLOOR OR LANDING LENGTH ON EACH SIDE OF AN EXIT DOOR SHALL BE LEVEL (MAX. SLOPE 1/4" PER FOOT) AND CLEAR AT LEAST 60 INCHES IN THE DIRECTION OF THE DOOR SWING (PULL SIDE) AND 48 INCHES ON THE PUSH SIDE, WHEN MEASURED AT RIGHT ANGLES FROM DOOR IN CLOSED POSITION. THE CLEAR WIDTH SHALL EXTEND 24 INCHES BEYOND THE STRIKE ON THE PULL SIDE OF ALL EXTERIOR EXIT DOORS AND 18 INCHES FOR INTERIOR EXIT DOORS. THE CLEAR WIDTH SHALL EXTEND 12 INCHES BEYOND THE STRIKE EDGE OF THE PUSH SIDE OF ALL EXIT DOORS. DOORS SHALL BE EQUIPPED WITH BOTH A LATCH AND CLOSER.
- D. SEE SHEET A9.1 & A9.2 FOR DOOR, WINDOW AND FINISH SCHEDULES. RATED DOORS AND PANIC HARDWARE ARE INDICATED ON THE DOOR SCHEDULE.
- E. PROVIDE ADDITIONAL STUD FRAMING FOR OPENINGS AS INDICATED ON STRUCTURAL PLANS AND ON DOOR AND WINDOW DETAILS.
- F. PROVIDE BACKING IN STUD WALLS FOR ALL WALL-MOUNTED CABINETS AND ACCESSORIES, TYP.

**LEGEND**

- 60" DIA. CLEAR SPACE FOR SINGLE WHEELCHAIR
- 30" x 48" ACCESSIBLE CLEAR SPACE
- (S) CONC. RETAINING WALL. SEE STRUCTURAL DWGS FOR SIZE
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- WALL TYPE, SEE DET. 15/A10.51
- RECESSED FIRE EXTINGUISHER CABINET. SEE DET. 25/A10.51
- WALL MOUNTED FIRE EXTINGUISHER
- FLOOR DRAIN, SEE PLUMBING DWGS



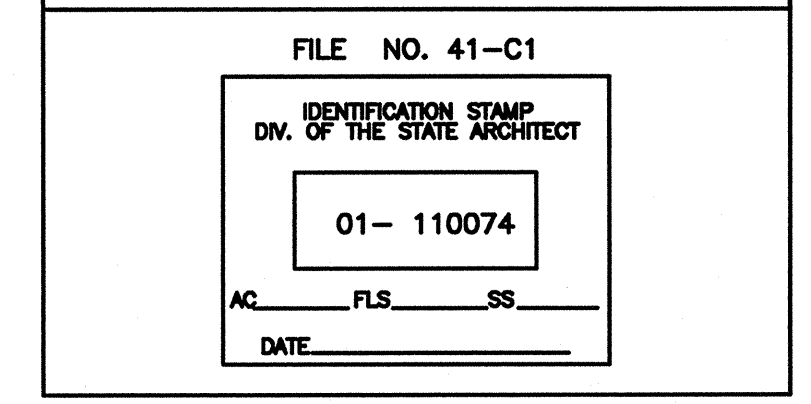
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REMARKS	DATE
ADDENDUM NO. 1	08/18/09

DRAWING STATUS	DATE
● DSA PLAN CHECK	08/28/08
● DSA BACK CHECK	01/22/09
● BIDDING	08/18/09
○ CONSTRUCTION	



**BUILDINGS 5 & 6 RENOVATIONS**  
San Mateo County Community College District

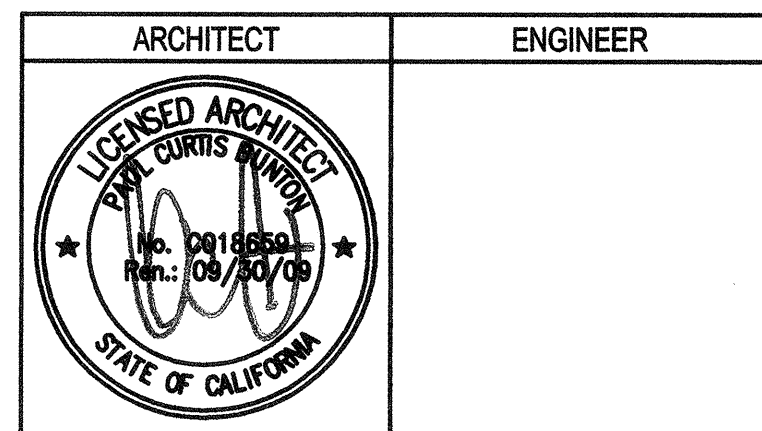
BID ADDENDA

**CAÑADA COLLEGE**  
4200 Farm Hill Boulevard  
Redwood City, CA 94061

HEALTH & WELLNESS CENTER ENLARGED PLAN

Date	08/29/08	Drawing Number	A2.4
Scale	AS NOTED		
Project Number	07013		



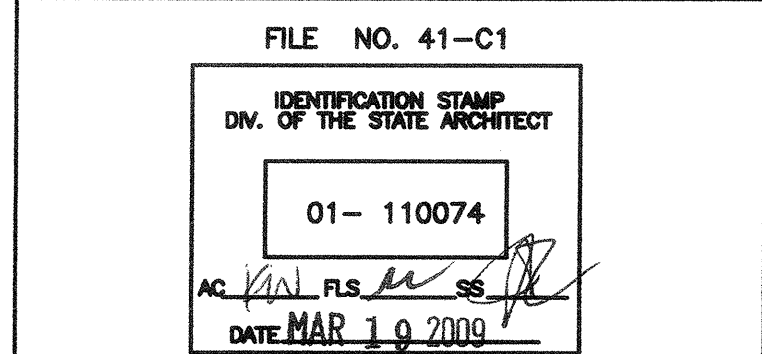


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REVISIONS	DATE

DATE
08/29/08
01/22/09



## BUILDINGS 5 & 6 RENOVATIONS

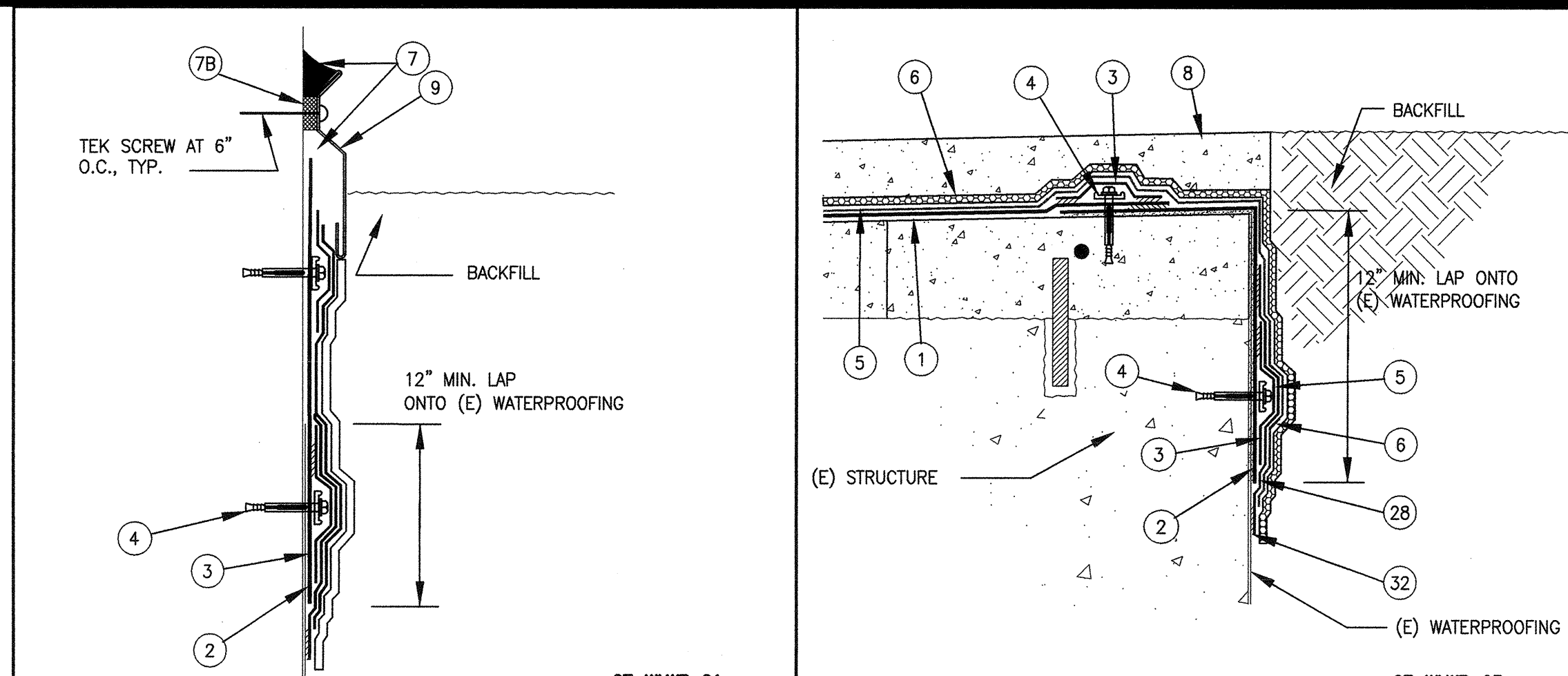
San Mateo County Community  
College District

DSA SUBMITTAL

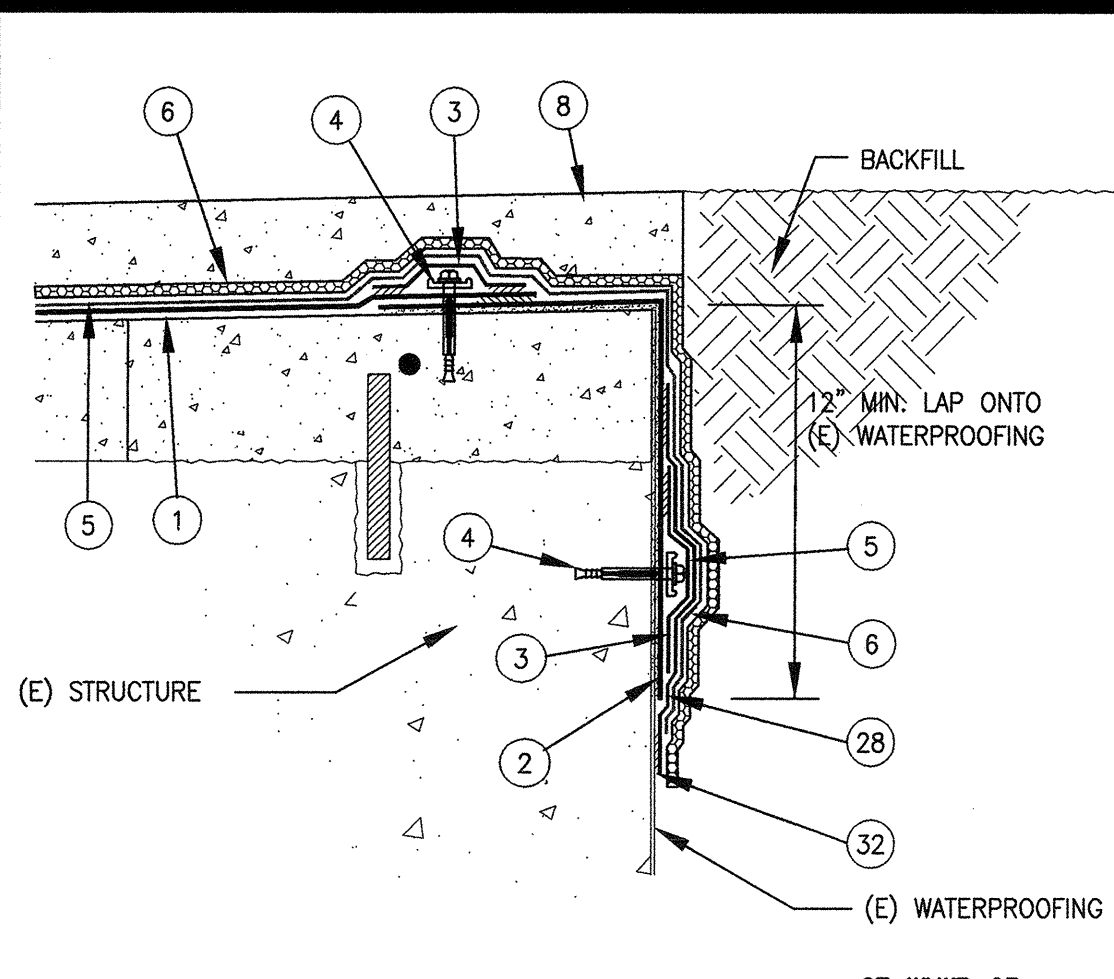
**CAÑADA COLLEGE**  
4200 Farm Hill Boulevard  
Redwood City, CA 94061

UNDERGROUND  
WATERPROOFING PLAN

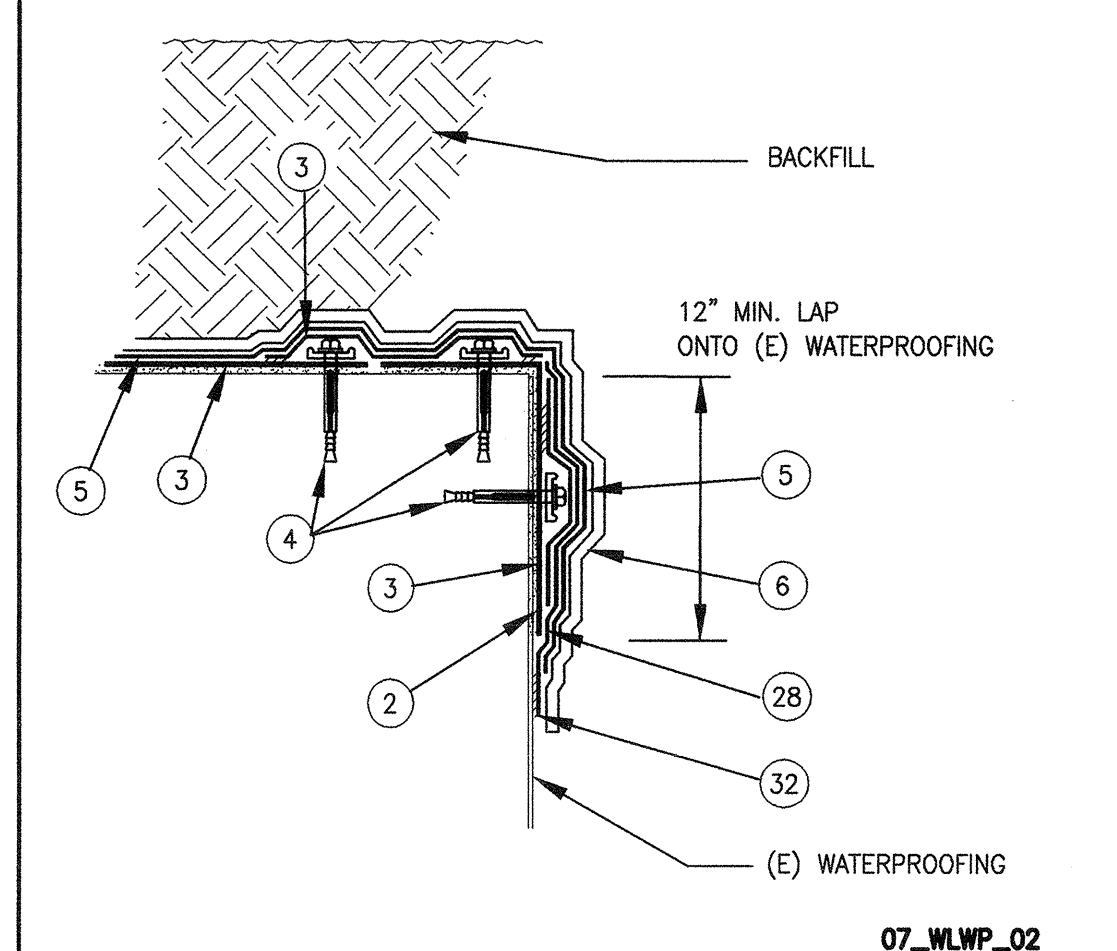
Date: 08/29/08  
Drawing Number: A2.5  
Scale: AS NOTED  
Project Number: 07013



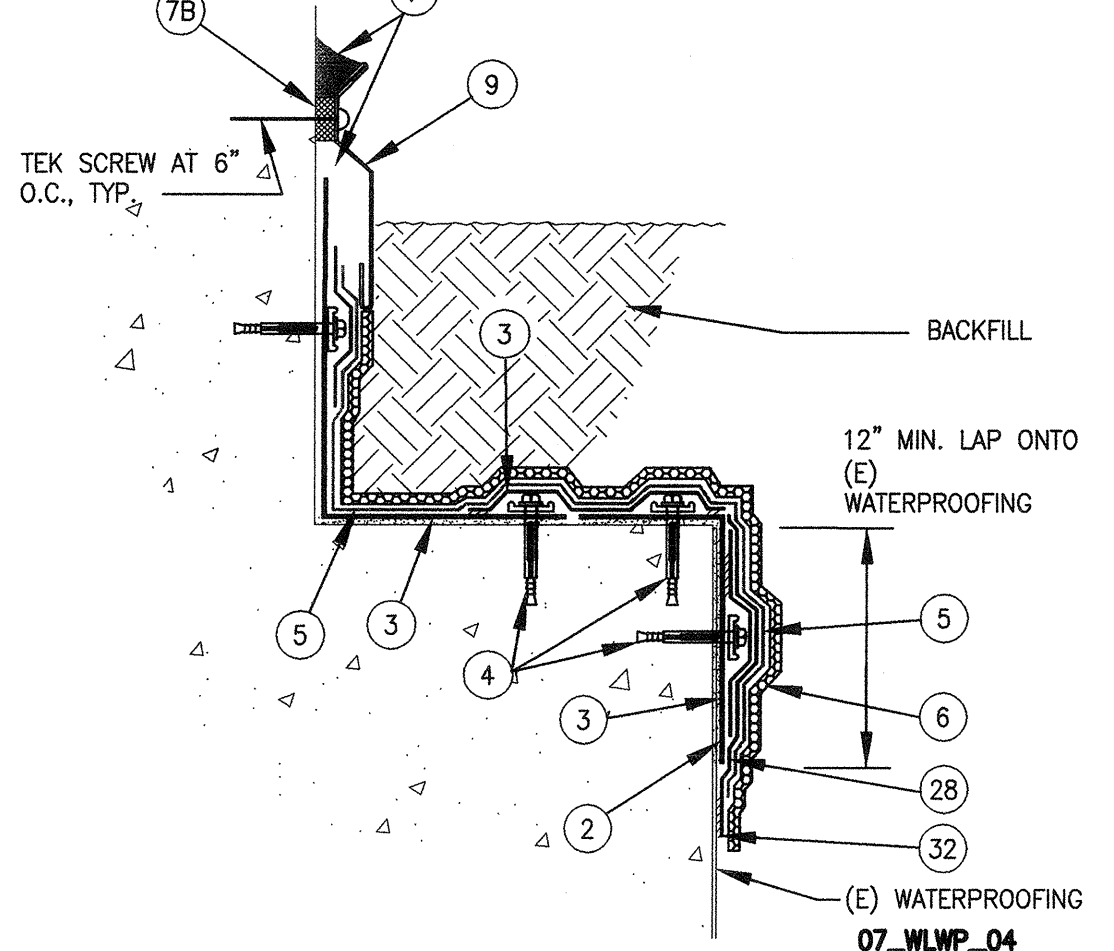
26 MEMBRANE AT WALL 3" = 1'-0" 07\_WLWP\_01



21 MEMBRANE TERMINATION 3" = 1'-0" 07\_WLWP\_03

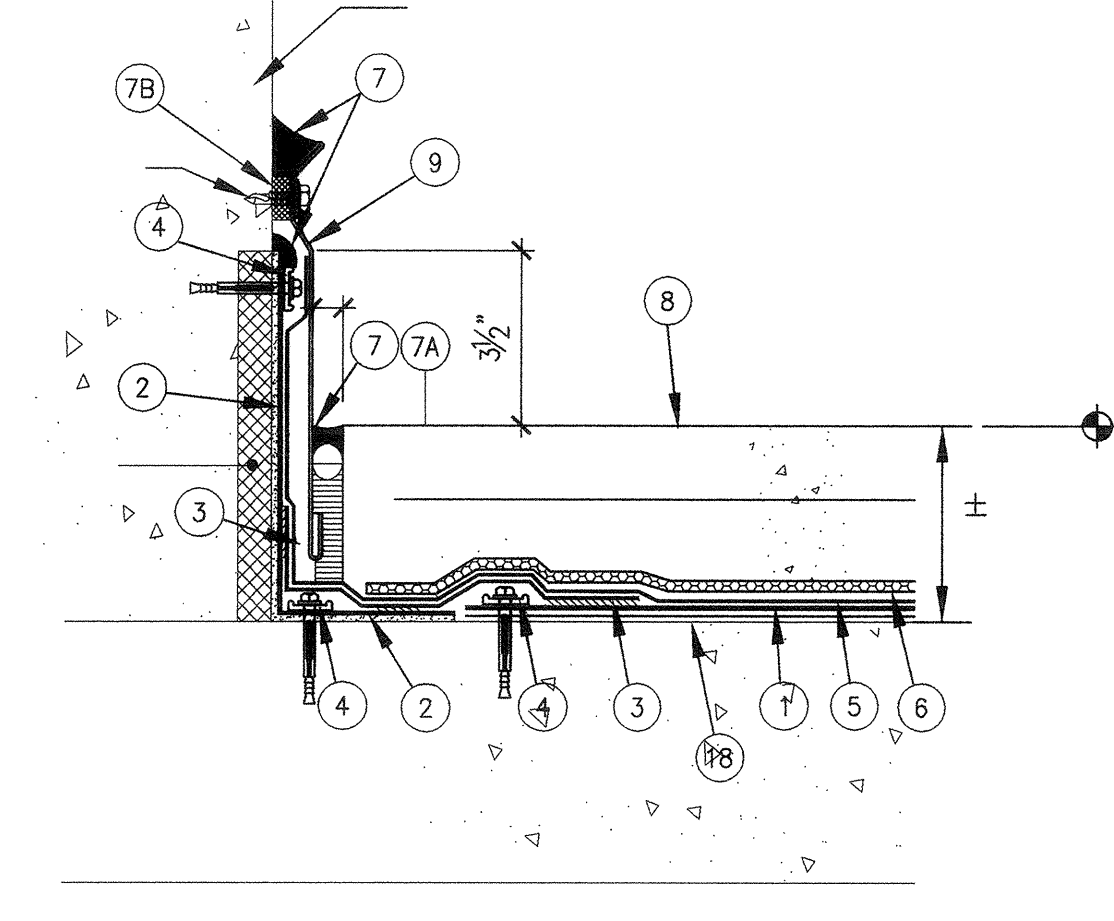


27 MEMBRANE AT STRUCTURE 3" = 1'-0" 07\_WLWP\_02

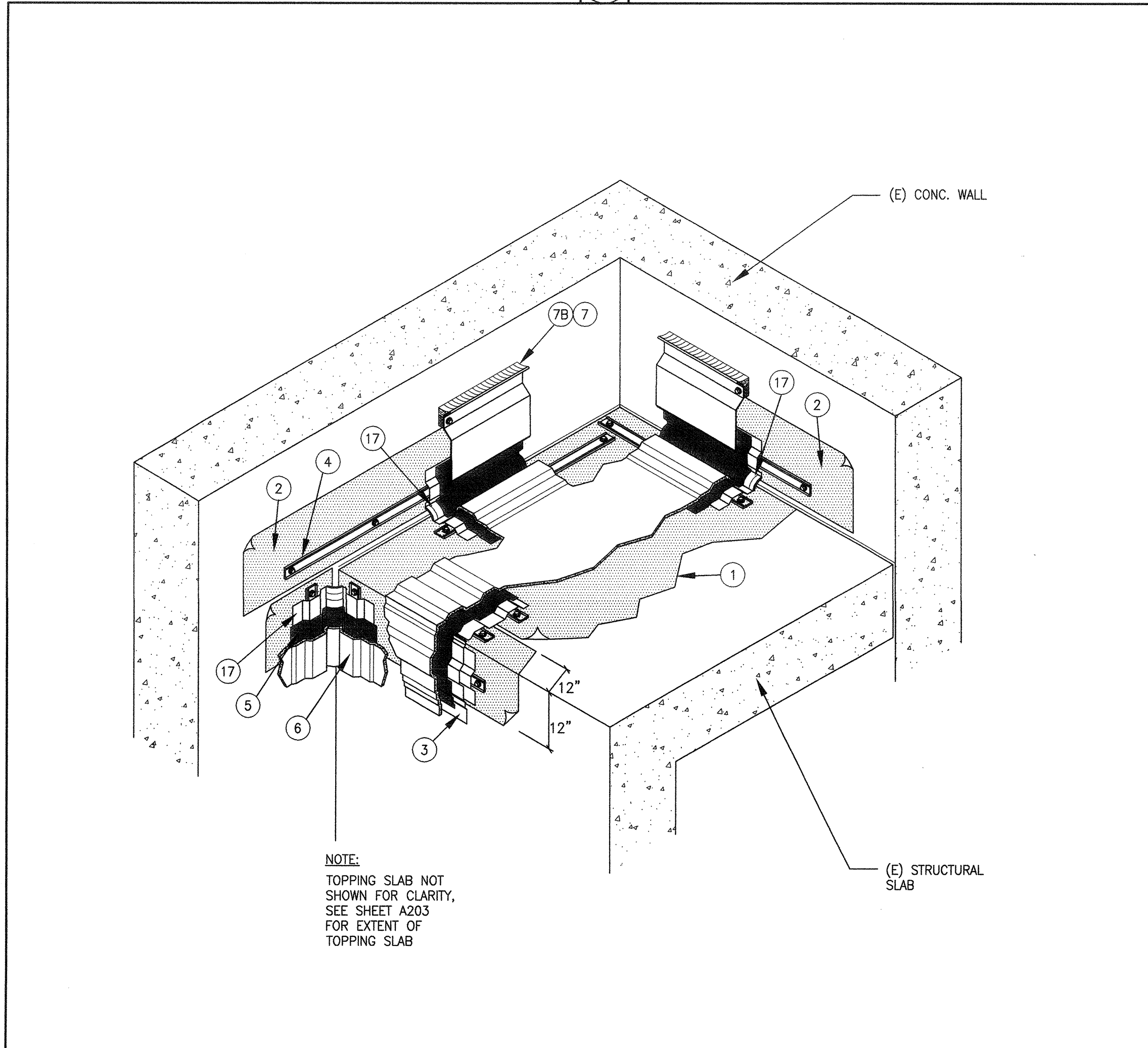


22 MEMBRANE TERMINATION 3" = 1'-0" 07\_WLWP\_04

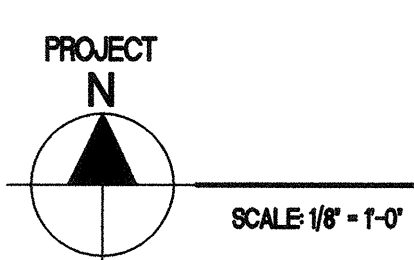
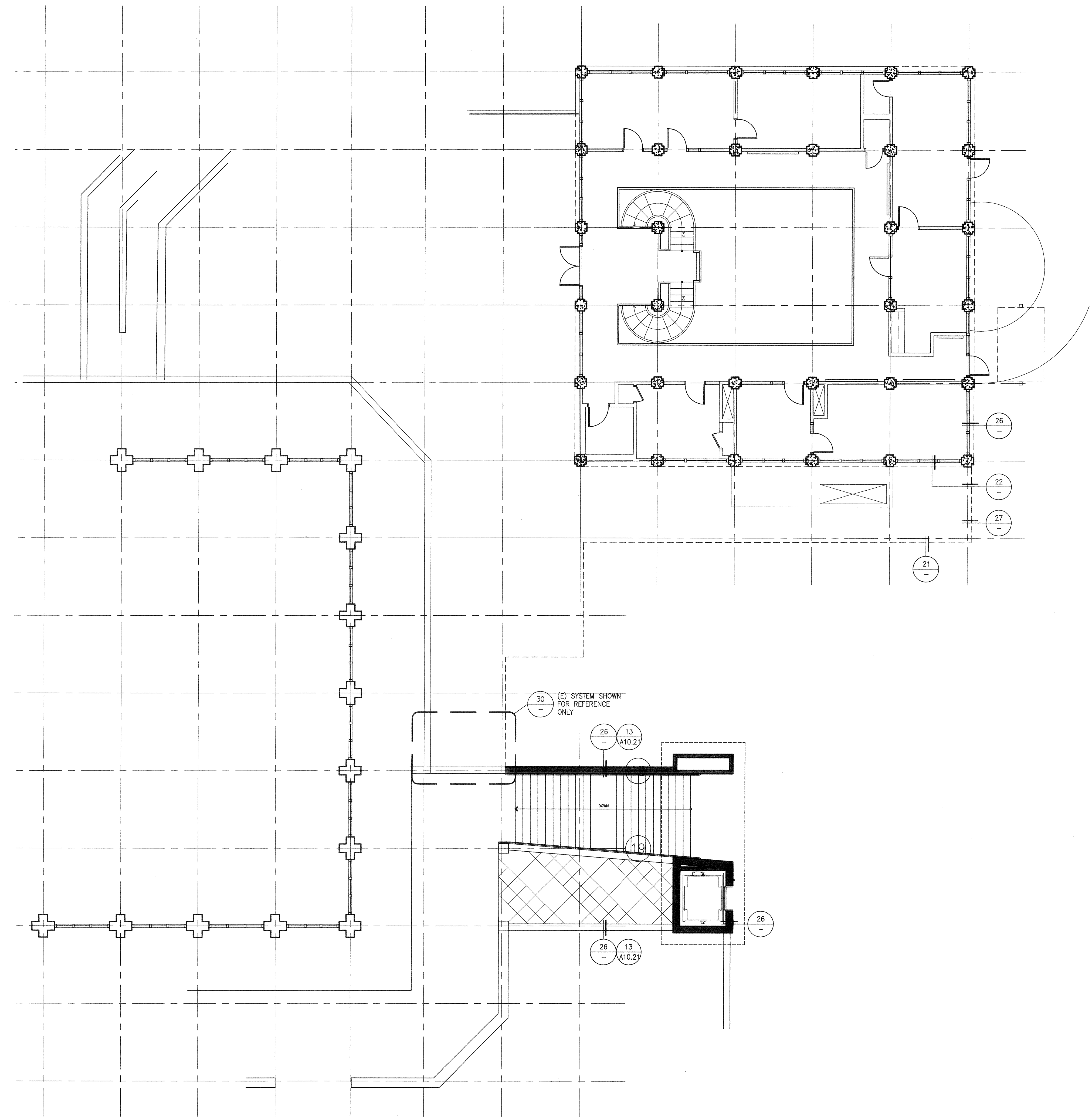
- DETAIL NOTES:**
- PVC FIELD MEMBRANE OVER FELT LEVELLING LAYER
  - PVC GRID MEMBRANE SET IN ADHESIVE
  - PVC BASE FLASHING MEMBRANE - LAP ONTO FIELD MEMBRANE 3", TYP.
  - TERMINATION BAR - FASTEN @ 12" o.c.
  - PROTECTION LAYER
  - DRAINAGE LAYER
  - SEALANT
  - BACKER ROD
  - FOAM TAPE
  - TOPPING SLAB W/ 6x6 10GA. W.W.M. REINF.
  - S.S. SURFACE MOUNTED COUNTERFLASHING FASTEN @ 6" o.c., TYP.
  - PRE-FABRICATED PVC EXPANSION JOINT
  - SLOPING FILL
  - SELF-ADHERED SHEET MEMBRANE
  - LIQUID MEMBRANE



23 WATERPROOFING • CONC. WALL 3" = 1'-0" 07\_WLWP\_05



30 EXPANSION JT. AT BUILDING CORNER 07\_WLWP\_06 N.T.S.



WATERPROOFING PLAN 1

